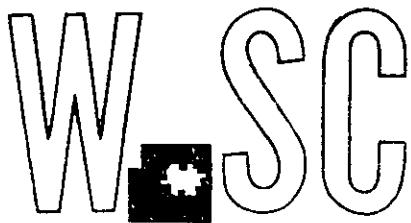


WICHITA — SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

FILE COPY

September 28, 1999

Jean Bush
2526 W. 31st Street Suite #420
Wichita, KS 67214

Re: Administrative Adjustment 99-24: An administrative adjustment to reduce the front yard setback from 25 feet to 20 feet located at the southwest corner of Custer and 10th Street North.

Legal Description: The west half of Lot 61, Valley Acres Addition to Wichita, Kansas.

Dear Ms. Bush:

We have reviewed your request for an administrative adjustment to reduce the front yard setback from 25 feet to 20 feet and the rear yard setback from 20 feet to 17.5 feet. You have stated that you plan on placing a 68 foot by 32 foot modular home and a 14 foot by 20 foot garage on this property. Through a lot split, you were required to provide a 30 foot contingent street dedication along the west property line and a 10 foot street dedication along the north property line. All other setback requirements are shown to be met on the site plan you submitted.

The Unified Zoning Code allows an adjustment of the front and rear yard setbacks by up to 20 percent. Therefore, we find that the reduction in the front yard setback (20 percent) and the rear yard setback (17.5 percent), meets the four conditions required by Section V-1.6 of the Unified Zoning Code, as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The proposed encroachment would have no impact on safety and convenience of vehicular and pedestrian circulation in the vicinity of the application area. It is expected that the development will not generate any additional vehicle or pedestrian traffic than currently exists.
- 2) Impact on existing uses in surrounding areas: There should not be a negative impact on the existing uses in surrounding areas as a result of the reduction of this setback. The home

located to the east is actually closer to the right-of-way than the proposed home and there is not a home located immediately to the west of this property.

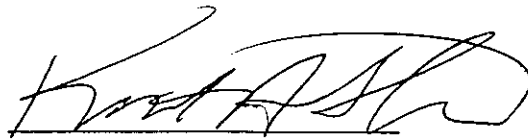
- 3) Compatibility with existing or permitted uses on abutting sites: The minor reduction for a portion of the side yard setback will be compatible with the existing residential uses and zoning which are adjacent to this property. The residential character of the site will not be compromised by the reduced setback.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way, therefore, there should not be a negative impact on the public health, safety or welfare nor will properties or improvements in the vicinity be materially injured.

Our signatures below indicate that an administrative adjustment to reduce the front yard setback from 25 feet to 20 feet and the rear yard setback from 20 feet to 17.5 feet is hereby granted subject to the following condition:

- 1) The adjustment shall apply to only the portion of the front and rear yard setback as shown on the attached site plan.

The zoning adjustment sign shall now be removed from the property.

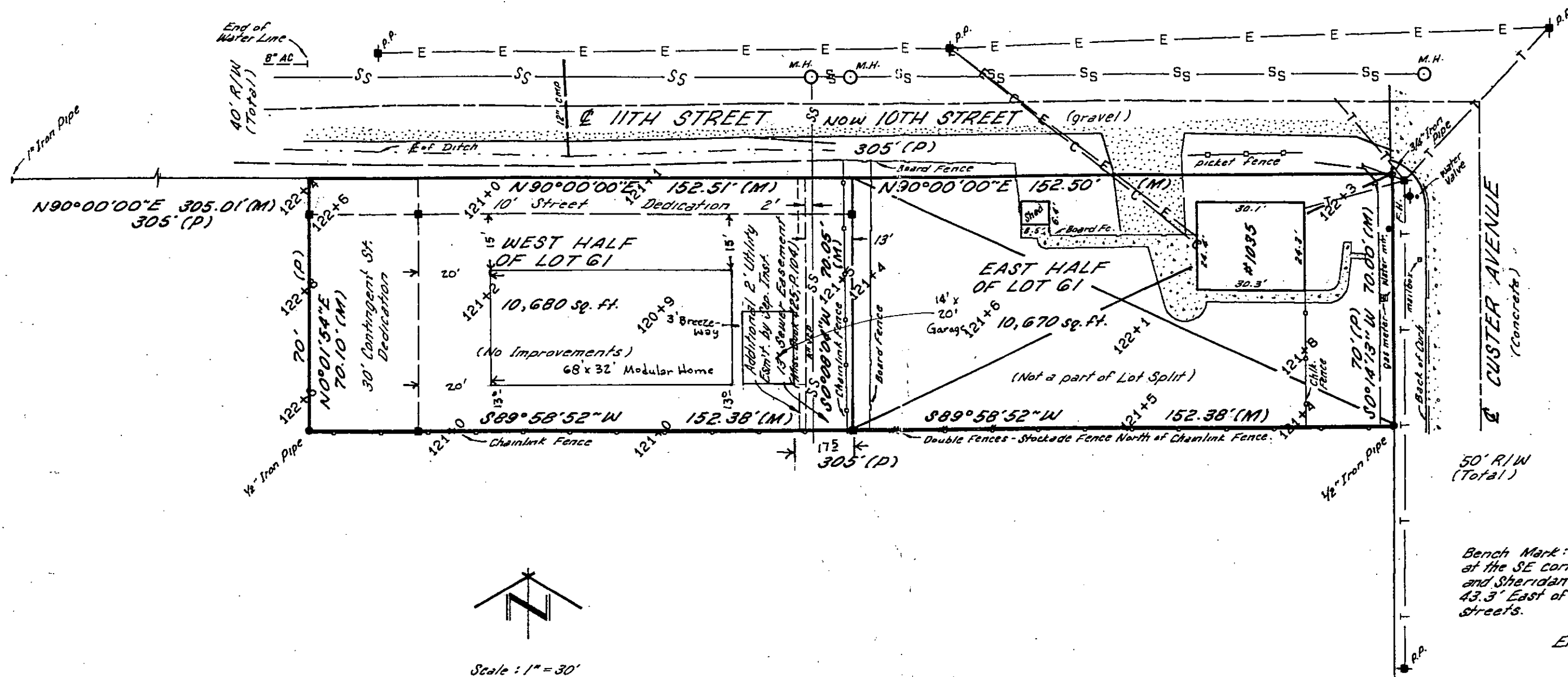

Marvin S. Krout
Director of Planning


Kurt Schroeder
Superintendent of Central Inspection

cc: Terra Tech, c/o Michelle Goodrich, 239 North Ohio, Wichita, KS 67214-3933
Kurt Schroeder, Office of Central Inspection
Randy Sparkman, Office of Central Inspection
Paul Hayes, Office of Central Inspection

LOT SPLIT

The West Half of Lot 61,
"VALLEY ACRES", Sedgwick County, Kansas



Scale: 1" = 30'

● = Iron Found as Noted

■ = #4 Rebar with I.D. Cap

"TTLST CLS22" Set

(P) = Platted

(M) = Measured

Bearing Basis Assumed

File #990216

August 16, 1999

Revised September 21, 1999

to Add Street Dedication

Bench Mark: City of Wichita disc
at the SE corner of 9th Street
and Sheridan, 20' South and
43.3' East of centerlines of
streets.

Elevation: 120.70

City Datum

(Add 1187.4 For NGVD)