METROPOLITAN AREA PLANNING
DEPARTMENTCITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

December 14, 1999

Mr. Randy Wolf
1802 S. Euclid Street
Wichita, KS 67213

Re: Administrative Adjustment 99-34: An administrative adjustment to reduce the street-side setback by 20 percent on property zoned "MF-29" Multi-family residential.

Legal Description: Lots 2 and 4, Block 10 of Whitlock's Replat of Orchard Grove Addition to Wichita, Sedgwick County, Kansas. Generally located at the southeast corner of Euclid and Esthner Streets (1802 S. Euclid Street).

Dear Mr. Wolf:

We have reviewed your request for an Administrative Adjustment to allow the reduction of a street-side setback by 20%. The street-side setback requirement in the "MF-29" Multi-Family zoning district is 20 feet. In your application, you state that a reduction in the side yard setback would allow you to place a residential design manufactured home (on permanent foundation) measuring 27 feet by 52 feet on the two lots indicated above.

The Unified Zoning Code allows an adjustment that would reduce the street-side setback by 20% as specified in Sec. III-D.7.f. (2). We find that the reduction of the street-side setback meets the four conditions required by Section V-I.6 of the Unified Zoning Code as set out below:

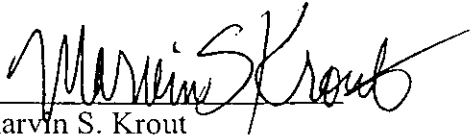
- 1) Impact on safety and convenience of vehicular and pedestrian circulation: The reduction of the street-side setback would not effect the site lines of drivers along Esther. There are no sidewalks along Esther, so pedestrian circulation will not be interrupted.
- 2) Impact on existing uses in surrounding areas: There should be no negative impact on the existing uses in surrounding areas as a result of the reduction of the street-side setback. The placement of the manufactured home will be placed on the property in such a manner that there will be no property owner that is directly adjacent to the setback to be adjusted. The property is surrounded on three sides by street or alley right-of-way.

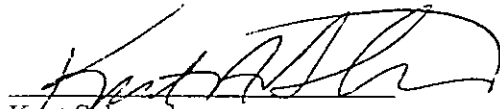
- 3) Compatibility with existing or permitted uses on abutting sites: The reduced street-side setback is compatible with the residential uses in the surrounding area; this is a mixed residential-type neighborhood with varying setbacks.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way, therefore, there should not be a negative impact on the public health, safety or welfare nor will properties of improvements in the vicinity be materially injured.

Our signatures below indicate that an Administrative Adjustment to allow the reduction of the street-side setback to 16 feet is hereby granted subject to the following conditions:

- 1) The placement of the residential design manufactured home shall conform to the submitted site plan.
- 2) The reduction in the street-side setback shall apply only for the portion of the setback needed for the placement of the residential design manufactured home as indicated on the site plan. No other structures shall be placed within 20 feet of the north property line on this site.

The zoning adjustment sign may now be removed from the property.


Marvin S. Krout
Director of Planning


Kurt Schroeder
Superintendent of Central Inspections

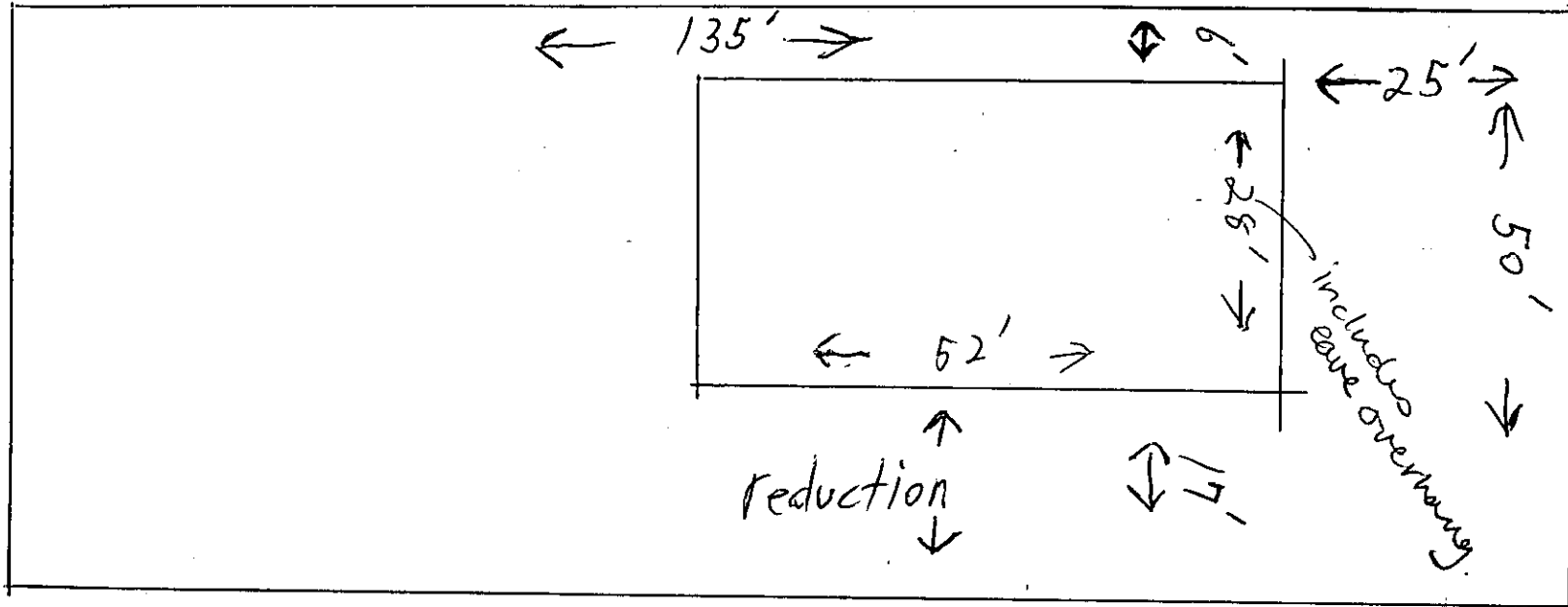
cc: Thomas Blake, 221 S. Broadway, Suite 412, Wichita, KS 66202
Kurt Schroeder, Office of Central Inspections



Randy Lyn Wolf
1802 Euclid St.
Wichita, KS 67213-3224

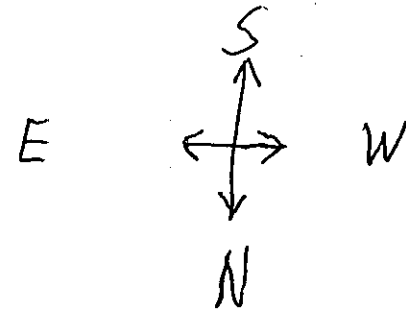
+ 7" overhang on Eaves = 28' X 52'

South property line
↓



15' city
↕

Esthner St.



Euclid St