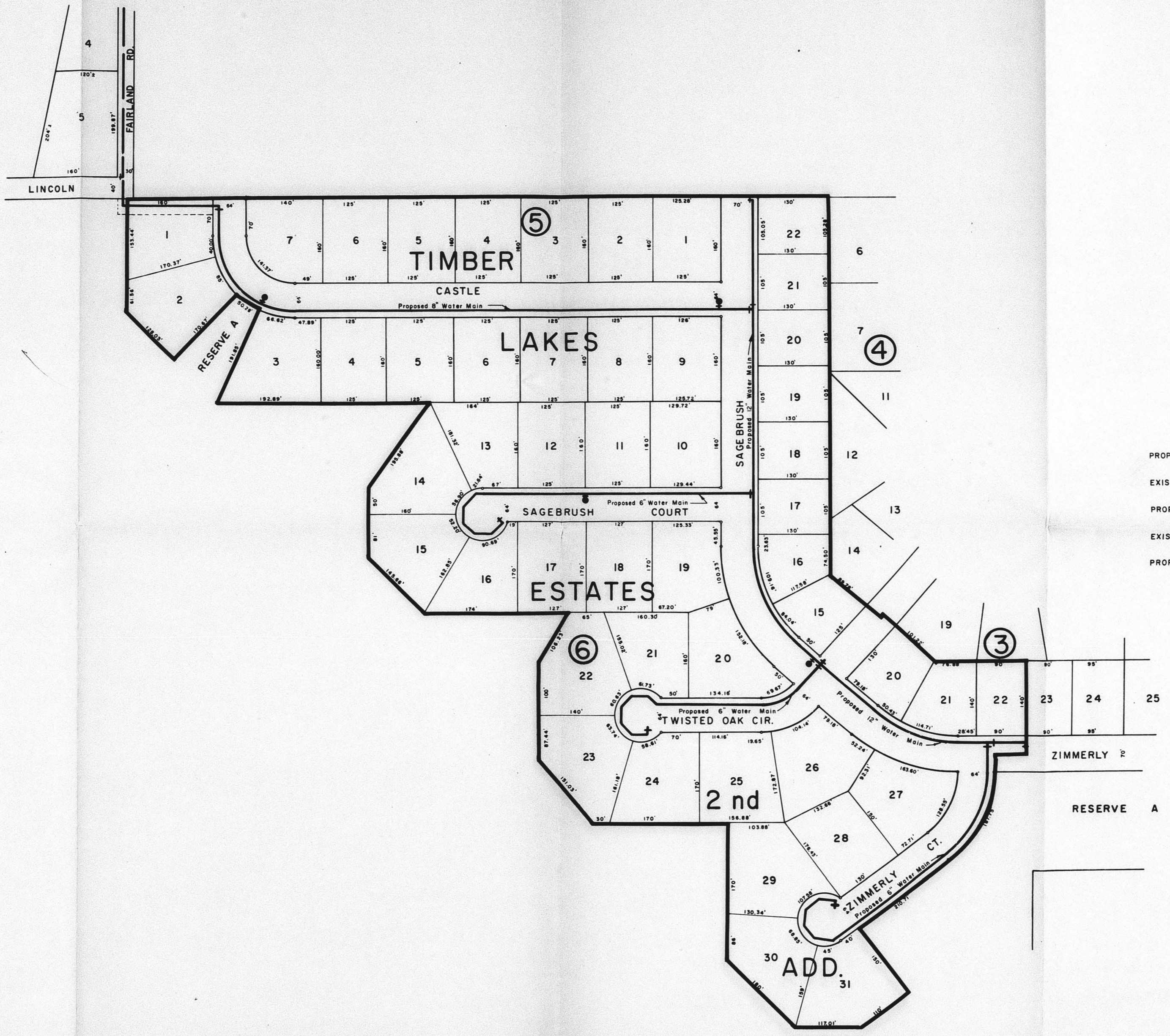







T



**LEGEND**

- PROPOSED BENEFIT DISTRICT BOUNDARIES 
- EXISTING WATER MAIN 
- PROPOSED WATER MAIN 
- EXISTING FIRE HYDRANT 
- PROPOSED FIRE HYDRANT 

*Water Benefit District*

Proposed Benefit District Boundaries

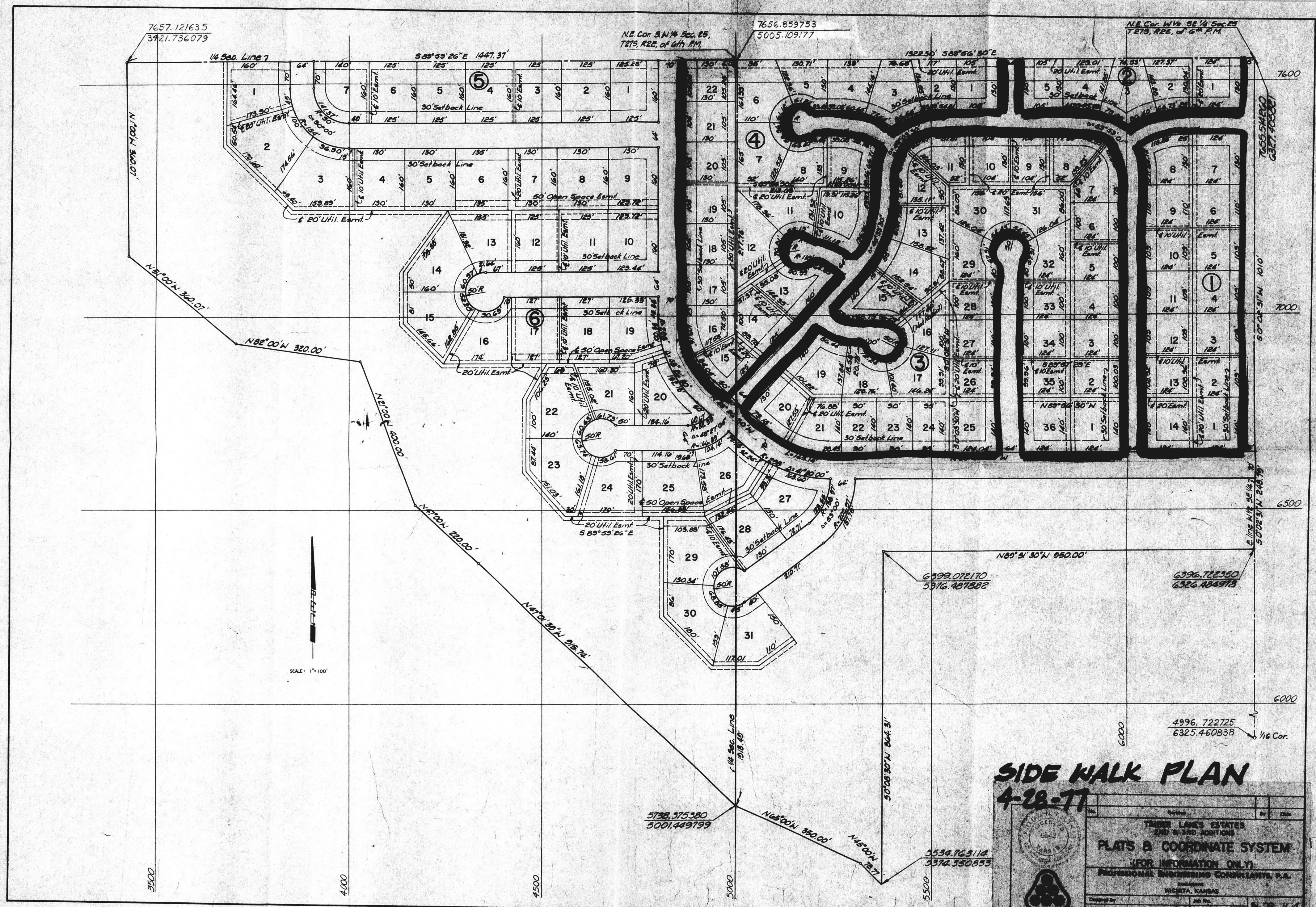
Approved By \_\_\_\_\_ Date \_\_\_\_\_

J. D. W. \_\_\_\_\_

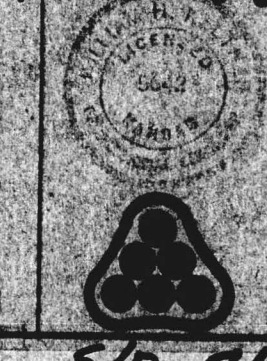
B. H. O. *B. H. O.* 3-2-77

CITY OF WICHITA			
WATER DEPARTMENT			
ENGINEERING DIVISION			
DRAWN	T.W.F.	SCALE	DATE
		1" = 100'	
TITLE: Timber Lakes Estates 2nd Addition			
Benefit District 448-76			GETW693401

S/D 76-50

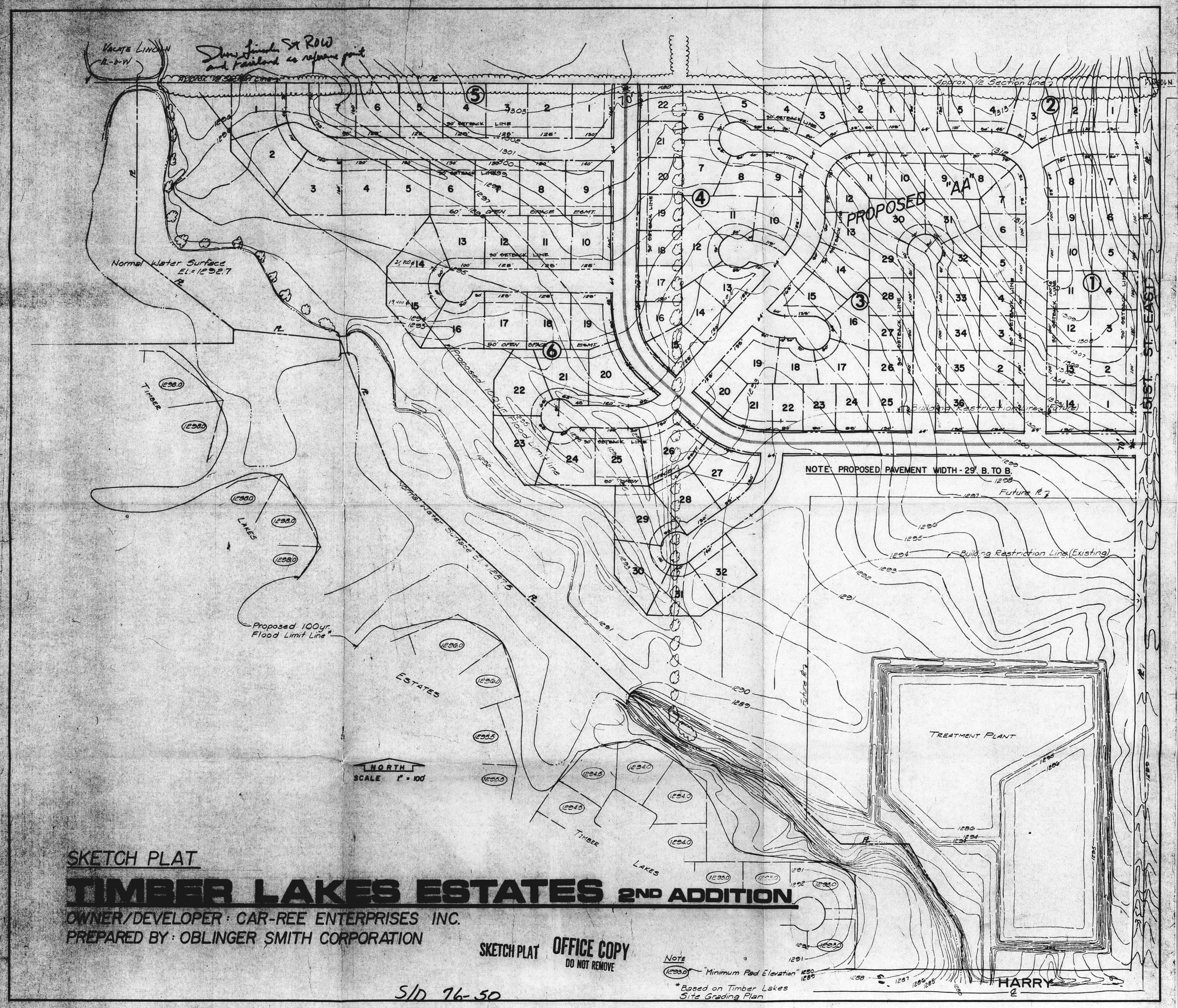


**SIDE WALK PLAN**  
4-28-77



THOMAS LAMAR ESTATES  
 2857 W. 110th EASTING  
**PLATS & COORDINATE SYSTEM**  
 (FOR INFORMATION ONLY)  
 PROFESSIONAL ENGINEERING CONSULTANTS, P.A.  
 INCORPORATED  
 WICHITA, KANSAS  
 Designed by: J.S. No. 5392  
 Drawn by: Date: 4/28/77

SID 76-30



SKETCH PLAT

**TIMBER LAKES ESTATES 2ND ADDITION**

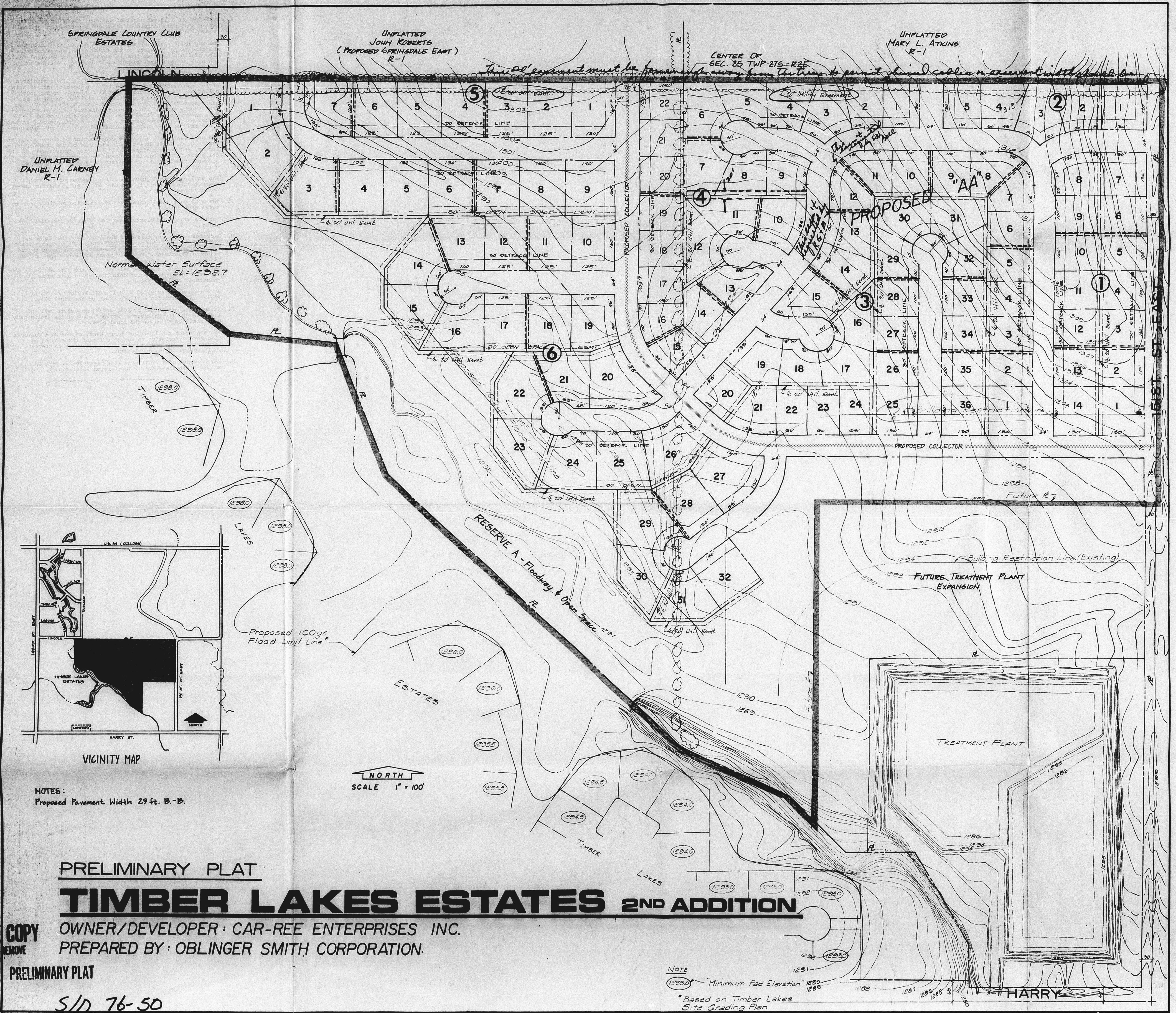
OWNER/DEVELOPER: CAR-REE ENTERPRISES INC.

PREPARED BY: OBLINGER SMITH CORPORATION

SKETCH PLAT OFFICE COPY  
DO NOT REMOVE

Note  
 Minimum Pad Elevation 1290  
 \*Based on Timber Lakes Site Grading Plan

S/D 76-50



SPRINGDALE COUNTRY CLUB ESTATES

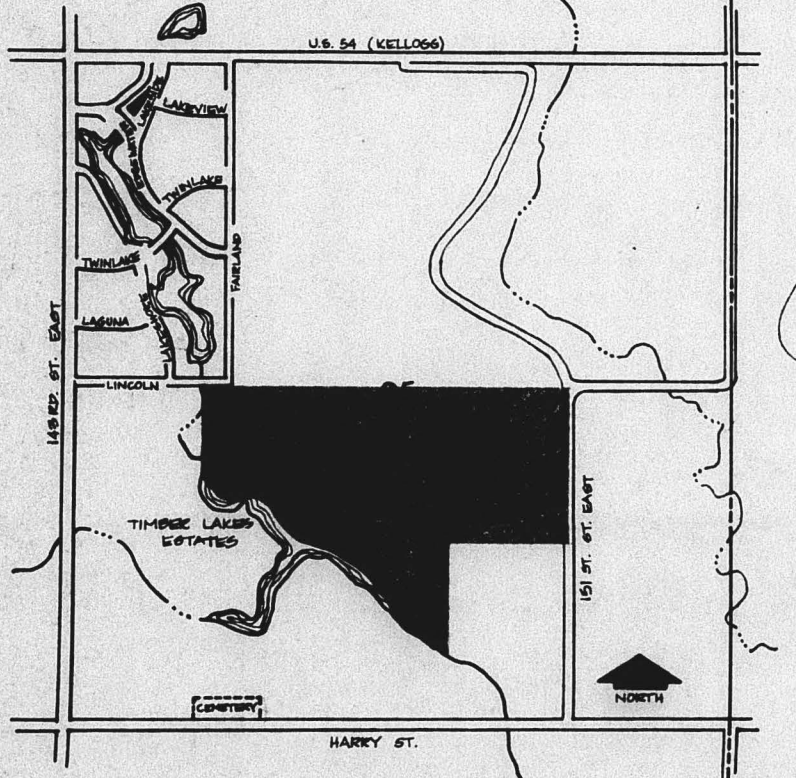
UNPLATTED JOHN ROBERTS (PROPOSED SPRINGDALE EAST) R-1

UNPLATTED MARY L. ATKINS R-1

UNPLATTED DANIEL M. CARNEY R-1

CENTER OF SEC. 26 TWP 216-R2E

Normal Water Surface EL=1202.7



NOTES:  
Proposed Pavement Width 29 ft. B-D.

NORTH  
SCALE 1" = 100'

PRELIMINARY PLAT  
**TIMBER LAKES ESTATES 2ND ADDITION**

OWNER/DEVELOPER: CAR-REE ENTERPRISES INC.  
PREPARED BY: OBLINGER SMITH CORPORATION.

OFFICE COPY  
DO NOT REMOVE

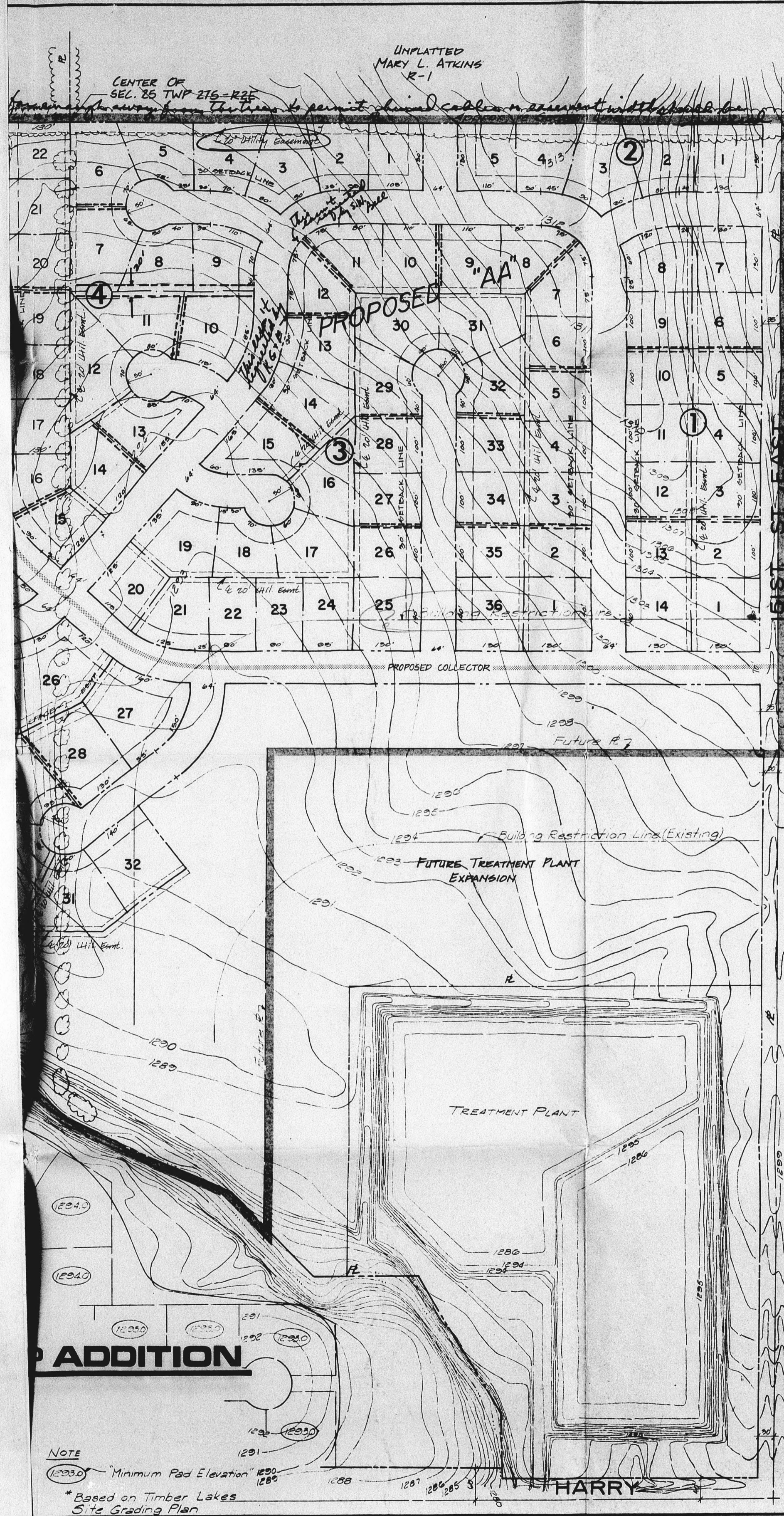
PRELIMINARY PLAT

S/D 76-50

NOTE  
Minimum Pad Elevation 1200  
Based on Timber Lakes Site Grading Plan

HARRY

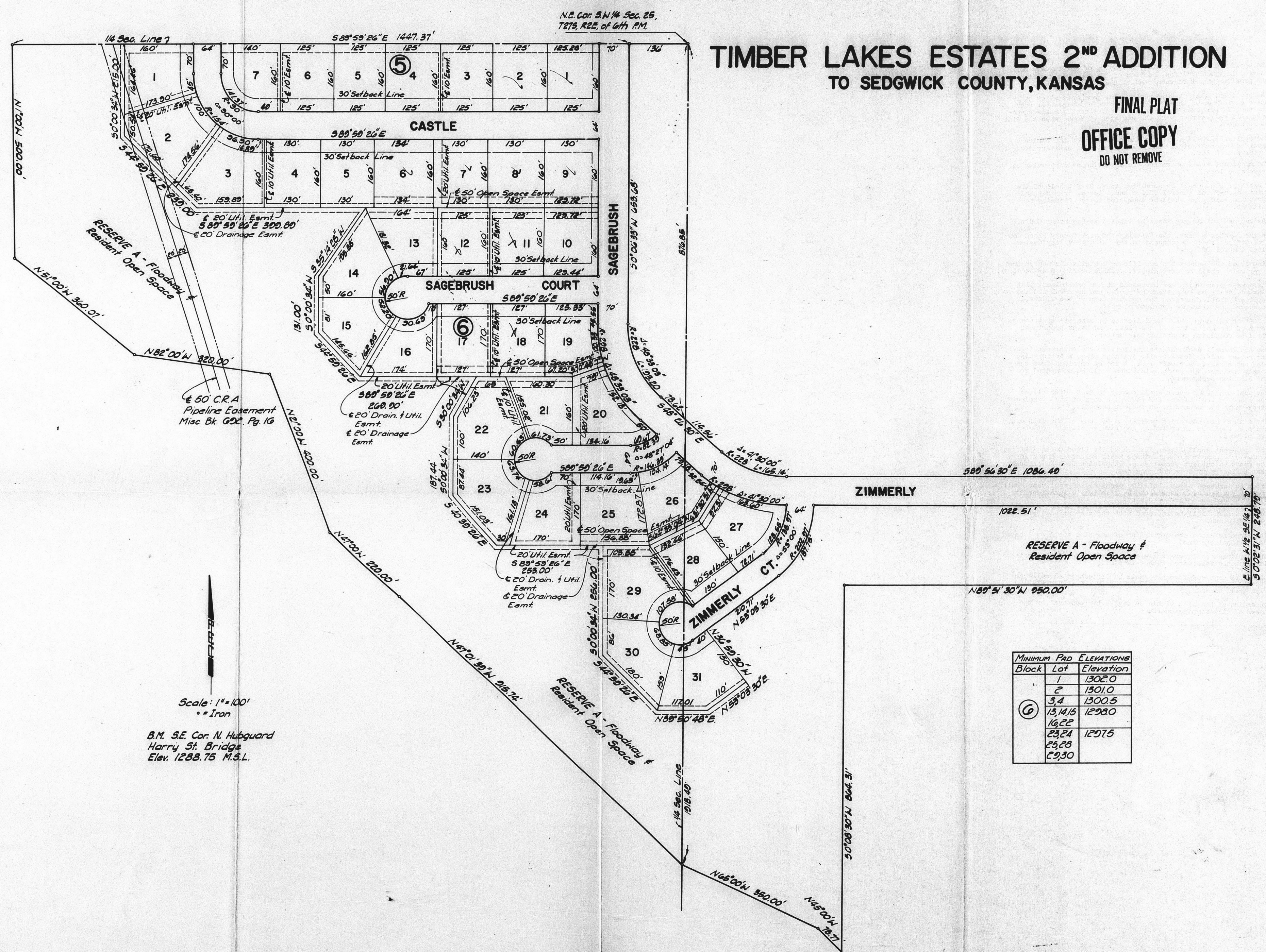
- A. A 35-foot half street right-of-way shall be shown for 151st Street East from Lincoln to the south property line of the area being platted.
- B. The applicant shall, by separate application along with the abutting property owners to the southwest, request the vacation of Lincoln Street from Lakeshore Drive to Fairland Road. Approval of this plat, as currently designed, will be subject to approval of the vacation.
- C. The applicant shall guarantee the paving to urban standards of the proposed collector, the interior streets east of this collector, and 151st Street East from Lincoln to the south property line of this plat. The Subdivision Committee recommends approval of a 29-foot back-to-back pavement width for the streets west of the proposed collector provided restrictive covenants are filed which guarantee a minimum of 3 off-street parking spaces per lot. Copies of the approved streets plans and profiles shall be submitted to the County Engineer.
- D. The applicant shall guarantee construction of sidewalks on the west side of 151st Street, on both sides of the proposed collector, and on both sides of all interior streets east of the collector. The Subdivision Committee recommends waiver of the sidewalk requirement for the streets west of the proposed collector.
- E. The applicant shall guarantee the expansion of the sanitary sewer treatment facility and the extension of sanitary sewer to serve each lot.
- F. The applicant shall guarantee the extension of city water to serve each lot.
- G. Both telephone and electric service shall be installed underground.
- H. A drainage plan for this area shall be submitted to M. S. Mitchell of the Maintenance-Flood Control Office and a letter from Mitchell approving said plan shall be submitted to the Planning Department. Pad elevations shall be shown on this plan.
- I. Lot 32, Block 6, shall be deleted from the plat as the building restriction line which cuts the lot in half makes it an unsuitable building site.
- J. Street names as provided by Bill McKinley of the Traffic Engineering Division shall be shown on the final plat.
- K. Easements as requested by KGE and Southwestern Bell and indicated on the Engineer's "marked" copy of the preliminary plat shall be shown on the final plat.
- L. The applicant shall contact Larry Henry of the Soil Conservation Service relative to the leveling of three existing terraces and the proper precautions necessary to prevent soil erosion during development.
- M. Requirements of a final plat (see pages 20-25, Part 4, Article 5 of the M.A.P.C. Subdivision Regulations).



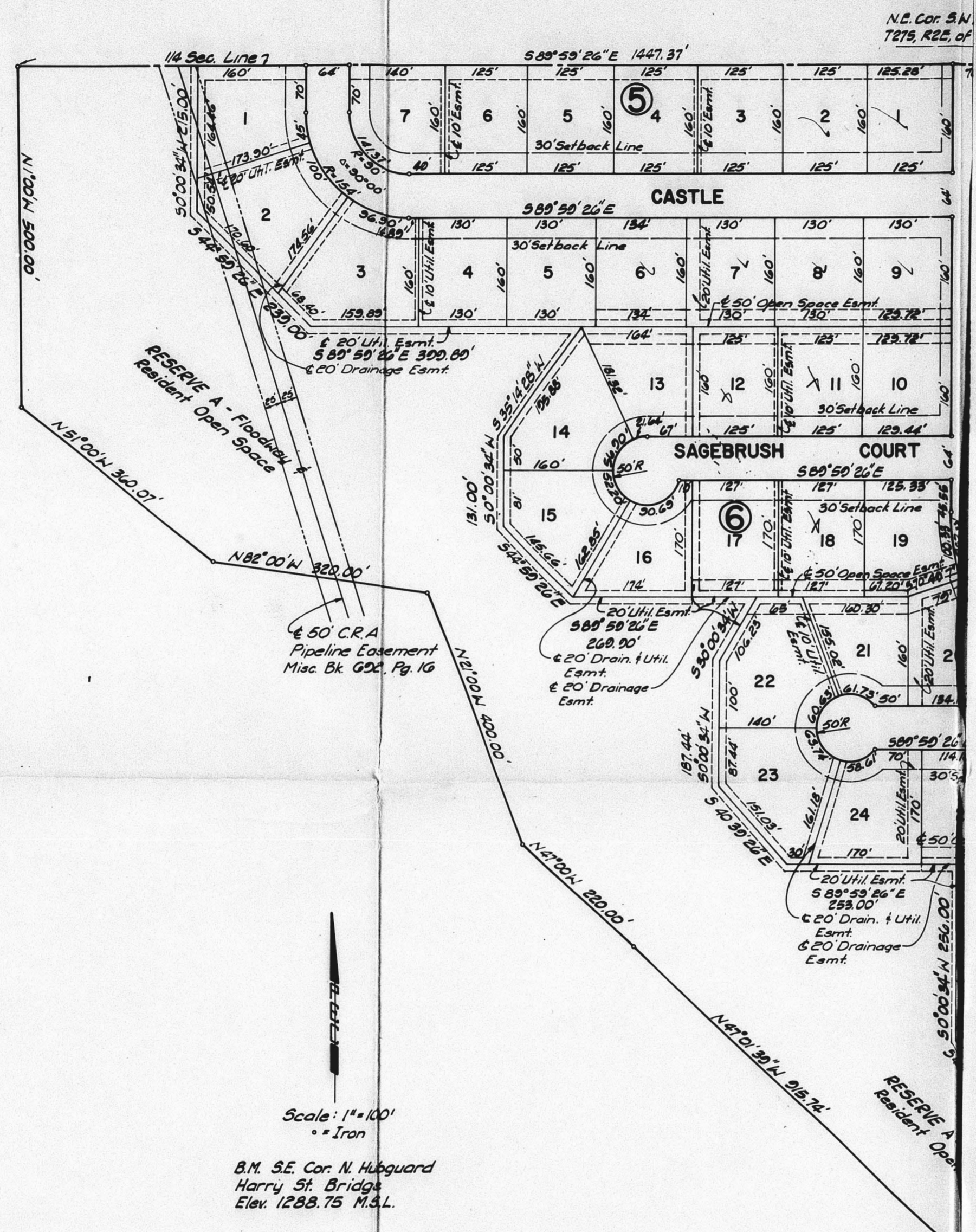
PRELIMINARY PLAT  
 OWNER/DEVELOPER CARL...  
 OFFICE COPY  
 PREPARED BY OBLINGER SM  
 DO NOT REMOVE  
 PRELIMINARY PLAT  
 210 78-20

**TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION  
TO SEDGWICK COUNTY, KANSAS**

FINAL PLAT  
OFFICE COPY  
DO NOT REMOVE



Block	Lot	Minimum Prod Elevation
⑥	1	1302.0
	2	1301.0
	3,4	1300.5
	13,14,15	1298.0
	16,22	1297.5
	23,24	1297.5
	25,26	1297.5
	C3,30	1297.5



- A. The applicant shall guarantee the paving of all streets being platted in this addition. Copies of the approved street plans and profiles shall be submitted to the County Engineer.
- B. The applicant shall submit restrictive covenants which guarantee a minimum of three off-street parking spaces per each lot that is proposed to be on a 28-foot street. These covenants will be recorded with the Registrar of Deeds when the plat is recorded.
- C. The applicant shall guarantee the expansion of the sanitary sewer treatment facility and the extension of sanitary sewer to serve each lot.
- D. The applicant shall guarantee the extension of City water to serve each lot.
- E. A drainage plan shall be submitted to M. S. Mitchell of the Maintenance-Flood Control Office and a letter from Mitchell approving said plan shall be submitted to the Planning Department.
- F. The unnamed cul-de-sac shall be labeled as Sagebrush Court.
- G. In the plat's text, the "Wichita-Sedgwick County Flood Control Office" shall be changed to the "Wichita-Valley Center Flood Control Office."
- H. Line 11 of the surveyor's certificate contains a typographical error which shall be corrected (... chance bearing S 48°25'30"W).
- I. A sidewalk plan which was discussed at the preliminary plat hearing, shall be submitted for review and approval and the applicant shall guarantee the construction of the sidewalks in accordance with the approved plan.
- J. A 20-foot easement shall be dedicated by separate instrument north of the north line of the plat. The Water Department shall be contacted regarding this matter.
- K. The applicant's engineer shall submit to the County Engineer for review and approval a site drainage plan, a lot grading plan and a sanitary sewer plan. A letter obtained from the County Engineer approving said plans shall be submitted to the Planning Department.
- L. The applicant's engineer shall submit to M. S. Mitchell of the Flood Control Office for review, a copy of the hydrology study which has been done on subject property.
- M. The minimum pad elevation referenced on some of the lots on the plat shall be indicated as applying to all the lots being platted.
- N. The applicant shall either furnish to the Flood Control Office a copy of a permit from the State Water Resources Board for the ponds on subject property, or an opinion from an attorney that a State permit is not required.
- O. Prior to issuance of any building permits, the applicant shall contact the County Fire Department relative to locations for fire hydrants on subject property.
- P. Castle Street shall be improved with the conventional street pavement width.
- Q. The easement along the north line of the plat shall be labeled on the final tracing.
- R. The applicant shall guarantee the installation of all drainage improvements associated with this plat.
- S. Sagebrush Lane and Zimmerly shall be designated as collector streets and the appropriate amendment to the Transportation Plan shall be made.
- T. Recording of the plat within 30 days after approval by the Board of City Commissioners.

212  
11-20

# TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION TO SEDGWICK COUNTY, KANSAS

STATE OF KANSAS  
SS  
COUNTY OF SEDGWICK

I, CHARLES M. JEFFRIES, A REGISTERED LAND SURVEYOR IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT I HAVE CAUSED TO BE SURVEYED AND PLATTED, TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION TO SEDGWICK COUNTY, KANSAS, INTO BLOCKS, LOTS, STREETS AND A RESERVE, THE SAME BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH LINE AND 136.00 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 2 EAST OF THE 6TH P.M.; THENCE SOUTH PARALLEL TO AND 11.00 FEET FROM THE EAST LINE OF SAID SW 1/4 BEARING S 09°01'33" W A DISTANCE OF 653.00 FEET; TO THE P.C. OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 225.00 FEET AND THROUGH A CENTRAL ANGLE OF 89°33'10" A DISTANCE OF 303.20 FEET; THENCE BEARING S 88°28'30" E A DISTANCE OF 78.62 FEET TO A POINT IN THE EAST LINE AND 876.95 FEET SOUTH OF THE NE CORNER OF SAID SW 1/4; THENCE BEARING S 89°56'30" E A DISTANCE OF 134.40 FEET TO THE P.C. OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 225.00 FEET AND THROUGH A CENTRAL ANGLE OF 82°50'00" A DISTANCE OF 355.24 FEET; THENCE BEARING S 89°56'30" E A DISTANCE OF 136.40 FEET TO A POINT IN THE EAST LINE AND 1010.00 FEET SOUTH OF THE NORTHEAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHWEST QUARTER (SE 1/4) OF SAID SECTION 25; THENCE SOUTH ALONG THE EAST LINE OF SAID SE 1/4 BEARING S 09°01'33" W A DISTANCE OF 248.75 FEET; THENCE BEARING N 89°01'33" W A DISTANCE OF 350.00 FEET; THENCE BEARING S 09°01'33" W A DISTANCE OF 864.31 FEET; TO A POINT IN THE NORTHERLY LINE OF TIMBER LAKES ESTATES, AN ADDITION TO SEDGWICK COUNTY, KANSAS; THENCE ALONG SAID NORTHERLY LINE BEARING N 89°01'33" W A DISTANCE OF 78.77 FEET; THENCE BEARING N 89°01'33" W A DISTANCE OF 350.00 FEET TO A POINT IN THE EAST LINE AND 1010.00 FEET SOUTH OF THE NE CORNER OF THE SW 1/4 OF SAID SECTION 25; THENCE BEARING N 89°01'33" W A DISTANCE OF 350.78 FEET; THENCE BEARING N 89°01'33" W A DISTANCE OF 220.00 FEET; THENCE BEARING N 21°00'00" W A DISTANCE OF 400 FEET; THENCE BEARING N 89°01'33" W A DISTANCE OF 320.00 FEET; THENCE BEARING N 51°00'00" W A DISTANCE OF 350.07 FEET; THENCE BEARING N 15°00'00" W A DISTANCE OF 500.00 FEET; TO A POINT IN THE NORTH LINE OF THE SW 1/4 OF SAID SECTION 25; THENCE ALONG SAID NORTH LINE AND BEARING S 89°59'20" E A DISTANCE OF 1447.37 FEET TO THE POINT OF BEGINNING.

CHARLES M. JEFFRIES  
REG. NO. 555

KNOW ALL MEN BY THESE PRESENTS, THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE ENGINEER'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO BLOCKS, LOTS, STREETS, AND A RESERVE, THE SAME TO BE KNOWN AS TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION TO SEDGWICK COUNTY, KANSAS, EASEMENTS, AS INDICATED, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES, AND DRAINAGE EASEMENTS, AS INDICATED, ARE HEREBY GRANTED. A PREVIOUSLY GRANTED PIPELINE EASEMENT, AS INDICATED, IS TO REMAIN. THE STREETS ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC. RESERVE #1, AS INDICATED, IS HEREBY DEDICATED FOR FLOODWAY PURPOSES, AS AN EASEMENT FOR THE MAINTENANCE AND CONSTRUCTION OF SANITARY SEWERS AND FOR RESIDENT OPEN SPACE PURPOSES IN ACCORDANCE WITH THE RESTRICTIVE COVENANTS ESTABLISHED BY THE TIMBER LAKES ESTATES HOMEOWNERS ASSOCIATION AGREEMENT. THE FLOODWAY SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY UNTIL SUCH TIME AS THE GOVERNING BODY EXERCISING JURISDICTION ELECTS TO ASSUME THE RESPONSIBILITY FOR MAINTENANCE AND IMPROVEMENT OF THE DRAINAGE, PROVIDED FURTHER THAT NO BUILDING SHALL BE CONSTRUCTED ON OR WITHIN SAID FLOODWAY, NOR SHALL ANY FILL, CHANGE OF GRADE, CREATION OF CHANNEL OR OTHER WORK BE CARRIED ON WITHOUT THE PERMISSION OF THE WICHITA-SEDGWICK COUNTY FLOOD CONTROL OFFICE OR THEIR SUCCESSORS OF OFFICE. "MINIMUM PAD ELEVATION" AS NOTED ON SHEET 1 OF 2 IS THE MINIMUM PERMISSIBLE GROUND ELEVATION AT THE RESIDENCE FOUNDATION AS ESTABLISHED BY THE WICHITA-SEDGWICK COUNTY FLOOD CONTROL OFFICE.

CAR-REE ENTERPRISES, INC., A KANSAS CORPORATION

JOHN P. REED PRESIDENT DANIEL M. CARNEY SECRETARY

STATE OF KANSAS  
SS  
COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_ BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, CAME JOHN P. REED, PRESIDENT AND DANIEL M. CARNEY, SECRETARY OF CAR-REE ENTERPRISES, INCORPORATED, A KANSAS CORPORATION, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGE THE EXECUTION OF SAME FOR AND ON BEHALF AND AS THE ACT AND DEED OF SAID CORPORATION, IN TESTIMONY WHEREOF I HAVE HERETO SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_

WILLIAM J. GOEBEL CHAIRMAN  
ROBERT A. LARIN SECRETARY

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE CITY COMMISSION OF THE CITY OF WICHITA, KANSAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_

JAMES DONWELL MAYOR  
DONALD C. GISTICK CITY CLERK

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SEDGWICK COUNTY, KANSAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_

JOHN HALE CHAIRMAN  
TOM SCOTT COMMISSIONER  
EARL E. RUSH COMMISSIONER

ATTEST

COUNTY CLERK

ENTERED ON TRANSFER RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_

COUNTY CLERK

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT \_\_\_\_\_ M., ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 19\_\_

REGISTER OF DEEDS  
DEPUTY

S/D 76 50

Sheet 2 of 2

S/D 76-50  
**TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION**  
**TO SEDGWICK COUNTY, KANSAS**

STATE OF KANSAS  
 COUNTY OF SEDGWICK

I, CHARLES M. JEFFRIES, A REGISTERED LAND SURVEYOR IN AFORESAID STATE AND COUNTY, DO HEREBY CERTIFY THAT I HAVE CAUSED TO BE SURVEYED AND PLATTED, TIMBER LAKES ESTATES 2ND ADDITION TO SEDGWICK COUNTY, KANSAS, INTO BLOCKS, LOTS, STREETS AND A RESERVE, THE SAME BEING DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH LINE AND 136.00 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 25, TOWNSHIP 27 SOUTH, RANGE 2 EAST OF THE 6TH P.M.; THENCE SOUTH PARALLEL TO AND 136.00 FEET FROM THE EAST LINE OF SAID SW 1/4, BEARING S 0°06'33" W A DISTANCE OF 653.68 FEET; TO THE P.C. OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 228.00 FEET AND THROUGH A CENTRAL ANGLE OF 80°33'10" A DISTANCE OF 193.20 FEET; THENCE BEARING S 48°26'50" E A DISTANCE OF 78.62 FEET TO A POINT IN THE EAST LINE AND 576.85 FEET SOUTH OF THE NE CORNER OF SAID SW 1/4; THENCE BEARING S 48°26'30" E A DISTANCE OF 114.56 FEET TO THE P.C. OF A CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 228.00 FEET AND THROUGH A CENTRAL ANGLE OF 41°30'00" A DISTANCE OF 155.14 FEET; THENCE BEARING S 89°56'30" E A DISTANCE OF 1086.49 FEET TO A POINT IN THE EAST LINE AND 1010.00 FEET SOUTH OF THE NORTHEAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF SAID SECTION 25; THENCE SOUTH ALONG THE EAST LINE OF W 1/2 SE 1/4 BEARING S 0°12'31" W A DISTANCE OF 248.79 FEET; THENCE BEARING N 89°53'30" W A DISTANCE OF 950.00 FEET; THENCE BEARING S 0°08'30" W A DISTANCE OF 864.31 FEET; TO A POINT IN THE NORTHERLY LINE OF TIMBER LAKES ESTATES, AN ADDITION TO SEDGWICK COUNTY, KANSAS; THENCE ALONG SAID NORTHERLY LINE BEARING N 89°00' W A DISTANCE OF 79.77 FEET; THENCE BEARING N 89°00' W A DISTANCE OF 350.00 FEET TO A POINT IN THE EAST LINE AND 1918.79 FEET SOUTH OF THE NE CORNER OF THE SW 1/4 OF SAID SECTION 25; THENCE BEARING N 7°01'30" W A DISTANCE OF 915.74 FEET; THENCE BEARING N 17°01' W A DISTANCE OF 500.00 FEET; THENCE BEARING N 21°00' W A DISTANCE OF 400 FEET; THENCE BEARING N 82°00' W A DISTANCE OF 300.00 FEET; THENCE BEARING N 21°00' W A DISTANCE OF 350.00 FEET; THENCE BEARING N 3°00' W A DISTANCE OF 500.00 FEET; TO A POINT IN THE NORTH LINE OF THE SW 1/4 OF SAID SECTION 25; THENCE ALONG SAID NORTH LINE AND BEARING S 89°59'20" E A DISTANCE OF 1487.37 FEET TO THE POINT OF BEGINNING.

*Charles M. Jeffries*  
 CHARLES M. JEFFRIES  
 REG. NO. 555



KNOW ALL MEN BY THESE PRESENTS, THAT WE, THE UNDERSIGNED PROPERTY OWNERS OF THE LAND AS ABOVE SET FORTH IN THE ENGINEER'S CERTIFICATE, HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO BLOCKS, LOTS, STREETS, AND A RESERVE, THE SAME TO BE KNOWN AS TIMBER LAKES ESTATES 2ND ADDITION TO SEDGWICK COUNTY, KANSAS. EASEMENTS, AS INDICATED, FOR THE CONSTRUCTION AND MAINTENANCE OF PUBLIC UTILITIES, AND DRAINAGE EASEMENTS, AS INDICATED, ARE HEREBY GRANTED. A PREVIOUSLY GRANTED PIPELINE EASEMENT, AS INDICATED, IS TO REMAIN. THE STREETS ARE HEREBY DEDICATED TO AND FOR THE USE OF THE PUBLIC. RESERVE A, AS INDICATED, IS HEREBY DEDICATED FOR FLOODWAY PURPOSES, AS AN EASEMENT FOR THE MAINTENANCE AND CONSTRUCTION OF SANITARY SEWERS AND FOR RESIDENT OPEN SPACE PURPOSES IN ACCORDANCE WITH THE RESTRICTIVE COVENANTS ESTABLISHED BY THE TIMBER LAKES ESTATES HOMEOWNERS ASSOCIATION AGREEMENT. THE FLOODWAY SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY UNTIL SUCH TIME AS THE GOVERNING BODY EXERCISING JURISDICTION ELECTS TO ASSUME THE RESPONSIBILITY FOR MAINTENANCE AND IMPROVEMENT OF THE DRAINAGE. PROVIDED FURTHER THAT NO BUILDING SHALL BE CONSTRUCTED ON OR WITHIN SAID FLOODWAY, NOR SHALL ANY FILL, CHANGE OF GRADE, CREATION OF CHANNEL OR OTHER WORK BE CARRIED ON WITHOUT THE PERMISSION OF THE WICHITA-VALLEY CENTER FLOOD CONTROL OFFICE OR THEIR SUCCESSORS IN OFFICE. "MINIMUM FLOOD ELEVATION" AS NOTED ON SHEET 1 OF 2 IS THE MINIMUM PERMISSIBLE GROUND ELEVATION AT THE RESIDENCE FOUNDATION AS ESTABLISHED BY THE WICHITA-VALLEY CENTER FLOOD CONTROL OFFICE.

CAR-REE ENTERPRISES, INC., A KANSAS CORPORATION  
*John P. Reed* PRESIDENT *Daniel N. Carrey* SECRETARY  
 JOHN P. REED DANIEL N. CARREY

STATE OF KANSAS  
 COUNTY OF SEDGWICK

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1977 BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, CAME JOHN P. REED, PRESIDENT AND DANIEL N. CARREY, SECRETARY OF CAR-REE ENTERPRISES, INCORPORATED, A KANSAS CORPORATION, TO ME PERSONALLY KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT OF WRITING AND DULY ACKNOWLEDGE THE EXECUTION OF SAME FOR AND ON BEHALF AND AS THE ACT AND DEED OF SAID CORPORATION. IN TESTIMONY WHEREOF I HAVE HEREUNTO SET MY HAND AND AFFIXED MY NOTARIAL SEAL THE DAY AND YEAR ABOVE WRITTEN.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_



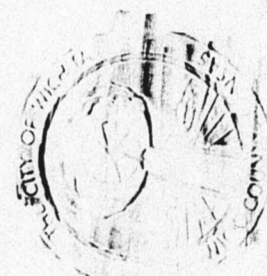
THIS PLAT HAS BEEN SUBMITTED TO AND APPROVED BY THE WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION, WICHITA, KANSAS.

DATED THIS 28<sup>TH</sup> DAY OF October, 1976

WILLIAM J. GOEBEL CHAIRMAN  
*Robert A. Lakin* SECRETARY  
 ROBERT A. LAKIN

THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE CITY COMMISSION OF THE CITY OF WICHITA, KANSAS, THIS 11 DAY OF May, 1977.

*Constance Peters* VICE-MAYOR  
 CONSTANCE PETERS  
*Donald C. Givick* CITY CLERK  
 DONALD C. GIVICK



THIS PLAT APPROVED AND ALL DEDICATIONS SHOWN HEREON ARE ACCEPTED BY THE BOARD OF COUNTY COMMISSIONERS OF SEDGWICK COUNTY, KANSAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

*Tom Scott* CHAIRMAN  
 TOM SCOTT  
*John Hale* COMMISSIONER  
 JOHN HALE  
*Everett Patrick* COMMISSIONER  
 EVERETT PATRICK

ATTEST

COUNTY CLERK

ENTERED ON TRANSFER RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1977.

*Dorothy K. White* COUNTY CLERK  
 DOROTHY K. WHITE

THIS IS TO CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN THE REGISTER OF DEEDS OFFICE AT \_\_\_\_\_ M., ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1977.

*Bella F. McCort* REGISTER OF DEEDS  
 BELLA F. MCCORT

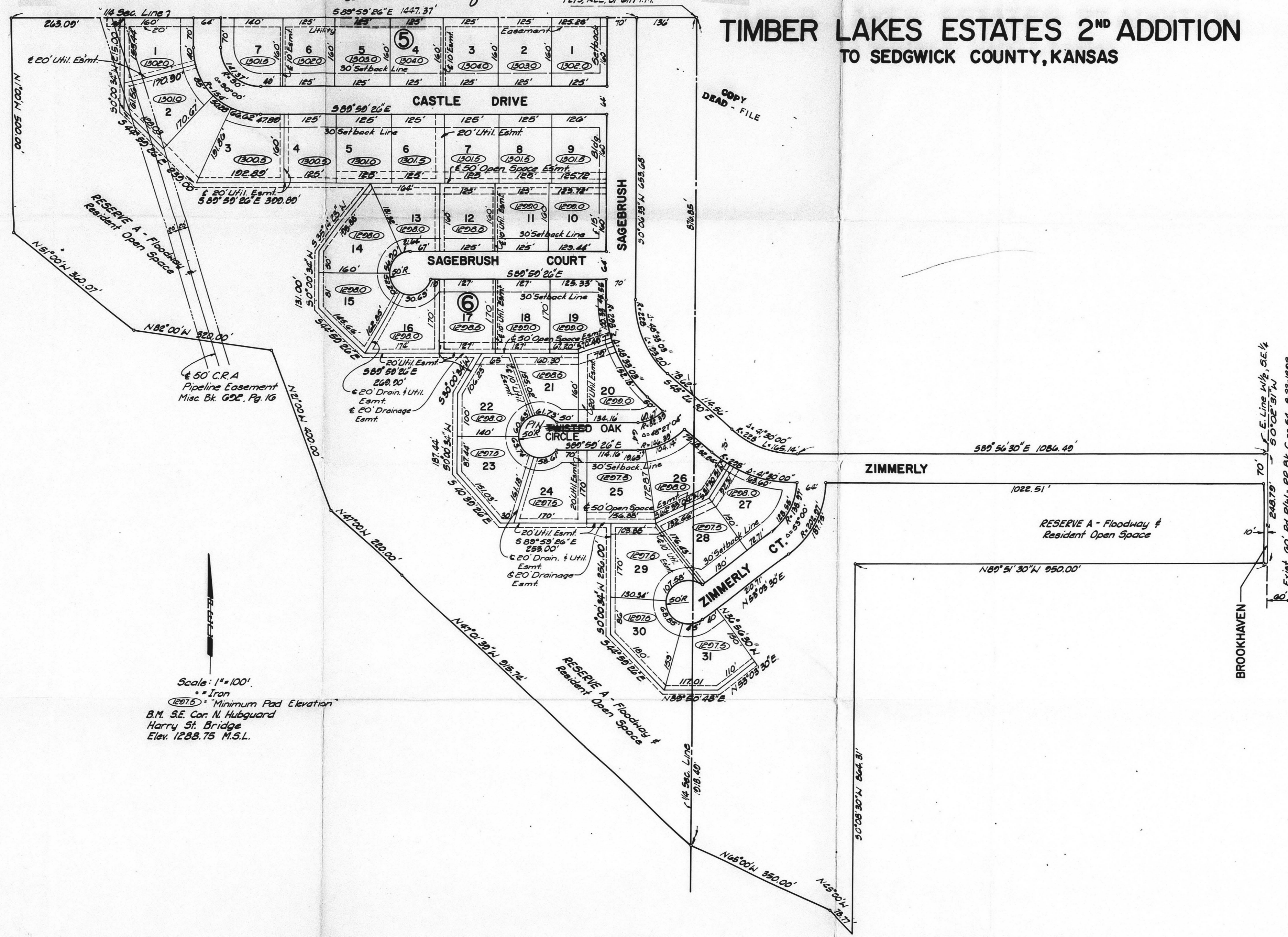
*Pat Kaitler* DEPUTY  
 PAT KAITLER

APPROVED FOR RECORDING  
RECORDED ON May 21, 1974

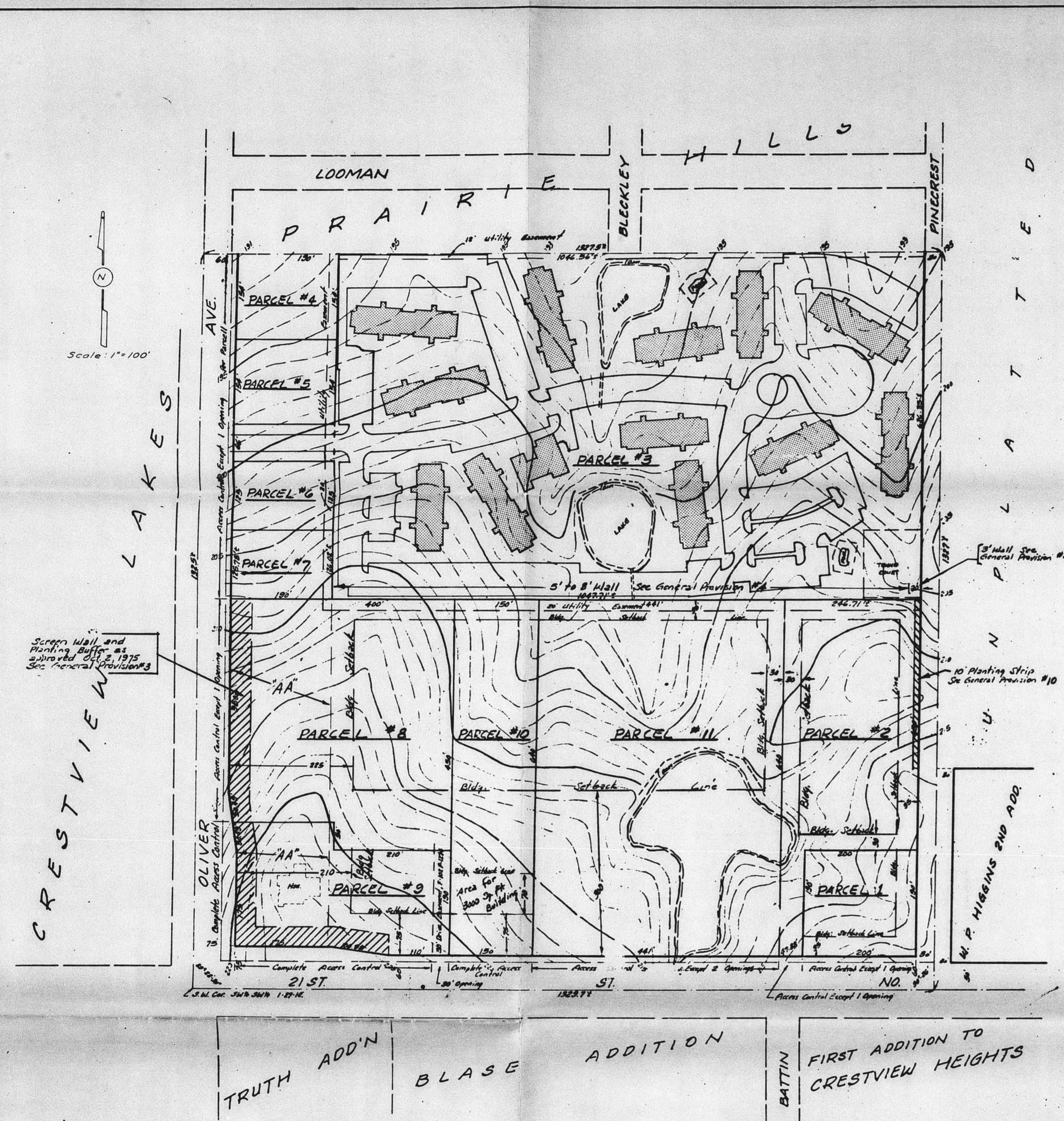
S/D 76-50

N.E. Cor. S.1/4 Sec. 25,  
T27S, R22E, of 4th P.M.

# TIMBER LAKES ESTATES 2<sup>ND</sup> ADDITION TO SEDGWICK COUNTY, KANSAS



Scale: 1" = 100'  
\*\* Iron  
(2075) Minimum Pad Elevation  
B.M. S.E. Cor. N. Hubguard  
Harry St. Bridge  
Elev. 1288.75 M.S.L.



# COMMUNITY UNIT PLAN UNIVERSITY GARDENS

### GENERAL PROVISIONS

- Total Net Land Area 1,561,222 sq. ft. or 35.8 acres.
- Signs as permitted by zoning ordinance.
- A planting strip no less than 75 feet in width as indicated adjacent to Oliver and 21st Street and approved Oct. 7, 1975, (MCA Case # 2-70 to meet condition #1). Failure to properly maintain the planting strip shall be considered a violation of the C.U.P. after a joint determination by the Director of Planning and the Superintendent on Central Inspection, that the planting strips are not properly maintained.
- A 3 to 8 foot high solid or semi-solid wall of brick, stone, masonry, arch, stone or similar materials, shall be constructed along the north line of Parcel #2 & #10 & #11, which may serve as a support for the easement to the north. Such wall to be reduced to 3 feet in height within 20 feet adjacent to Pinecrest. Fence to run five feet 150 feet of Parcel #8 to east 20 feet of Parcel #2.
- Access Controls shall be as follows:
  - 21st Street
    - 1 access point to Parcel 1
    - 1 access point to Parcel 2
    - 2 access points to Parcel 11
    - 1 access point to Parcels 8 and 9
  - Oliver
    - 1 access point to Parcel 8 to be constructed to be utilized with the required access-decal lane.
    - 1 access point to Parcel 3
    - 1 access point to each of Parcel 4, 5, 6, 7
- The transfer of title of all or any portion of the land included within the Community Unit Plan (for any amendments thereto) does not constitute a violation of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.
- No building permits shall be issued until satisfactory warranties on Parcels 1, 2, 8, 9, 10 and 11 are submitted for the installation of access-decal lanes adjacent to 21st and Oliver, and for the installation of drainage improvements on subject parcels.
- A five lane, a minimum of 20 feet in width with sufficient turning radii at corners to accommodate standard fire apparatus, shall be provided around all main structures constructed on parcels 2-8-10-11. Said fire lane or lanes shall have a minimum of five inches of asphalt thickness. No parking shall be allowed in such fire lane, although it may be used for general traffic circulation and passenger loading and unloading. Prior to the final approval of the parking plan, the fire chief or his designated representative shall approve the plan as to the location of the fire lane or lanes.
- There is a right of access to and across each of Parcels 1, 2, 8, 9, 10 and 11 in favor of each of said parcels. Internal vehicular circulation shall be arranged and made available to each parcel in such a manner as to facilitate ease of circulation on title and shall not be removed, altered or changed without the agreement and consent of all owners of all the parcels cited above and the Board of City Commissioners. Such access rights and circulation privileges shall be binding on all owners, heirs, successors or assigns.
- A planting screen as indicated adjacent to Pinecrest on Parcel #2 shall be provided of low shrubbery not less than 10 feet in width shall be of such type and maintained in such a manner, as to not constitute a traffic hazard or if applicable, a solid or semi-solid wall at least 5 feet not more than 8 feet high to prevent the passage of debris or light. Construction of brick, stone, masonry, architectural tile or other similar material (not including wood, wicker wire) shall be constructed if the storage area, service area, or rear of the building face directly onto Pinecrest. A landscape plan shall be prepared by a landscape architect for planting screen adjacent to the east side of Parcel #2, and shall be submitted to the planning department for their review and approval prior to issuance of any building permits on Parcel #2.
- Any application for a "Lot Split" shall require the approval of the Board of City Commissioners.
- During the processing of the replat of parcels 1, 2, 8, 9, 10 and 11, consideration shall be given to the intersection design of 21st and Oliver, including signalization and channelization, as well as the possible reconstruction including signalization of 21st east of Oliver to provide eastbound left turn storage into the shopping center.

### PARCEL # 1

- (A) Area 36,000 Sq. Ft. or 0.822 acres
- (B) Setbacks Pinecrest 35 feet 21st Street 35 feet
- (C) Maximum Height One Story 35 feet
- (D) Maximum Gross Floor Area 8,000 Sq. Ft.
- (E) Maximum Building Coverage shall not exceed 25% of Net Land Area or 8,000 Sq. Ft.
- (F) Parking Ratio as per zoning ordinance.
- (G) Access Points 1 to 21st Street
- (H) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (I) Proposed General Use: Two buildings for restaurant or other retail uses.
- (J) Floor Area Ratio 21%
- (K) Maximum number of buildings two

### PARCEL # 2

- (A) Area 120,278 Sq. Ft. or 2.761 acres
- (B) Setbacks Pinecrest 35 feet 21st Street 150 feet North Property Line 35 feet
- (C) Maximum Height 30 feet
- (D) Maximum Building Coverage shall not exceed 30% of Net Land Area or 33,361 Sq. Ft.
- (E) Maximum Gross Floor Area 33,361 Sq. Ft.
- (F) Floor Area Ratio 30%
- (G) Parking Ratio as per zoning ordinance.
- (H) Access Points 1 to 21st Street
- (I) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (J) Proposed General Use: Office, Shopping Center Facilities Retail uses, no drive-in or carry out type services or one or more auto sales, mobile home sales, recreational vehicles & sales.
- (K) Maximum Number of Buildings One
- (L) Note General Provision #10.

### PARCEL # 3

- (A) Area 650,786.4 Sq. Ft. or 14.94 acres
- (B) Setbacks north property line 30 feet east property line 35 feet west and south property line none (See General Provisions)
- (C) Minimum distances between structures shall not be less than 20 feet.
- (D) Maximum building heights:
  - Building "A" 3 stories
  - Building "B" 7 stories
- (E) Density:
  - Building unit type "A" 120 units
  - Building unit type "B" 72 units
  - Building unit type "C" 36 units
  - Building unit type "D" 300 units
  - Total 20.08 Units/Acre
- (F) Floor area ratio shall not exceed 0.40.
- (G) Signs and monuments designating name of the development shall be in accordance with section 28.04, 27.8-11 of the Code of City of Wichita.
- (H) Buildings and structures shall not cover in excess of 30% of total area.
- (I) Improvements:
  - one and two bedroom garden apartments
  - one and two bedroom high rise apartments
  - clubhouse in conjunction with high rise apartments
- (J) Off Street parking:
  - Total 576 cars
  - Ratio 2 spaces per living unit

### PARCELS # 4-5-6-7

- (A) Areas:
  - Total Parcels #4-5 62,726.4 Sq. Ft. 1.44 acres
  - Total Parcels #6-7 62,290.8 Sq. Ft. 1.43 acres
- (B) Setbacks:
  - Oliver Street 40 ft.
  - North property line 40 ft.
  - All others 25 ft.
- (C) Maximum height 3 stories
- (D) Improvements:
  - Parcel #4-5 single family dwellings
  - Parcel #6-7 single family dwellings
- (E) Floor area ratio shall not exceed 0.20
- (F) Maximum buildings and structures shall not cover in excess of 30% of net area of each lot.

### PARCEL # 8

- (A) Area 170,304 sq. ft. or 3.91 acres
- (B) Setbacks Oliver Street 225 feet north property line 35 feet
- (C) Maximum building height 35 feet
- (D) Maximum land coverage by building shall not exceed 28,350 sq. ft.
- (E) Maximum gross floor area 28,350 sq. ft.
- (F) Floor area ratio 16.6%
- (G) Parking ratio as per zoning ordinance
- (H) Access points 1 to Oliver to be constructed to be utilized with the required access-decal lane. One joint opening to 21st with Parcel #9.
- (I) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (J) Proposed general use: One building of shopping center facilities, retail uses.
- (K) The buildings on Parcels 8, 10 and 11 shall be designed and constructed as an integrated shopping center structure. Each building shall be attached to the other by means of a common wall or walls resulting in a single contiguous structure with the exception of the second building permitted on Parcel 10 within the north 70 feet of the south 145 feet thereof.
- (L) Maximum number of buildings one

### PARCEL # 9

- (A) Area 78,708.6 sq. ft. or 1.807 acres
- (B) Setbacks 21st Street No. 75 feet Oliver Street 210 feet
- (C) Maximum building height 30 feet
- (D) Maximum land coverage by building shall not exceed 3,000 sq. ft.
- (E) Maximum gross floor area 6,000 sq. ft.
- (F) Floor area ratio 7.6%
- (G) Parking ratio as per zoning ordinance.
- (H) Access points 1 joint opening to 21st Street No. with Parcel #9.
- (I) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (J) Proposed general use: One building of office, financial institutions, general retail, no new or used auto agencies, recreational vehicles and mobile home sales agencies, service stations, those businesses normally referred to as fast food carry out restaurants.
- (K) Maximum number of buildings one

### PARCEL # 10

- (A) Area 96,000 sq. ft. or 2.204 acres
- (B) Setbacks 21st Street north property line 35 feet
- (C) Maximum building height 35 feet
- (D) Maximum land coverage by building shall not exceed 30% or 28,800 sq. ft.
- (E) Maximum gross floor area 42,609 sq. ft.
- (F) Floor area ratio 44%
- (G) Parking ratio as per zoning ordinance.
- (H) Access points joint access to 21st Street with Parcel # 9.
- (I) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (J) Proposed general use: One building of shopping center facilities, retail uses. The second building to be no larger than 3,000 sq. ft. (ground floor) and constructed near 21st Street for light commercial uses, except law and used auto agencies, recreational vehicles and mobile home sales agencies, service stations, those businesses normally referred to as fast food carry out restaurants.
- (K) The buildings on Parcels 10 and 11 shall be designed and constructed as an integrated shopping center structure. Each building shall be attached to the other by means of a common wall or walls resulting in a single contiguous structure with the exception of the second building permitted on Parcel 10 within the north 70 feet of the south 145 feet thereof.
- (L) Maximum number of buildings two

### PARCEL # 11

- (A) Area 282,240 sq. ft. or 6.479 acres
- (B) Setbacks 21st Street 150 feet north property line 35 feet
- (C) Maximum building height 35 feet
- (D) Maximum land coverage by buildings shall not exceed 30% or 84,672 sq. ft.
- (E) Maximum gross floor area 84,672 sq. ft.
- (F) Floor area ratio 30%
- (G) Parking ratio as per zoning ordinance.
- (H) Access points 2 to 21st Street, one of which shall be constructed to major entrance standards.
- (I) Drainage shall be handled in the manner as approved at the time of Replatting. See General Provision #7.
- (J) Proposed general uses: One building to be constructed adjacent to west parcel line for shopping center facilities, retail uses.
- (K) The buildings on Parcels 8, 10 and 11 shall be designed and constructed as an integrated shopping center structure. Each building shall be attached to the other by means of a common wall or walls resulting in a single contiguous structure with the exception of the second building permitted on Parcel 10 within the north 70 feet of the south 145 feet thereof.
- (L) Maximum number of buildings one

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5/076-99 file

Baughman Company  
830 Laura  
Wichita, Kansas  
Sept. 18, 1976



1. It should be noted that the revised associated Community that plan 10-8-8, has been approved by the Board of City Commis-
2. As required on the approved CIP, the applicant shall guarantee the construction of a major entrance on lot 4 to 21st Street.
3. The applicant shall guarantee the construction and installation of all drainage improvements required on the plat.
4. The applicant shall guarantee the construction of the 20-foot wide easement to the entire frontage of the 20-foot subject property along Oliver Street and 21st Street North.
5. Recording of the plat within 30 days after the approval by the Board of City Commissioners.

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OFFICE COPY

NOTICE OF ADDITION  
UNIVERSITY GARDENS

99-87-812

building shall be constructed on or within said Pleadway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the Wichita-Sedgwick County Flood Control Office or their successors of office.

The Oliver Partnership, a Kansas Partnership  
Lindy Andeel Daniel M. Carney Leslie Rudd

Dillon Real Estate Co., Inc., a Kansas Corporation  
Roy E. Dillon President  
Paul W. Dillon Secretary

E.N. Maisel and Associates, a Michigan Co-Partnership  
\_\_\_\_\_ and \_\_\_\_\_

Jahn Hale Chairman  
Earl E. Rush Commissioner  
Tom Scott Commissioner  
George Pierce County Clerk

State of Kansas } S.S. This is to certify that this plat  
Sedgwick County } has been filed for record in the Office of the Register  
of Deeds this \_\_\_\_\_ day of \_\_\_\_\_, 1976 at  
o'clock \_\_\_\_\_ M; and is duly recorded.

Bette K. Hecart Register of Deeds  
Pat Kettler Deputy

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 1976.  
George Pierce County Clerk

We, The Union National Bank of Wichita, Kansas, holders of a mortgage on part of the above described property, do hereby consent to this plat of "UNIVERSITY GARDENS END ADDITION"

State of Kansas } S.S. Be it remembered that on this  
Sedgwick County } day of \_\_\_\_\_, 1976, before me a notary public  
in aforesaid county and state came The Oliver Partner-  
ship, a Kansas Partnership by Lindy Andeel, Daniel M.  
Carney and Leslie Rudd, to me known to be the same  
persons who executed the foregoing instrument of  
writing and duly acknowledged the execution of the  
same. In testimony whereof I have hereunto set my  
hand and affixed my notarial seal the day and year  
above written.

\_\_\_\_\_, Notary Public  
My Commission Expires \_\_\_\_\_

State of Kansas } S.S. Be it remembered that on this  
Reno County } day of \_\_\_\_\_, 1976, before me a notary public  
in aforesaid county and state came the Dillon Real  
Estate Co., Inc., a Kansas Corporation, by Roy E. Dillon,  
Pres. and Paul W. Dillon, Sec. to me known to be the  
same persons who executed the foregoing instrument  
of writing and duly acknowledged the execution of  
the same. In testimony whereof I have hereunto  
set my hand and affixed my notarial seal the day  
and year above written.

\_\_\_\_\_, Notary Public  
My Commission Expires \_\_\_\_\_

State of Michigan } S.S. Be it remembered that on this  
County } day of \_\_\_\_\_, 1976, before me a notary public  
in aforesaid county and state came E. N. Maisel and  
Associates, a Michigan Co-Partnership by \_\_\_\_\_  
and \_\_\_\_\_  
to me known to be the same persons who executed  
the foregoing instrument of writing and duly acknow-  
ledged the execution of the same. In testimony  
whereof I have hereunto set my hand and affixed  
my notarial seal the day and year above written.

\_\_\_\_\_, Notary Public  
My Commission Expires \_\_\_\_\_

State of Kansas } S.S. Be it remembered that on this  
Sedgwick County } day of \_\_\_\_\_, 1976, before me a notary public in  
aforesaid county and state came the Union National Bank  
of Wichita, Kansas, by \_\_\_\_\_,  
and \_\_\_\_\_, to me known to be  
the same persons who executed the foregoing instrument  
of writing and duly acknowledged the execution of the  
same. In testimony whereof I have hereunto set my hand  
and affixed my notarial seal the day and year above  
written.

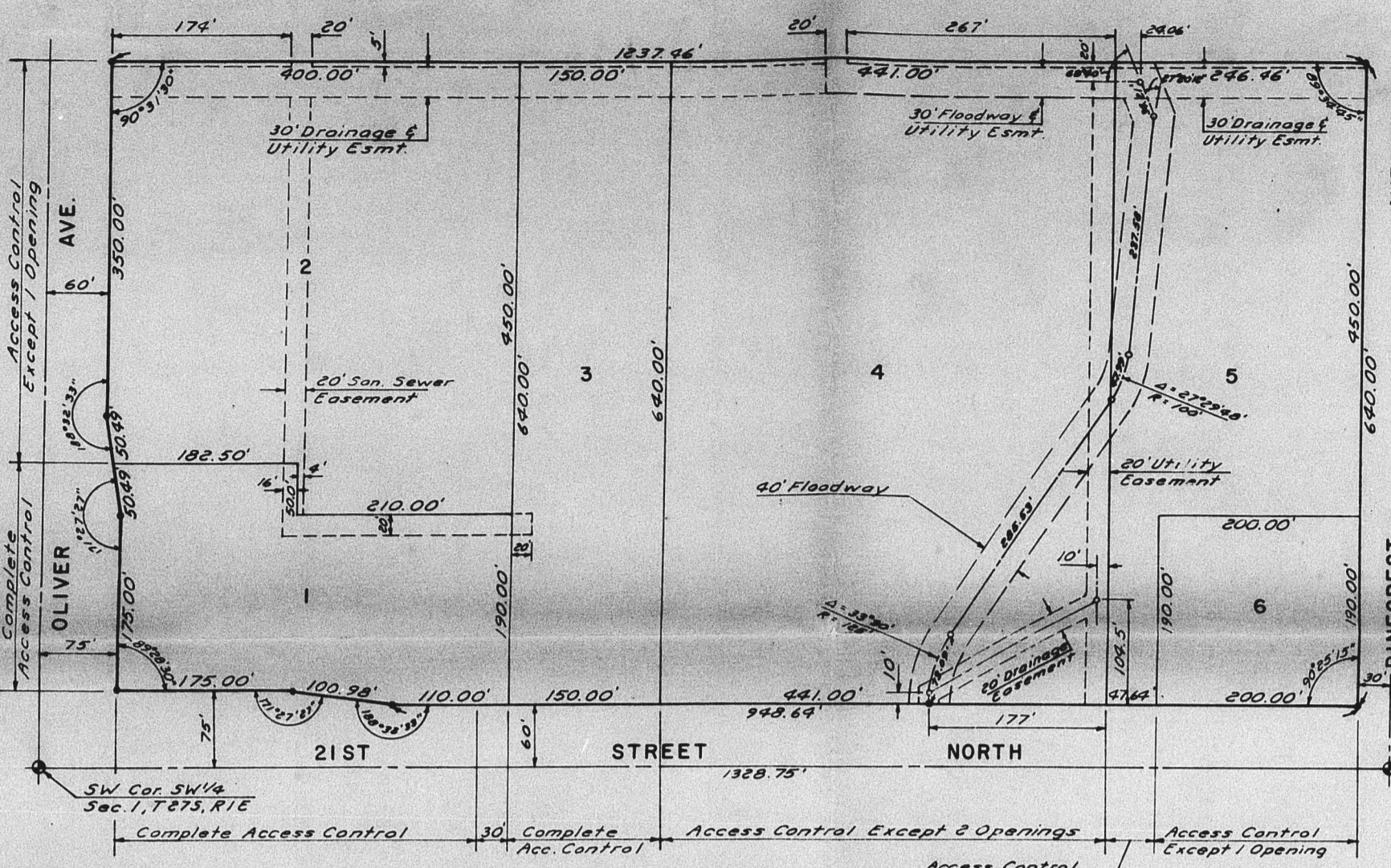
\_\_\_\_\_, Notary Public  
My Commission Expires \_\_\_\_\_

S/D 76-99

# UNIVERSITY GARDENS 2ND ADDITION

WICHITA, KANSAS

COPY DEAD FILE  
RECORDED ON 7/13/77  
APPROVED FOR RECORDING



State of Kansas } S.S. We, Baughman Company, Surveyors in aforesaid Sedgwick County, Kansas, do hereby certify that we have surveyed and plotted UNIVERSITY GARDENS 2ND ADDITION, Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as a replat of Lots 1, 2 and 3, and part of 21st St North described as beginning at the SW corner of said Lot 1; thence easterly along the south line of said Lot 1, 100.00 feet; thence southerly, 100.00 feet; thence northwesterly to the point of beginning, and part of Oliver Ave described as beginning at a point on the west line of said Lot 2, said point being 75.00 feet north of the southwest corner thereof; thence northerly, along said west line 100.00 feet; thence westerly, 100.00 feet; thence southeasterly to the point of beginning, all of the above as plotted in University Gardens, Wichita, Kansas. Said streets are being vacated by virtue of KSA 1970 Supp. 12-312 (a).

Wm. L. Baughman, Surveyor

This plat of 'UNIVERSITY GARDENS 2ND ADDITION,' Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 20th day of October, 1976.

Wichita-Sedgwick County Metropolitan Area Planning Commission.  
 William J. Goshard, Chairman  
 Robert A. Lavin, Secretary

Know all men by these presents, that we, the undersigned, have caused the land described in the surveyors certificate to be plotted into lots to be known as 'UNIVERSITY GARDENS 2ND ADDITION,' Wichita, Kansas. The easements are hereby granted as indicated for the construction and maintenance of public utilities, all other rights of access over and across the north line of 21st Street North and the east line of Oliver Ave are hereby granted to the City of Wichita, except however, that Lot 1 shall have access to 21st Street North over the east 30 feet of said lot; Lot 2 shall have access to Oliver Ave at one location; Lot 3 shall have access to 21st Street North at two locations; Lot 5 shall have access to 21st Street North at one location and Lot 6 shall have access to 21st Street North at one location, said locations to be determined by the City Engineer of Wichita, Kansas. The Floodway shall be the responsibility of the owners of the property in the subdivision until such time as the governing body exercising jurisdiction elects to assume the responsibility for maintenance and improvement of the drainage, provided further that no building shall be constructed on or within said Floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the Wichita-Sedgwick County Flood Control Office or their successors in office.

This plat approved and all dedications shown hereon accepted by the Board of City Commissioners, Wichita, Kansas, this 12th day of October, 1977.

Wm. Shaver, Mayor  
 Donald C. Buser, City Clerk

This plat approved and all dedications shown hereon accepted by the Board of County Commissioners, Sedgwick County, Kansas, this \_\_\_ day of \_\_\_, 1977.

Jim Hall, Chairman  
 John Hale, Commissioner  
 Lowell F. Bohn, Commissioner  
 Dorothy K. White, County Clerk

The Oliver Partnership, a Kansas Partnership  
 Lindsey, Andrew A. Corney, Daniel M. Corney, Leslie R. Ridd, Partners

Dillon Real Estate Co., Inc., a Kansas Corporation  
 Roy C. Dillon, President  
 Robert A. Lavin, Secretary

E.N. Maisel and Associates, a Michigan Co-Partnership  
 Robert A. Lavin, Partner  
 M.A. Dorfman, Partner

State of Kansas } S.S. This is to certify that this plat has been filed for record in the Office of the Register of Deeds this \_\_\_ day of \_\_\_, 1977 at \_\_\_ o'clock \_\_\_ M; and is duly recorded.

Bette A. McCarr, Register of Deeds  
 Pat Kettler, Deputy

Entered on transfer record this \_\_\_ day of \_\_\_, 1977.  
 Dorothy K. White, County Clerk

We, The Union National Bank of Wichita, Kansas, holders of a mortgage on part of the above described property, do hereby consent to this plat of UNIVERSITY GARDENS 2ND ADDITION.  
 Norman F. Friderick, S.V.P.

State of Kansas } S.S. Be it remembered that on this 14th day of December, 1976, before me a notary public in aforesaid county and state came The Oliver Partnership, a Kansas Partnership by Lindsey, Andrew A. Corney, Daniel M. Corney and Leslie R. Ridd, to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Mabel Diane Buckholz, Notary Public  
 Commission Expires 4/14/78

State of Kansas } S.S. Be it remembered that on this 5th day of February, 1977, before me a notary public in aforesaid county and state came the Dillon Real Estate Co., Inc., a Kansas Corporation, by Roy C. Dillon, President and Robert A. Lavin, Secretary, to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Norma Meyer, Notary Public  
 Commission Expires 11/14/77

State of Kansas } S.S. Be it remembered that on this 3rd day of February, 1977, before me a notary public in aforesaid county and state came the Union National Bank of Wichita, Kansas, by Norman F. Friderick, S.V.P., to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Norman F. Friderick, Notary Public  
 Commission Expires 11-14-77

State of Michigan } S.S. Be it remembered that on this 12th day of November, 1976, before me a notary public in aforesaid county and state came E.N. Maisel and Associates, a Michigan Co-Partnership by Robert A. Lavin, Partner and M.A. Dorfman, Partner to me known to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Mabel Diane Buckholz, Notary Public  
 My Commission Expires April 12, 1978