

GENERAL PROVISIONS:

1. The development contains 23.8 acres net area.
2. The proposed development contains one parcel of General Office use, one parcel of neighborhood retail and eight parcels of commercial use, one with conditional use, and one single family residential parcel. See parcel description for specific uses in each parcel.
3. All utilities shall be installed underground.
4. Street Right-of-way and pavement width to be determined at the time of platting.
5. A drainage plan to be provided at the time of platting.
6. Parking shall be provided in accordance with the standards of the Unified Zoning Code.
7. The transfer of title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land for development and be binding upon the present land owners, their successors and assigns and their lessees unless amended.
8. Fire lane shall be in accordance with City of Wichita Fire Code. No parking shall be allowed in said fire lanes although they may be used for passenger loading and unloading. During the building permit review, the Fire Chief or his designated representative shall approve the site plan regarding the design of the fire lanes prior to the issuance of a building permit.
9. All lighting shall be shielded to reflect the light downward and away from residential area. There shall be no rear building lights within 50 feet of the west lines of Parcels 1, 3, and 5, and the south lines of Parcels 3, 5, and 9.
10. Trash receptacles, loading docks and service areas shall be appropriately screened to reasonably hide them from ground view. These areas shall be screened from Harry and Greenwich and the residential areas to the west and south with screening walls and/or landscaping approved by the Planning Director.
11. Masonry Wall - A solid or semi-solid wall constructed of brick, stone, masonry, architectural tile or other similar material (not including wood or woven wire), at least six feet but no more than eight feet high shall be constructed along the south line of parcels 1, 3, and 9 and west line of Parcel 3. No wall shall be constructed in a utility easement. The entire wall shall be constructed at the time a building permit is issued for any portion of parcel 3 or 9 of the C.U.P.. Opening in the wall to permit pedestrian access from the south shall be permitted if approved by the Director of Planning.
12. Guarantees for street improvements on Harry and Greenwich shall be determined at the time of platting.
13. All roof top equipment shall be screened from ground level view from adjacent residential areas.
14. Architectural Control - All building exteriors shall share a consistent design, color and texture, except for Parcel 11.8.3 mechanical equipment etc. shall be screened and/or painted according to the acceptable color range. All lighting within each parcel shall share consistent design (fixtures, poles, lamps etc.). Variations must be approved by the Director of Planning.
15. * See Note Below
*** See Note Below
No portable or off-site signs shall be permitted.
Signage for Parcels 2-9 shall be as permitted in the neighborhood retail district. All signs shall be monument type signs and spaced 150 foot apart. Monument type signs are defined as a detached sign where the width of the base of the sign is at least 1/2 the width of the widest part of the sign face, or where the base consists of two or more supports where sign face is not more than two feet above the average grade of the ground. A monument sign shall harmonize with the architecture of the structure or complex it serves and be constructed of materials consistent with the same.
16. If multiple ownership is anticipated, an Owner's Association agreement providing for the maintenance of reserves, open spaces, internal drives, parking areas, drainage improvements etc. shall be filed with the plat of the area.
17. Landscape Buffers and Screening - All landscaping and screening shall be in accordance with the City Landscape Ordinance. A landscape plan indicating the location, type and specification of plant material shall be submitted to the Planning Department for their review and approval prior to issuance of any occupancy permit. The landscape plan shall also state how water is to be provided to the plant material. A financial guarantee for the plant materials and watering system(s) approved for the landscape plan shall be required prior to the issuance of any occupancy permit, if the required landscaping has not been installed. The buffer on the South line of Parcel 9 and 3 and the west line of 3 will be planted at a rate of 1 tree per 20' with at least 1/3 of the plant material being evergreen. If parcel is developed Single Family, use SF-5 landscape requirements.
18. Access Control: As shown on sketch.
19. A plan for a pedestrian walk system shall be a requirement of the C.U.P. The walk system shall link the proposed building with the entrances and sidewalks along Harry and Greenwich Streets and shall be assured by required submission and approval of circulation plans by the Director of Planning prior to issuing building permits.
20. No building permits shall be issued until municipal water and sewer service is available to site.
21. The following uses are prohibited within 200 feet of residentially-zoned property: service stations, convenience stores with gas islands, restaurants with drive-in or drive-through facilities, and vehicle service or repair uses that have overhead doors facing those districts.*** See note below
22. Cross lot circulation shall be maintained between Parcels 1, 10 ** See Note Below

PARCEL DESCRIPTION:

- PARCEL NO.: 1**
Uses: All uses allowed in SF-5 Zoning
Gross Area = 87,363 sf
Parking: Per covenant
Setbacks: Per Smithmoor 11th Plat
- PARCEL NO.: 2**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 3**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = 161,714 s.f. (Parcel 6 combine into Parcel 3)
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 4**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 5**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 6**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 7**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 8**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 9**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
- PARCEL NO.: 10**
Uses: All uses allowed in NR (Neighborhood Retail) Zoning.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
Total Buildings: 1

PARCEL NO.: 3
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs, But including Warehouse Self Storage per Article III - 6.d.y. of the Unified Zoning Code.
Gross Area = As shown
Parking: Per Code
Setbacks: Per Code and as shown
Floor Area Ratio: Per Code
Architectural Control: All Buildings shall share a similar design and color as the rest of the development. Buildings may have metal panels. Structures shall contain at least 20% brick, brick requirement shall be lowered to 10% brick for the two furthest west buildings, and brick requirement shall be waived for the south and west building elevations of said west buildings, that are screened by perimeter masonry wall or fence. Roofing material may be composite or metal and shall have a similar color to other buildings in the development, if visible. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14.

Dated 8/13/25
APPROVED CUP
Per Admin Adjustment
10/4
As per AA CUP 2021-15
3-31-2021
APPROVED CUP
10/27-2017
MADP Copy 1 of 4

COMMUNITY UNIT PLAN DP-# 243
SMITHMOOR COMMERCIAL DEVELOPMENT
SEC. 33-27S-2E
WICHITA, SEDGWICK COUNTY,
KANSAS
JUNE, 1999

Smithmoor Teeth Addition
(Zoned SF-5)



**Wichita-Sedgwick County
Metropolitan Area
Planning Department**

February 13, 2025

JHB Properties, LLC
PO Box 706
Andover, KS 67002

K.E. Miller Engineering, P.A.
Attn: Kirk Miller
117 E. Lewis St.
Wichita, KS 67202

RE: CUP2024-00050 – Administrative Adjustment in the City to the Smithmoor Commercial Development CUP DP-243 to adjust architectural controls for new storage buildings on Parcel 3, on property zoned LC Limited Commercial District and GC General Commercial District; generally located on the west side of South Greenwich Road and within one-quarter mile south of East Harry Street (1717 S. Greenwich Road).

Legal Description: TH PT LOTS 3, 6 & 8 BEG SE COR LOT 9 BLOCK A SAID ADD TH W 960.05 FT N 465.4 FT E 710.05 FT TO PT 30 FT S NW COR LOT 8 BLOCK A SAID ADD TH S 40 FT E 250 FT S 425.4 FT TO BEG & ALL LOT 9 BLOCK A SMITHMOOR COMMERCIAL ADDITION, Wichita, Sedgwick County, Kansas.

Dear Applicant,

We received and reviewed your request for an Administrative Adjustment to CUP DP-243 to adjust the architectural controls for new storage buildings on the west side of Parcel 3. This letter also acknowledges that the original request included a request to waive the requirement for a pedestrian connection to the Parcels from South Greenwich Road. We have received correspondence stating that the applicant will comply with that standard, and the waiver is no longer requested.

Parcels 3 and 9 are currently constructed with a Warehouse, Self-Service Storage Use. A portion of the west side of Parcel 3 is undeveloped, and it is our understanding that the applicant desires to construct four additional storage buildings on the west side of Parcel 3. Parcel 9 fronts along South Greenwich Road, and Parcel 3 is internal to the CUP. The majority of the existing buildings are screened from South Greenwich Road and abutting residential development by other storage buildings or the required six-foot masonry screening wall. A portion of the west property line of Parcel 3 is not screened due to the presence of a pipeline easement, for which a masonry wall is not permitted to be constructed. The north and east sides of Parcels 3 and 9 are enclosed with a metal security fence with vehicular gate access along South Greenwich Road.

The following reflects the proposed modifications identified in red letters.

GENERAL PROVISIONS

Parcel No. 3

Architectural Control: All Buildings shall share a similar design and color as the rest of the development. Buildings may have metal panels. Structures shall contain at least 20% brick, **brick requirement shall be lowered to 10% brick for the two west buildings, and brick requirement shall be waived for the south and west building elevations of said west buildings that are screened by a perimeter masonry wall or fence.** Roofing material may be composite or metal and shall have a similar color to other buildings in the development if visible. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14.

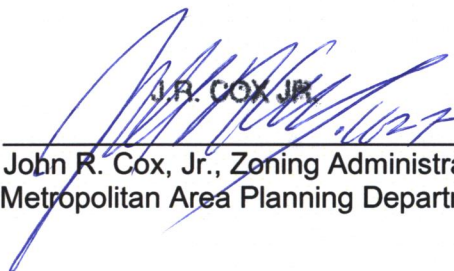
On the basis of our review, we find that adjusting the CUP to reduce the architectural controls for new storage buildings on the west side of Parcel 3 is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan. The buildings that will be permitted to have less masonry than previously required will be screened from view of neighboring properties by the existing masonry wall.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit one (1) electronic copy and four (4) full-sized paper copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

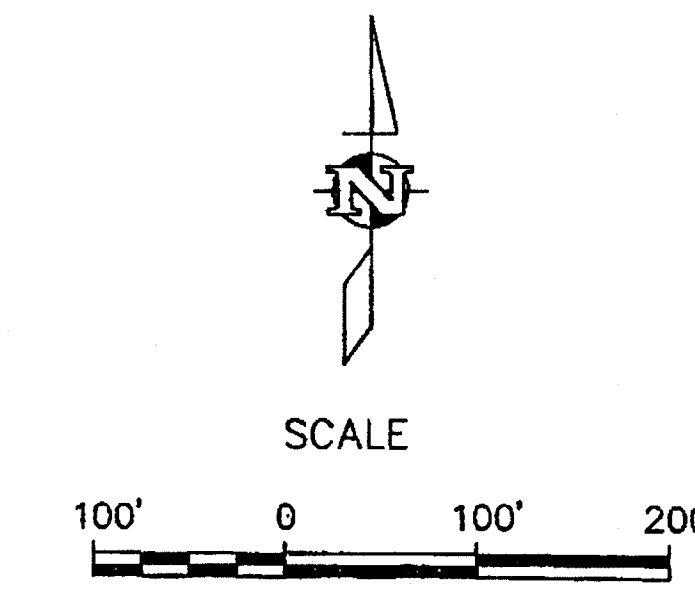
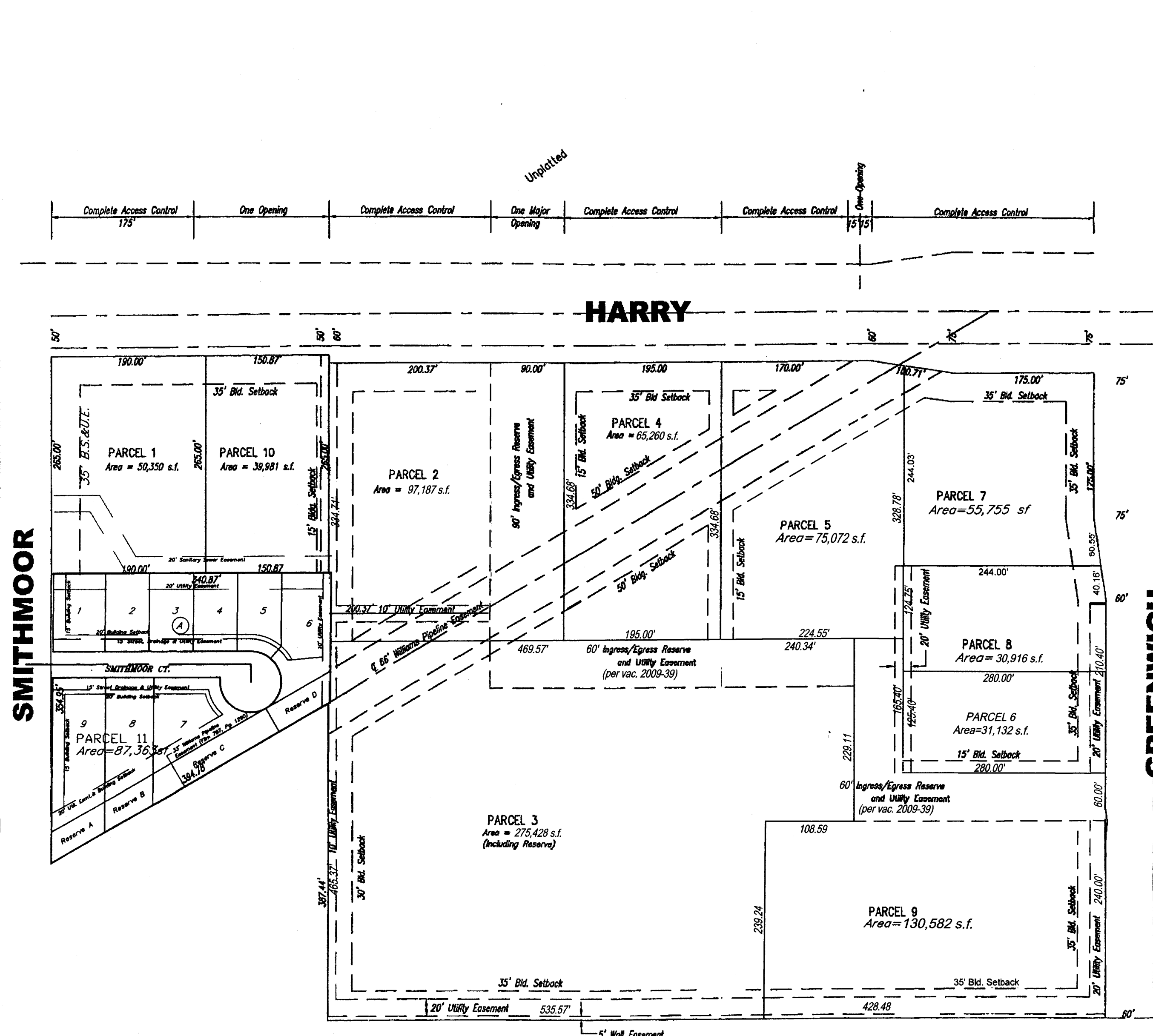


Scott Wadle, Director
Metropolitan Area Planning Department



John R. Cox, Jr., Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Becky Tuttle, CM District II
Teresa Veazey, CSR District II



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- A drainage plan to be provided at the time of platting.
- Parking shall be provided in accordance with the standards of the Unified Zoning Code.
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- All lighting shall be shielded to reflect the light downward and away from residential area. There shall be no rear building lights within 50 feet of the west lines of Parcels 1, 3, and 6, and 9.
- Trash receptacles, loading docks and service areas shall be appropriately screened to reasonably hide them from ground view. These areas shall be screened from Harry and Greenwich and the residential areas to the west and south with screening walls and/or landscaping approved by the Planning Director.
- Masonry Wall - A solid or semi-solid wall constructed of brick, stone, masonry, architectural tile or other similar material (not including wood or woven wire), at least six feet but no more than eight feet high shall be constructed along the south line of parcel 3, and west line of Parcel 3. No wall shall be constructed in a utility easement. The entire wall shall be constructed at the time a building permit is issued for any portion of parcel 3 or 9 of the C.U.P.. Opening in the wall to permit pedestrian access from the south shall be permitted if approved by the Director of Planning.
- Guarantees for street improvements on Harry and Greenwich shall be determined at the time of platting.
- All roof top equipment shall be screened from ground level view from adjacent residential areas. *except for Parcel 11, 8.3
- Architectural Control - All building exteriors shall share a consistent design, color and texture. Exterior utility boxes, mechanical equipment etc. shall be screened and/or painted according to the acceptable color range. All lighting within each parcel shall share consistent design (fixtures, poles, lamps etc.). Variations must be approved by the Director of Planning.
- * See Note Below
** See Note Below
No portable or off-site signs shall be permitted.
Signage for Parcels 2-9 shall be as permitted in the "LC" Limited Commercial district. Signage for Parcel 10 shall be as permitted in neighborhood retail district. All signs shall be monument type signs and spaced 150 foot apart. Monument type signs are defined as a detached sign where the width of the base of the sign is at least 1/2 the width of the widest part of the sign face, or where the base consists of two or more supports where sign face is not more than two feet above the average grade of the ground. A monument sign shall harmonize with the architecture of the structure or complex it serves and be constructed of materials consistent with the same.
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- Access Control: As shown on sketch.
- A plan for a pedestrian walk system shall be a requirement of the C.U.P. The walk system shall link the proposed building with the entrances and sidewalks along Harry and Greenwich Streets and shall be assured by required submission and approval of circulation plans by the Director of Planning prior to issuing building permits.
- No building permits shall be issued until municipal water and sewer service is available to site.
- The following uses are prohibited within 200 feet of residentially-zoned property: service stations, convenience stores with gas islands, restaurants with drive-in or drive-through facilities, and vehicle service or repair uses that have overhead doors facing those districts.**** See note below
- Cross lot circulation shall be maintained between Parcels 1, 10 ** See Note Below

PARCEL DESCRIPTION:

- PARCEL NO.: 1**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 2**
 Uses: All uses allowed in SF-5 Zoning
 Gross Area = 87,363 sf
 Parking: Per covenant
 Setbacks: Per Smithmoor 11th Plat
- PARCEL NO.: 3**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 4**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 5**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 6**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 7**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 8**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 9**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
- PARCEL NO.: 10**
 Uses: All uses allowed in NR (Neighborhood Retail) Zoning.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code
 Floor Area Ratio: 0.3
 Total Buildings: 1
- PARCEL NO.: 11**
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code

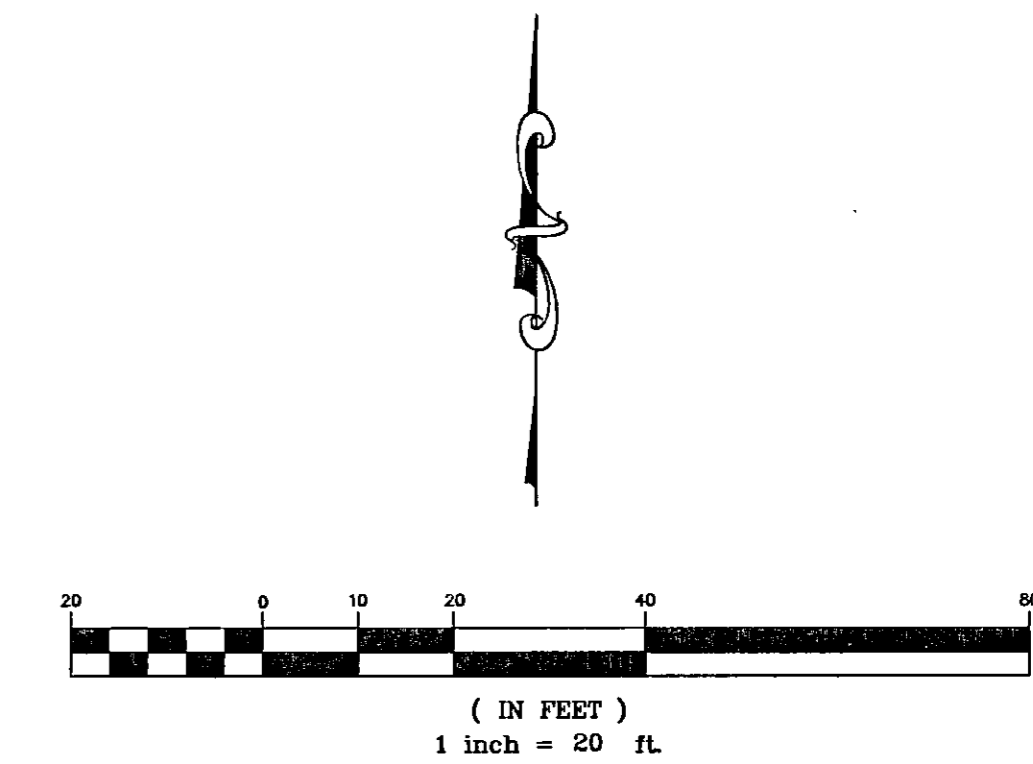
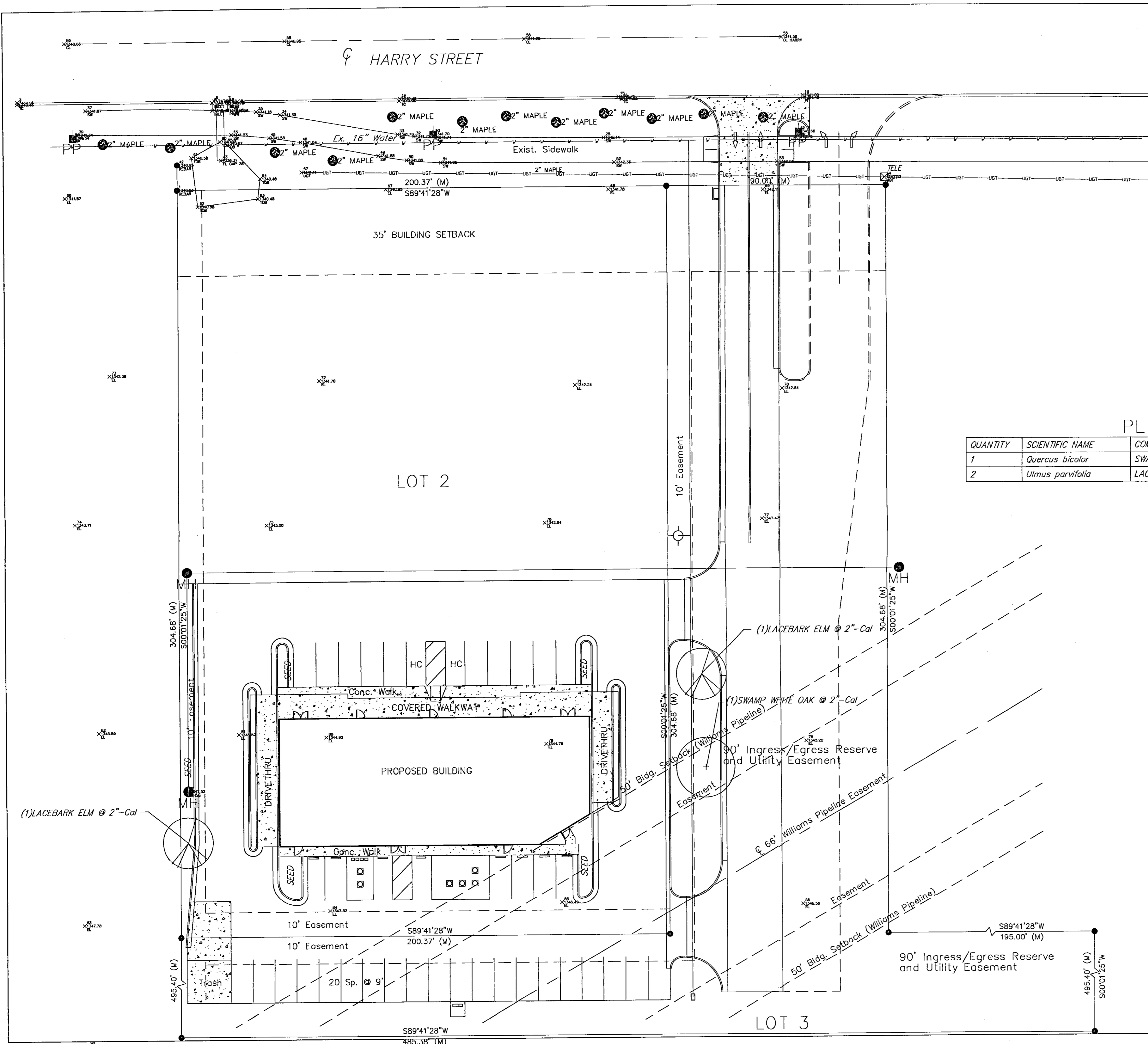
PARCEL NO.: 3
 Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
 Gross Area = As shown
 Parking: Per Code
 Setbacks: Per Code and as shown
 Floor Area Ratio: Per Code
 Architectural Control: All Buildings shall share a similar design and color as the rest of the development. Buildings may have metal panels. Structures shall contain at least 20% brick. Roofing material may be composite or metal and shall have a similar color to other buildings in the development, if visible. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14.

**COMMUNITY UNIT PLAN DP-# 243
 SMITHMOOR COMMERCIAL DEVELOPMENT
 SEC. 33-27S-2E
 WICHITA, SEDGWICK COUNTY,
 KANSAS
 JUNE, 1999**

As per AA CUP2018-23 BL
APPROVED CUP
 MAPC 6-3-2017 Rlm
 WCC 7-27-2017 BL
 MAPD Copy 1 of 4

Adjusted:	05/24/2018
Adjusted:	07/11/2017
Adjusted:	01/19/2011
Amendment #3:	05/19/09
Adjusted:	08/08/08
Adjusted:	05/18/07
Amended:	10/20/06
Revised:	12/13/02
Revised:	9/26/99
Revised:	7/7/99
Revised:	4/17/00

*** Signage for Parcel 1 shall be as permitted in the "GO" General Office district and for Parcel 11 shall be as permitted in the "SF-5" Single-family Residential district. No building wall signage shall be permitted in Parcel 9.
 **** Any overhead doors facing residential (including those on the most proximate or those on the interior of the site) shall be of inconspicuous design and color to fade from view. Overhead doors shall be limited to eight feet in height, as shown on the site plan, except for the north elevations. No freestanding light poles shall be permitted within 50 feet of the south property line and freestanding light poles shall be limited to 15 feet in height. Wall-packs may be permitted on the south facade of the building but must have front shields. All lights shall prevent light spillage and glare onto the adjoining property.



PLANT SCHEDULE

QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH	COMMENTS
1	<i>Quercus bicolor</i>	SWAMP WHITE OAK	2"-Cal	10'	6'	Strong central leader
2	<i>Ulmus parvifolia</i>	LACEBARK ELM	2"-Cal	10'	6'	Strong central leader

LANDSCAPE REQUIREMENTS:

LANDSCAPED STREET YARD:
None required. Developed property has no street frontage.

Landscape Street Yard Shown: 1, 052 s.f.

PARKING LOT SCREENING:
None required. Parking lot is more than 150' beyond the property line abutting the street.

PARKING LOT LANDSCAPING:
47 Parking Spaces divided by 20 = 3 Shade Trees
Trees Shown: 3 Shade Trees

LEGEND

- Gas Meter
- Power Pole
- Mailbox
- Overhead Electric
- Gas Line
- Sanitary Sewer
- Storm Sewer
- Water Line
- Underground Telephone

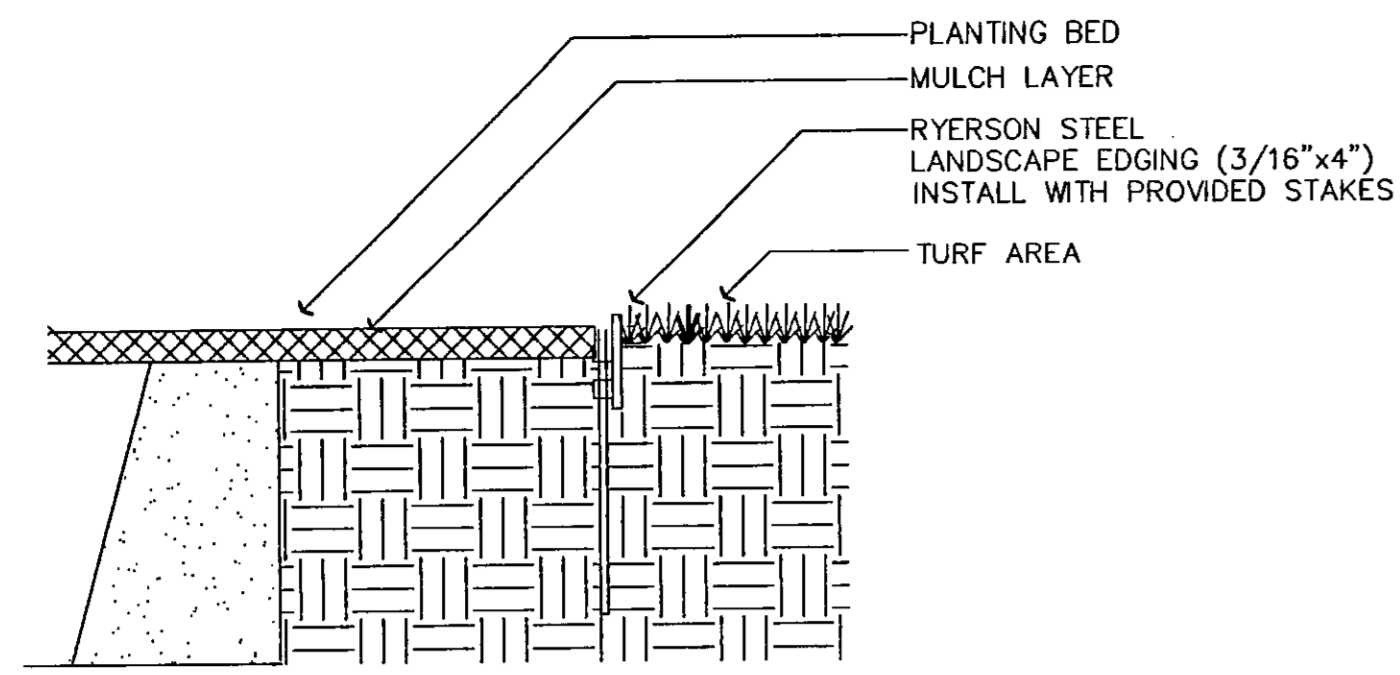
DP-243 PARCEL 2 (PORTION)
LANDSCAPE PLAN
APPROVED 12/17/02 BY DG
SHEET 1 OF 2
LIMITS OF REVIEW -
SOUTHERN HALF OF LOT 2 ONLY

MAPD Log 2 of 2

Lot 2, Smithmoor Commercial Addition
Landscape Plan
Wichita, Kansas

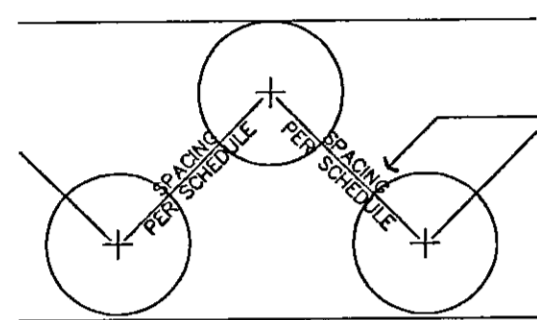
PROJECT NUMBER			
kemiller <i>engineering</i>	KEM NO. 02-065	FILE IS	DATE 8/02
	DESIGN KM	DRAWN TO	REVISED
			SHEET 3 OF 4

516 S. Market, Wichita, KS 67202 316/264-0242

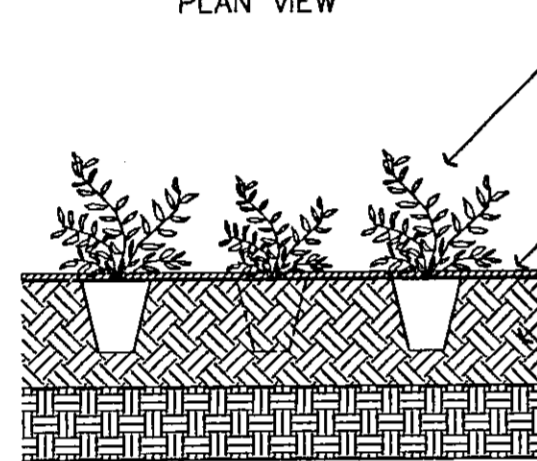


EDGING DETAIL

STEEL NO SCALE



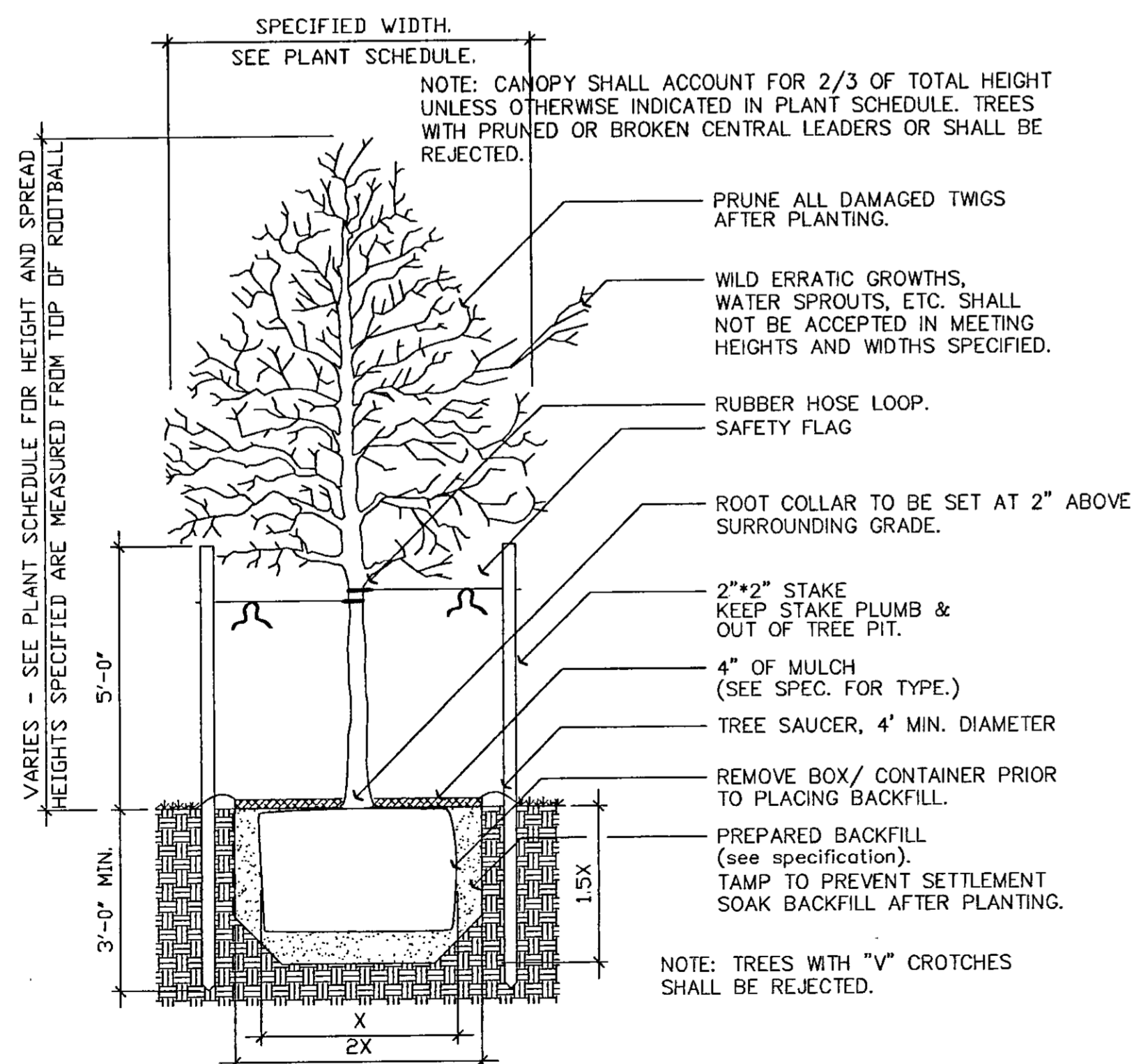
PLAN VIEW



SECTION

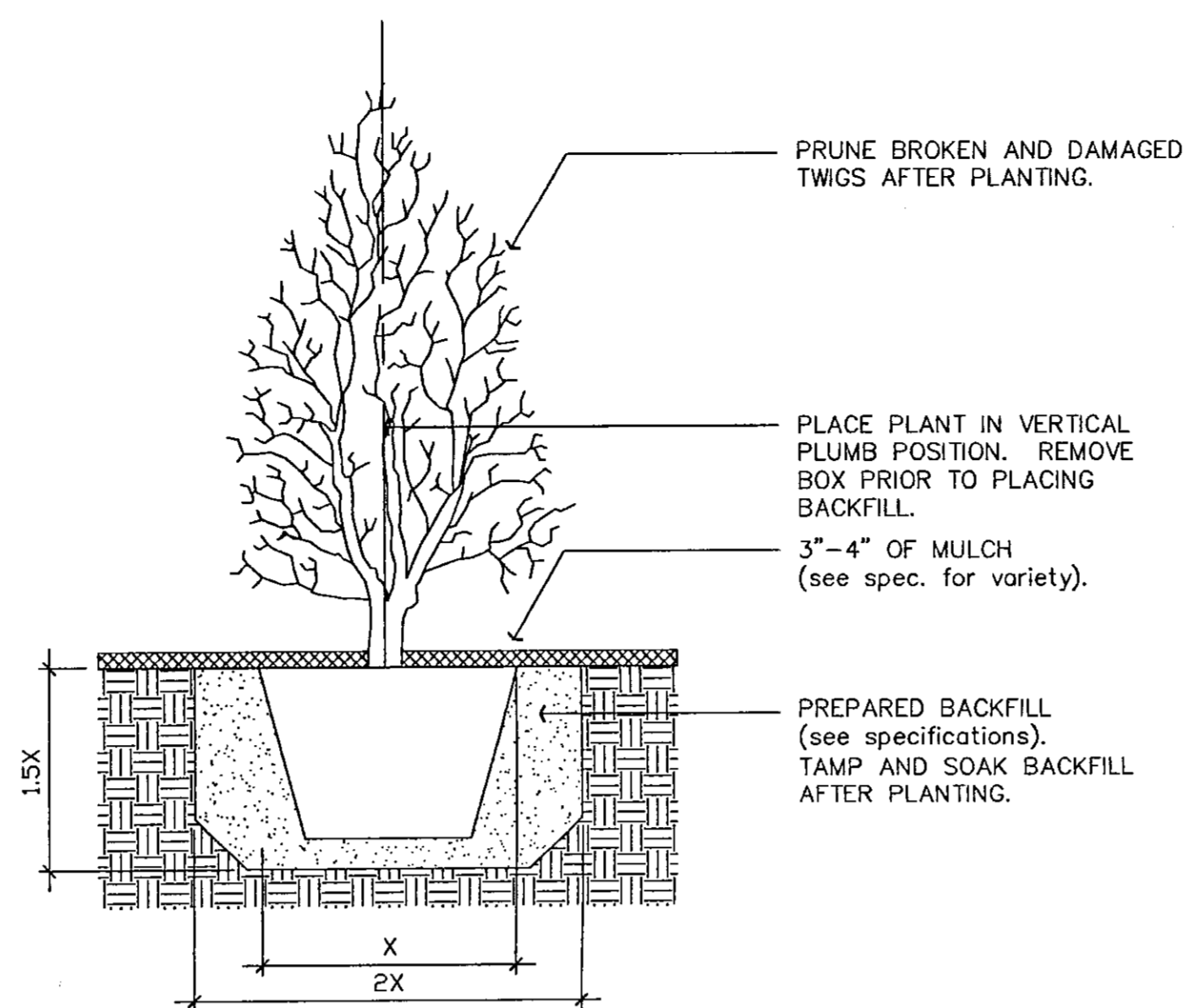
GROUND COVER PLANTING DETAIL

NO SCALE



TREE PLANTING & STAKING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE

PLANTING NOTES

GENERAL

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WICHITA'S LANDSCAPE ORDINANCE.
 2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THE PLANS. CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY WITH DIRECTION OF OWNER.
 3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
 4. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
 5. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
 6. LIMITS OF CONSTRUCTION SHALL BE THE PROPERTY LINE ON THE EAST AND WEST AND THE BACK OF CURB ON THE NORTH AND SOUTH.
- SITE PREPARATION AND EARTHWORK
7. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
 8. TOPSOIL SHALL BE A FRIABLE LOAM WITH GOOD STRUCTURE. SOLUBLE SALTS SHALL NOT EXCEED 500ppm AND ORGANIC MATTER SHALL BE NO LESS THAN 1.5% BY WEIGHT. pH SHALL RANGE BETWEEN 6.0 AND 7.0.
 9. LANDSCAPE CONTRACTOR SHALL HAVE TOPSOIL AND ONSITE SOILS TESTED BY A CERTIFIED TESTING LABORATORY AND OBTAIN RECOMMENDATIONS FOR SOIL AMMENDMENT TYPE(S) AND QUANTITIES. SUBMIT A COPY OF THIS REPORT TO THE ARCHITECT FOR THEIR RECORDS. RECOMMENDATIONS SHALL BE SPECIFIC TO THE PLANT MATERIALS SPECIFIED ON THE DRAWINGS.
 10. GENERAL CONTRACTOR SHALL PLACE 4" OF TOPSOIL IN ALL TURF AND PLANTING BEDS WITHIN THE LIMITS OF CONSTRUCTION.
 11. ALL ROUGH GRADING SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE.

PLANTING PREPARATION

12. CULTIVATE GROUND COVER PLANTING BEDS TO A DEPTH OF 12". TILL AMENDMENTS INTO THE PLANTING BED AT THE RATIOS SPECIFIED BY A CERTIFIED TOPSOIL ANALYSIS.
13. BACKFILL: FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL TOPSOIL MIXED WITH AMENDMENTS AT THE RATIOS SPECIFIED BY A CERTIFIED TOPSOIL ANALYSIS.
14. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE. LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO INSURE ADEQUATE DRAINAGE.

PLANTING PREPARATION

15. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMAN'S "AMERICAN STANDARD OF NURSERY STOCK." HEIGHT OF PLANT MATERIALS SHALL BE MEASURED FROM EXISTING SOIL LINE AT TOP OF ROOTBALL TO TOP OF CROWN.
16. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
17. PLANTS DESIGNATED CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE REJECTED.
18. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
19. USE TRIANGULAR SPACING IN ALL GROUNDCOVER AND ANNUAL BEDS.
20. PLANT GROUNDCOVER WITHIN ONE FOOT (1') OF TRUNKS OF TREES OR SHRUBS PLANTED WITHIN AREA.
21. SOD/SEED TYPE SHALL BE LOCALLY AVAILABLE THIN BLADE FESCUE BLEND.

RELATED ITEMS

22. EDGING: 6" COMMERCIAL GRADE STEEL EDGING SHALL BE USED TO SEPERATE ALL TURF AREAS FROM PLANTING BEDS.
23. MULCH: USE SHREDDED CYPRESS MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR SHALL SUPPLY ARCHITECT WITH A SAMPLE OF MULCH FOR APPROVAL PRIOR TO STARTING CONSTRUCTION. SIZE OF MATERIAL TO RANGE FROM 1"-2" ONLY.
24. PLACE 3" OF MULCH IN ALL SHRUB BEDS AND PLACE 2" OF MULCH IN GROUND COVER BEDS.
25. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY PRE-EMERGENT HERBICIDE IN AREAS OF BEDS TO BE PLANTED WITH GROUNDCOVERS, BULBS OR HERBACEOUS PLANTS.

CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL ROCKED AREAS PRIOR TO ANY PLANT INSTALLATION.

ALL AREAS WHERE ROCK IS TO BE PLACED MUST BE COVERED W/ WEED BARRIER. ROCK IS TO BE COLORADO RIVER ROCK.

MAINTENANCE AND CLEAN-UP

26. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
27. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
28. REMOVE SOIL OR DEBRIS THAT ACCUMULATED DURING OR AS A RESULT OF PLANTING OPERATIONS EACH DAY.
29. FERTILIZE ALL PLANTS WITH 10-20-10 COMMERCIAL SLOW-RELEASE FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
30. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
31. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS. CUTS OF ONE INCH (1") OR MORE TO BE PAINTED WITH TREE PAINT. CENTRAL LEADERS SHALL NOT BE REMOVED.
32. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, GUYS, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE.

DP-243 Parcel 2 (ROKTON)

LANDSCAPE PLAN

APPROVED 12/17/2017 DS
SHEET 2 OF 2

Lot 2, Smithmoor Commercial Addition Landscape Details Wichita, Kansas			
PROJECT NUMBER			
	KEM NO. 02-065	FILE 2017	DATE 8/02
	DESIGN CLM	DRAWN CLM	REVISED
			SHEET 4 OF 4
518 S. Market, Wichita, KS 67202		316/264-0242	

PLANTING SCHEDULE

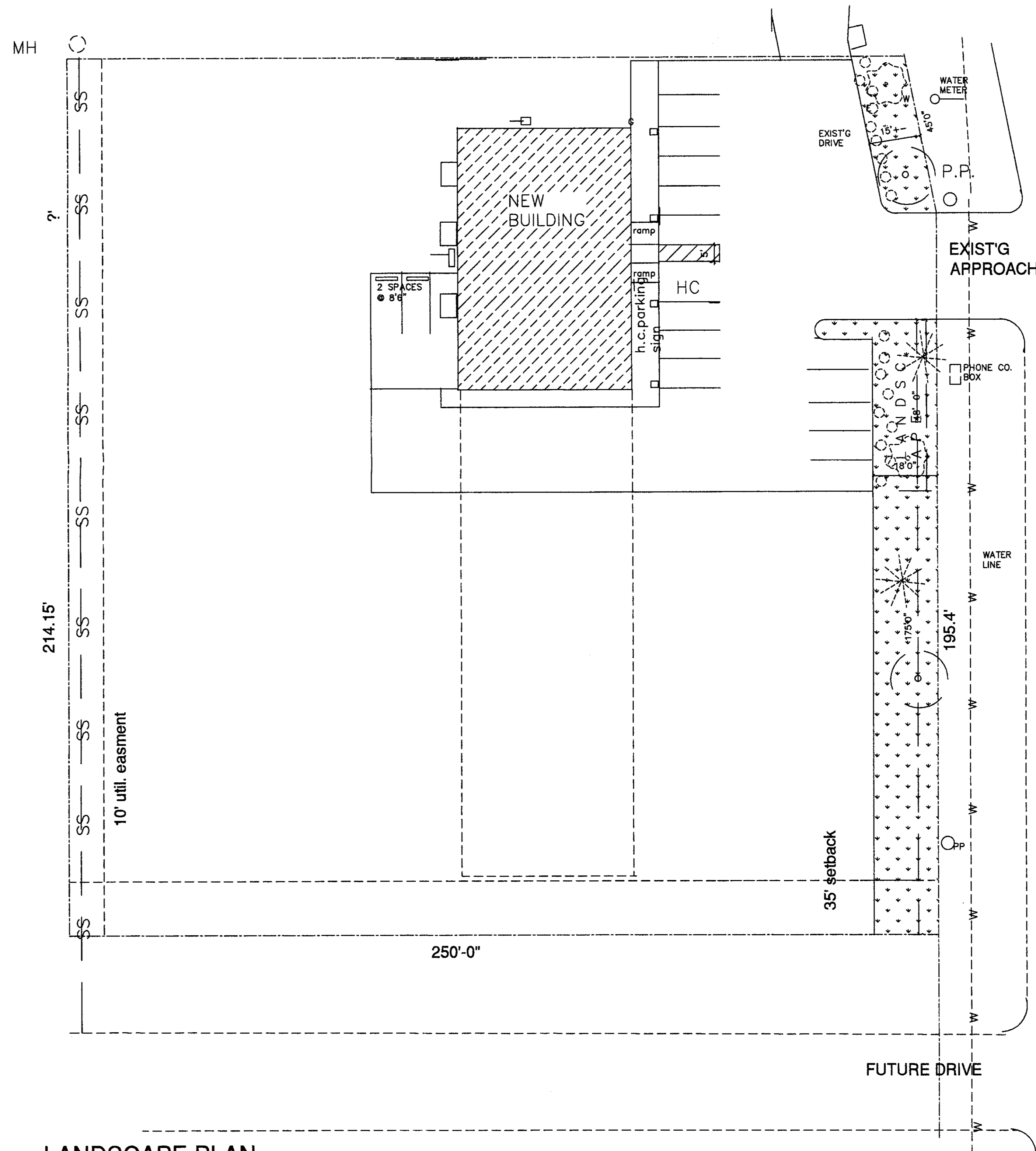
- GOLD COAST JUNIPER (JUNIPERUS CHINESIS) 2 GAL
- (ULMUS PARVIFOLIA) LACEBARK ELM 2-21/2" CALIPER MIN.
- (CERCIS RENIFORMIS) OKLAHOMA RED BUD 1 1/2" CALIPER MIN.
- (CELTIS OCCIDENTALIS) HACKBERRY 2-21/2" CALIPER MIN.
- SEEDED AREA - SOD OR SEED TYPE TO BE LOCALLY AVAILABLE THIN BLADE FALL FESCUE - PLANT PER INDUSTRY STANDARDS

NOTE: PLANTING AREAS TO FILLED W/ CEDAR BARK MULCH

LANDSCAPE NOTES:

- ALL WORK TO BE DONE TO INDUSTRY STANDARDS.
- ALL PLANTING MATERIAL SHALL MEET CITY OF WICHITA LANDSCAPE STANDARDS.
- INSTALL WEED BARRIER IN PLANTING BEDS.
- FERTILIZE ALL TREES & SHRUBS - STANDARD MATERIALS.
- IRRIGATION - WATER TO BE PROVIDED BY YARD HYDRANT IN FRONT OF THE BUILDING.
- SHADE TREES TO BE STAKED PER INDUSTRY STANDARDS

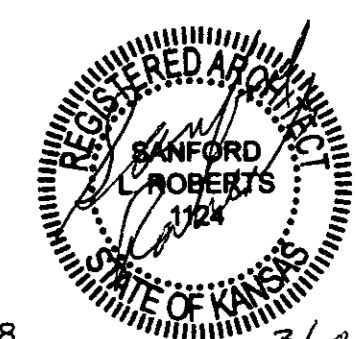
LANDSCAPE CALCULATIONS:
 AREA REQUIRED: 214' X 10 = 2140 SF
 AREA PROVIDED: 3925 SF
 TREES REQ'D: 2140 / 500 = 4.28 5 TREES
 OVER SPACES: 14/20 = .7 1 TREE



LANDSCAPE PLAN
 1"=20'

LEGAL DESCRIPTION:
 THE SOUTH 54.75 FT OF LOT 7, EXCEPT THE WEST 54.67 FT. AND LOT 8,
 BLOCK A, SMITHMOORE COMMERCIAL
 DEVELOPMENT, SEDGWICK COUNTY, KANSAS

DC-243 PARTIAL OF PARCEL 9
LANDSCAPE PLAN
 APPROVED 05-25-09 BY *[Signature]*
 MARD COPY 10/22



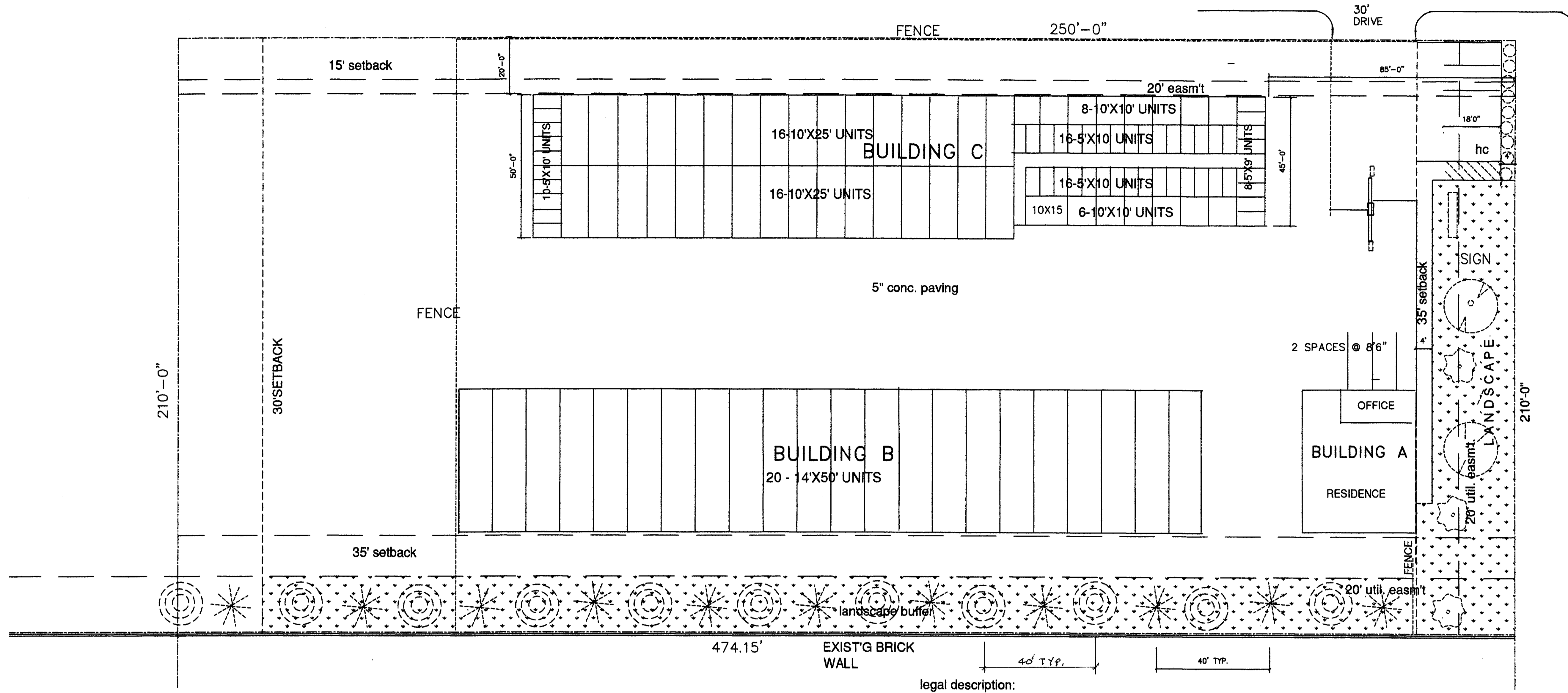
SANDY ROBERTS ARCHITECT
 667 OAK FOREST LN. DERBY, KS. 67037 -
 316-788-8699-M 2040482
 FAX 316-788-3805

RETAIL CENTER - 1617 S. GREENWICH RD.
for JAMES VANDER

DATE: 3/09/09
 REVISED:

SHEET
 1
 OF
 2

SANDY ROBERTS ARCHITECT, REPRODUCTION WITHOUT WRITTEN APPROVAL IS PROHIBITED.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTION.



LANDSCAPE PLAN
1"=20'

PLANTING SCHEDULE

	JUNIPERUS SABINA "BROADMOOR"	BROADMOOR JUNIPER	2 GAL
	CELTIS LAEVIGATA "AUTUMN APPLAUSE"	SUGAR HACKBERRY	2" B.B.
	(CERCIS RENIFORMIS)	OKLAHOMA RED BUD	1 1/2" CALIPER MIN.
	(CELTIS OCCIDENTALIS)	HACKBERRY	2-2 1/2" CALIPER MIN.
	(JUNIPERUS VIRGINIANA)	EASTERN RED CEDAR	2-2 1/2" CALIPER MIN.

LANDSCAPE NOTES:
 ALL WORK TO BE DONE TO INDUSTRY STANDARDS.
 ALL PLANTING MATERIAL SHALL MEET CITY OF WICHITA LANDSCAPE STANDARDS.
 INSTALL WEED BARRIER IN PLANTING BEDS.
 FERTILIZE ALL TREES & SHRUBS - STANDARD MATERIALS.
 IRRIGATION - WATER TO BE PROVIDED BY YARD HYDRANT IN FRONT OF THE BUILDING.
 SHADE TREES TO BE STAKED PER INDUSTRY STANDARDS

LANDSCAPE CALCULATIONS:
 AREA REQUIRED: 210' X 10' = 2100 SF
 AREA PROVIDED: 3925 SF
 TREES REQ'D: 2100 / 500 = 4.20 5 TREES
 OVER SPACES: 14/20 = .7 1 TREE

NOTE: PLANTING AREAS TO FILLED W/ CEDAR BARK MULCH

legal description:
 lot 9, block A, and the south 210 ft of lot 8, smithmoore commercial development, sedgwick county, kansas.

DP-243 PARCEL 9
 LANDSCAPE PLAN

APPROVED 05-04-09 BY JDS
 MAPD Cgm 1062

GREENWICH RD.

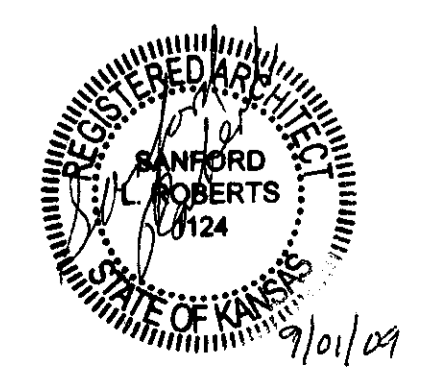
STORAGE UNITS - 1717 S. GREENWICH RD.
 for JAMES VANDER

DATE: 6/20/09

REVISED: 9/01/09

SHEET

1 OF 2



SANDY ROBERTS ARCHITECT. REPRODUCTION WITHOUT WRITTEN APPROVAL IS PROHIBITED.
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTION.

SANDY ROBERTS ARCHITECT
 667 OAK FOREST LN. DERBY, KS. 67037
 316-788-6699-M. 2040482
 FAX 316-788-3805

PLANTING NOTES

GENERAL

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WICHITA'S LANDSCAPE ORDINANCE.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THE PLANS. CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY WITH DIRECTION OF OWNER.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON THE PLANTING PLAN.
5. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE ARCHITECT, PRIOR TO PURCHASING MATERIALS OR STARTING CONSTRUCTION.
6. LIMITS OF CONSTRUCTION SHALL BE DETERMINED BY THE PROJECT MANAGER.

SITE PREPARATION AND EARTHWORK

7. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES RESULTING FROM LANDSCAPE OPERATIONS. ANY UTILITIES SHOWN ON PLAN ARE FOR REFERENCE ONLY AND MAY OR MAY NOT DEPICT THE ACTUAL LOCATION OF SERVICES.
8. TOPSOIL SHALL BE A FRIABLE LOAM WITH GOOD STRUCTURE. SOLUBLE SALTS SHALL NOT EXCEED 500ppm AND ORGANIC MATTER SHALL BE NO LESS THAN 1.5% BY WEIGHT. pH SHALL RANGE BETWEEN 6.0 AND 7.0.
9. LANDSCAPE CONTRACTOR SHALL HAVE TOPSOIL AND ONSITE SOILS TESTED BY A CERTIFIED TESTING LABORATORY AND OBTAIN RECOMMENDATIONS FOR SOIL AMMENDMENT TYPE(S) AND QUANTITIES. SUBMIT A COPY OF THIS REPORT TO THE ARCHITECT FOR THEIR RECORDS. RECOMMENDATIONS SHALL BE SPECIFIC TO THE PLANT MATERIALS SPECIFIED ON THE DRAWINGS.
10. GENERAL CONTRACTOR SHALL PLACE 4" OF TOPSOIL IN ALL TURF AND PLANTING BEDS WITHIN THE LIMITS OF CONSTRUCTION.
11. ALL ROUGH GRADING SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE.

PLANTING PREPARATION

12. BACKFILL: PLANT EXCAVATIONS TO BE CLEAN NATURAL TOPSOIL MIXED WITH AMENDMENTS AT THE RATIOS SPECIFIED BY A CERTIFIED TOPSOIL ANALYSIS. MYCOR TREE SAVER AND HEALTHY START MACRO TABLETS TO BE ADDED PER SPECIFICATIONS. PRODUCTS AVAILABLE AT JENCO WHOLESALE NURSERY.
13. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE. LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO INSURE ADEQUATE DRAINAGE.

PLANTING PREPARATION

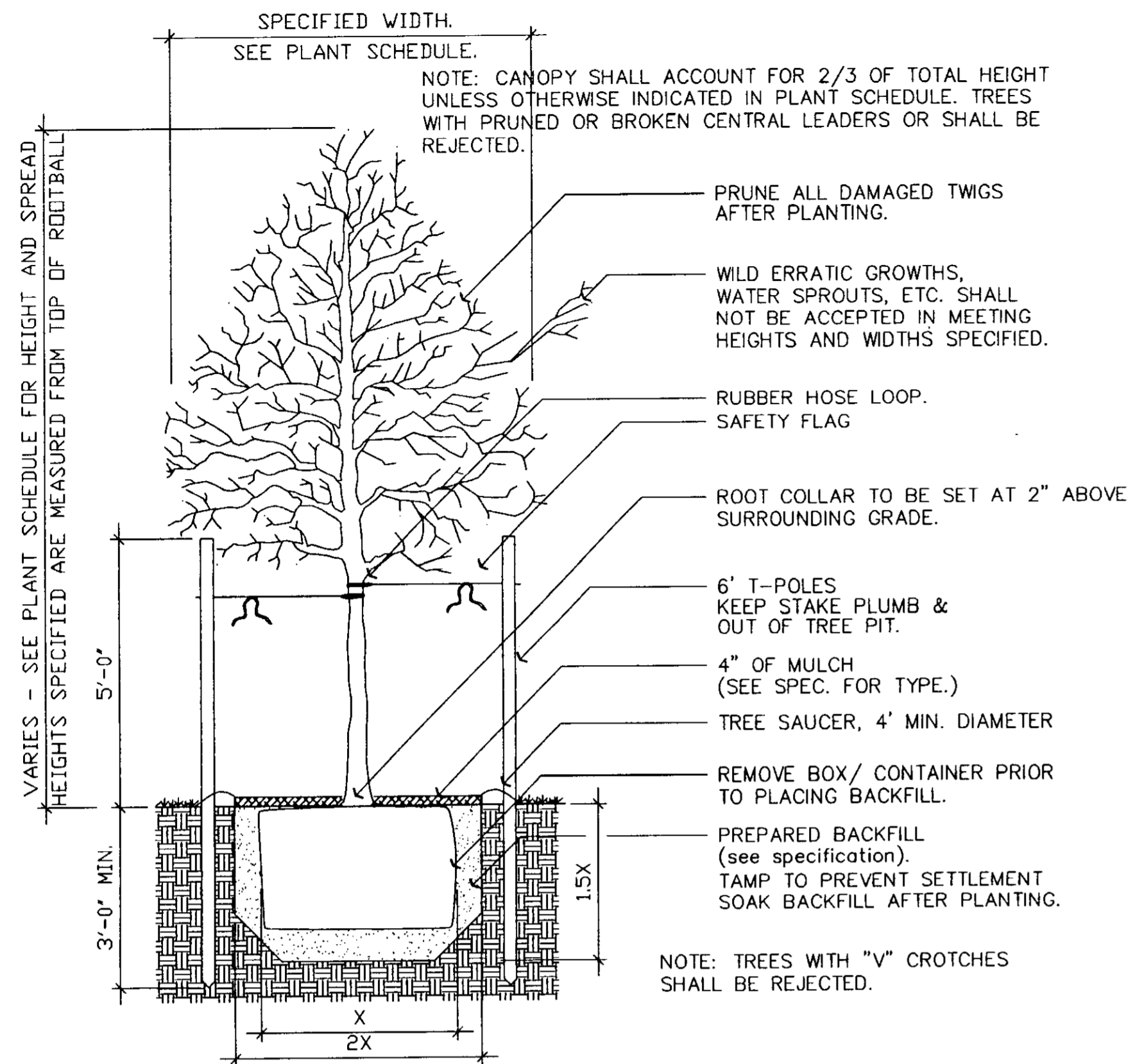
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17. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
18. SOD/SEED TYPE SHALL BE LOCALLY AVAILABLE THIN BLADE FESCUE.

RELATED ITEMS

19. MULCH: USE SHREDDED PINE BARK MULCH FOR ALL TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL SUPPLY ARCHITECT WITH A SAMPLE OF MULCH FOR APPROVAL PRIOR TO STARTING CONSTRUCTION. SIZE OF MATERIAL TO RANGE FROM 1"-2" ONLY.
20. MULCH: USE SHREDDED PINE BARK MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR SHALL SUPPLY ARCHITECT WITH A SAMPLE OF MULCH FOR APPROVAL PRIOR TO STARTING CONSTRUCTION. SIZE OF MATERIAL TO RANGE FROM 1"-2" ONLY.
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23. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY PRE-EMERGENT HERBICIDE IN AREAS OF BEDS TO BE PLANTED WITH GROUNDCOVERS, BULBS OR HERBACEOUS PLANTS.

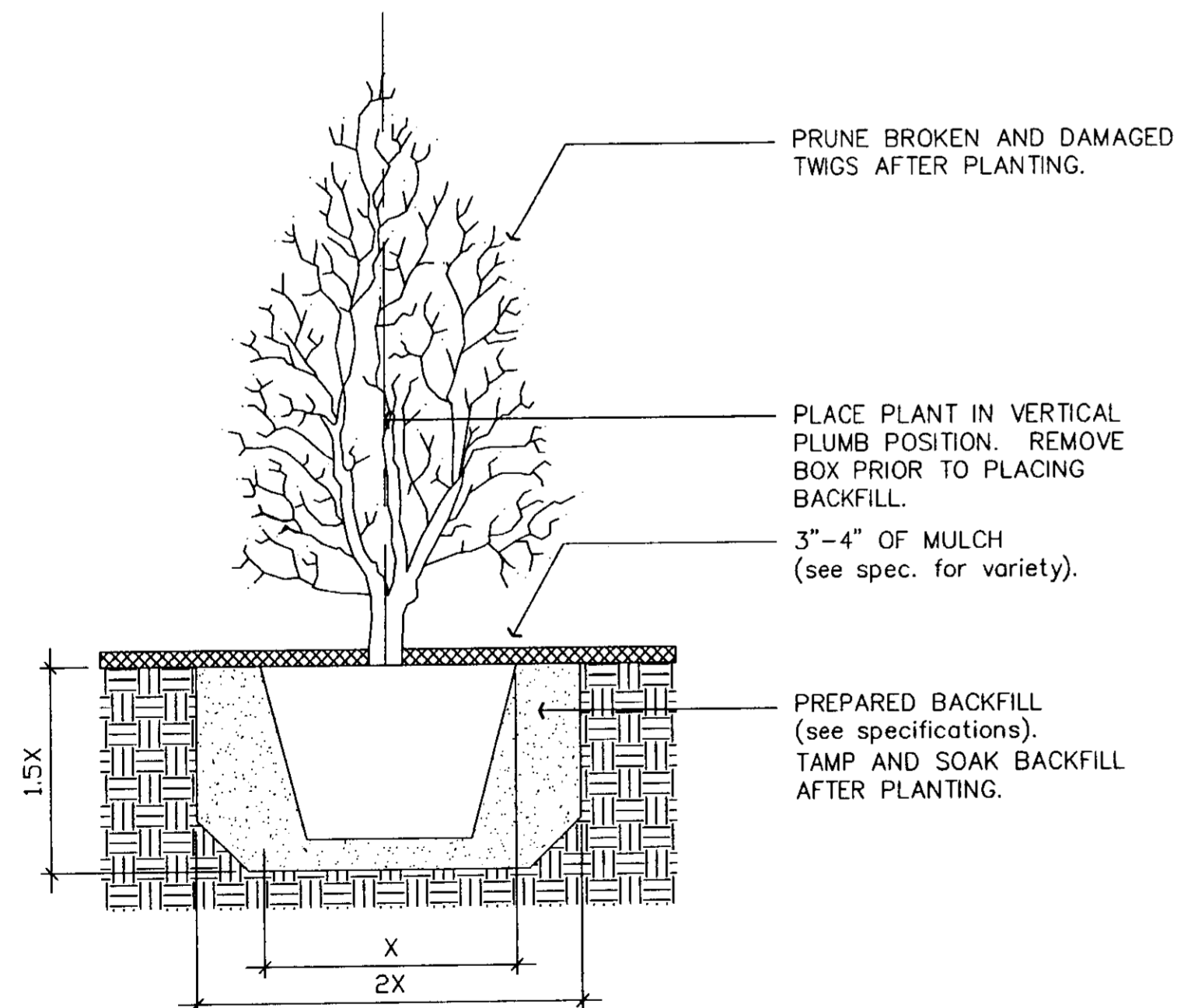
MAINTENANCE AND CLEAN-UP

24. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL PROVISIONAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANTS' HEALTHY CONDITION.
25. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
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30. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, GUYS, AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER PROVISIONAL ACCEPTANCE.



TREE PLANTING & STAKING DETAIL

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE

DP-243 PORTION OF PARCEL 4

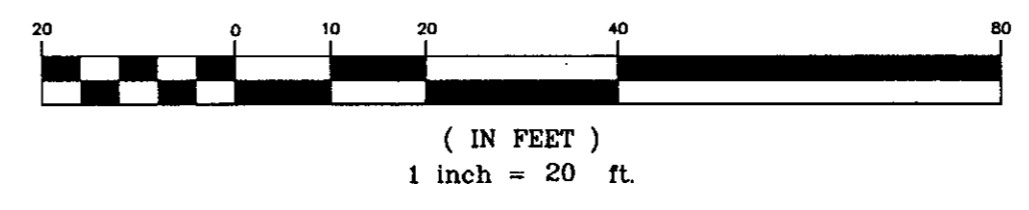
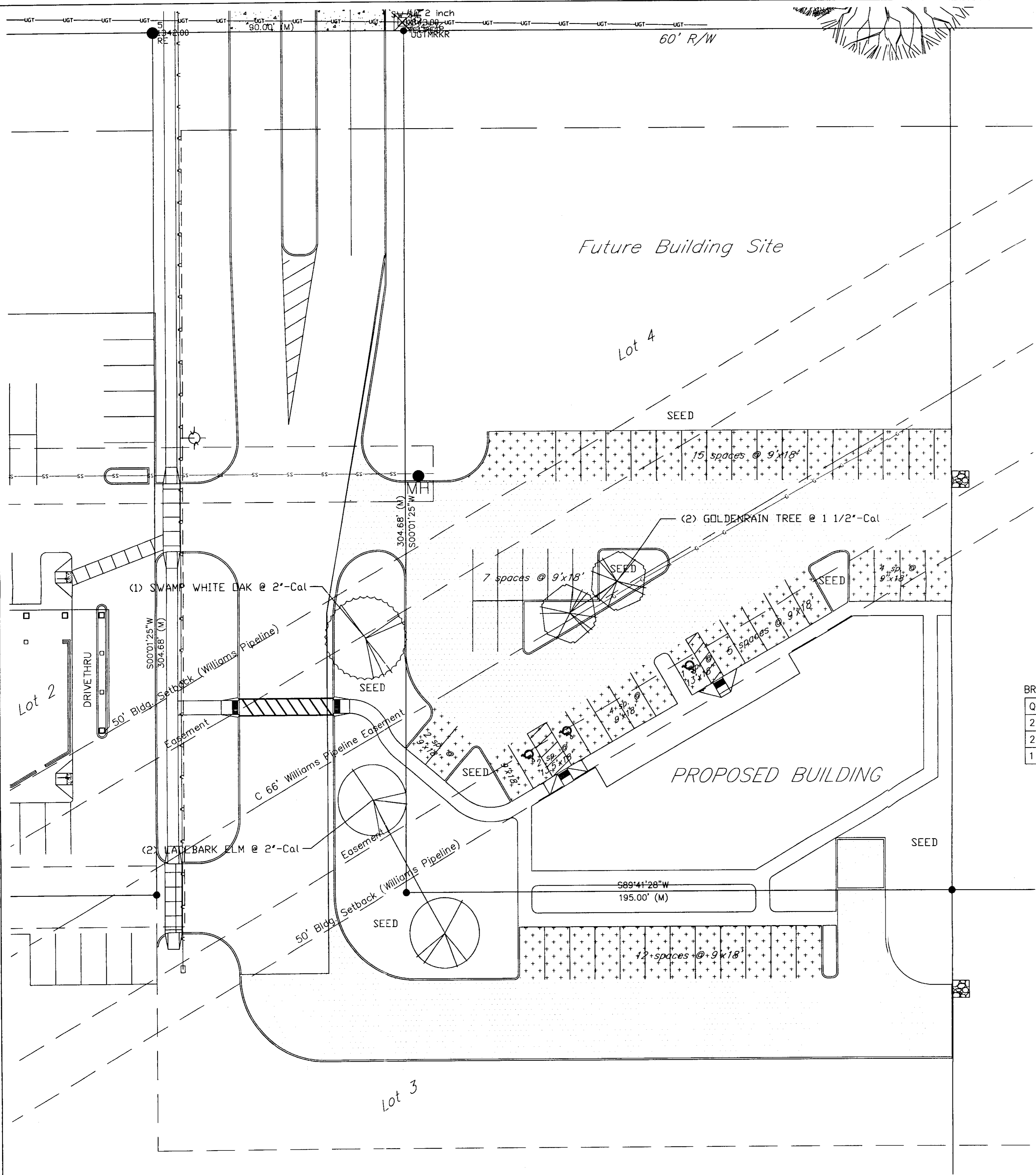
LANDSCAPE PLAN

APPROVED 04/24/04 BY *DS*
SHEET 2 of 2
MARD Logy 1 of 2

LANDWORKS
studio
P.O. BOX 3783 OLATHE, KS 66063 913-780-6707

Smithmoor Commercial Lot 4
LANDSCAPE DETAILS
Wichita, Kansas

PROJECT NUMBER			
kemiller engineering	KEM NO. 04017	FILE PLNTDET	DATE 3/04
516 S. Market, Wichita, KS 67202	DESIGN clm	DRAWN clm	REVISED
316/264-0242	SHEET L2		OF 2



Benchmark:
 Railroad Spike in Power
 Pole at Smithmoor
 Commercial Entrance
 ELEVATION = 1344.60

Legal Description
 Lots 3 and 4, Smithmoor Commercial Addition

Total Area:
 Lots 3 & 4 = 338,334 SF (7.77 AC)
 Impervious Area = 58,671 SF (1.35 AC)

PARKING
 .53 Standard
 .03 Handicap (1 Van Acc.)

Landscape Requirements:
 Street Yard Requirements: No street frontage = 0 trees
 Parking Lot Screening: None
 Parking Lot Trees: 37 Parking Spaces = 4 Trees Req.,
 4 Shown

- LEGEND**
- Gas Meter
 - Power Pole
 - Mailbox
 - Overhead Electric
 - Gas Line
 - Sanitary Sewer
 - Storm Sewer
 - Water Line
 - Underground Telephone

PLANT SCHEDULE

BROADLEAF DECIDUOUS						
QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	HEIGHT	WIDTH	COMMENTS
2	Koeleruteria paniculata	GOLDENRAIN TREE	1 1/2"-Cal	8'	6'	
2	Ulmus parvifolia	LACEBARK ELM	2"-Cal	8'	6'	
1	Quercus bicolor	SWAMP WHITE OAK	2"-Cal	8'	6'	

DIP-243 PORTION OF PARCEL 4
LANDSCAPE PLAN
 APPROVED 04/16/04 BY DS
 SHEET 1 of 2
 MAPD Copy 1 of 2

LANDWORKS studio
 P.O. BOX 3783 OLATHE, KS 66063 913-780-8707

Smithmoor Commercial Lot 4 Landscape Plan Wichita, Kansas			
PROJECT NUMBER			
kemiller engineering	KEM NO. 04017	FILE 005isp	DATE 3/04
516 S. Market, Wichita, KS 67202	DESIGN clm	DRAWN clm	REVISED
316/264-0242	SHEET L1		OF 2

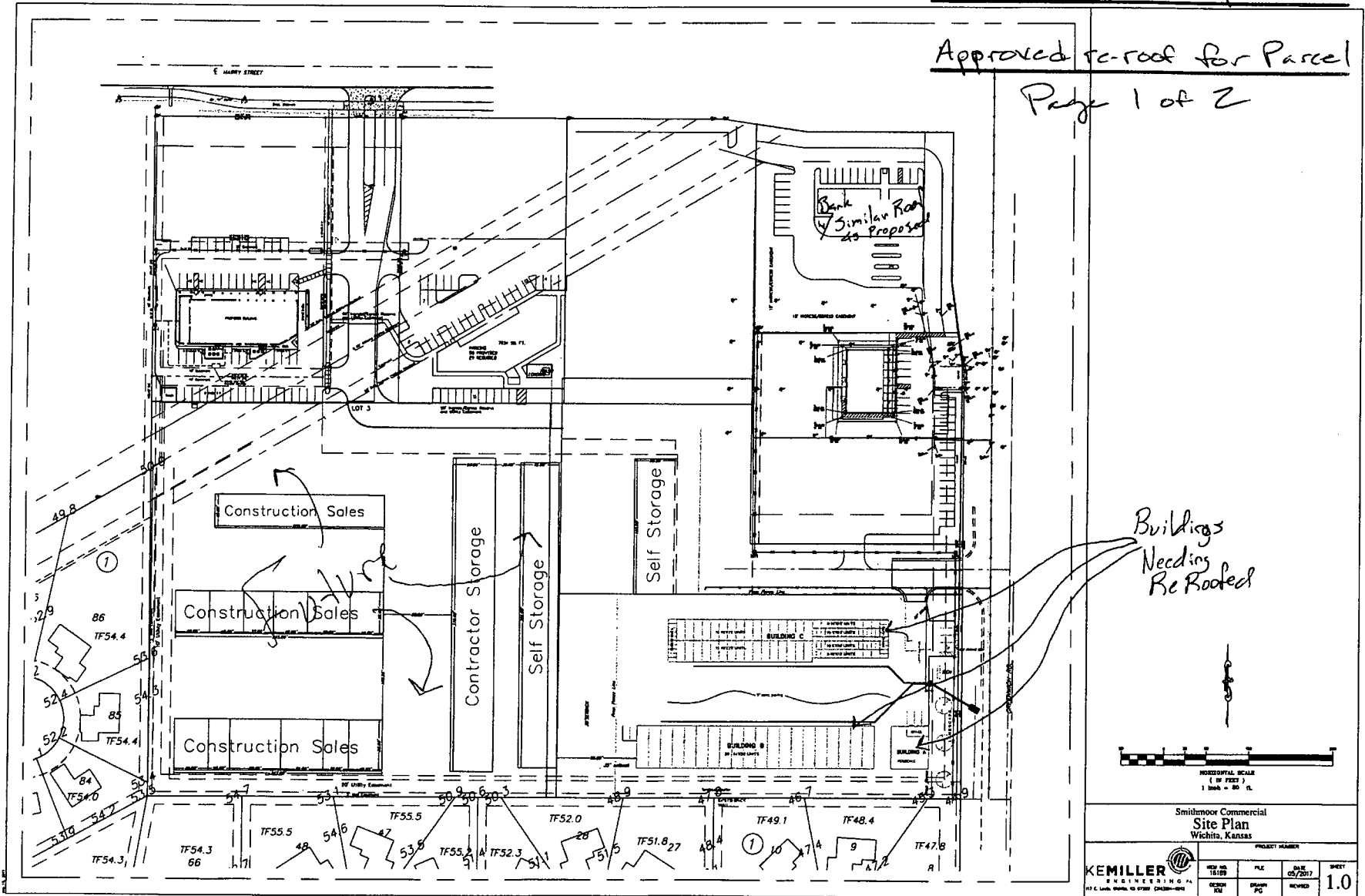
APPROVED

SK
7-12-18

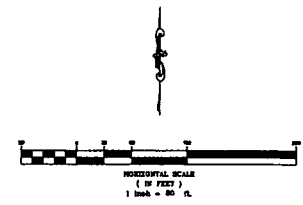
DP-243 Arch Rev per GP#14

Approved re-roof for Parcel 9

Page 1 of 2



Buildings
Needing
Re Roofed



Smithmoor Commercial
Site Plan
Wichita, Kansas

KEMILLER ENGINEERING PA <small>411 C MAIN STREET, WICHITA, KANSAS 67202</small>	REV NO 18120	FILE K21	DATE 05/2017	SHEET 1.0
	DESIGN K21	DRAWN PC	CHECKED 	

APPROVED

SJK
7-12-18

DP-243 Arch Rev per GP #14

Approved re-roof for Parcel 9

Page 2 of 2





Wichita-Sedgwick County Metropolitan Area Planning Department

June 14, 2018

JHB Properties, LLC
P.O. Box 726
Andover, KS 67002

K.E. Miller Engineering, P.A.
Attn: Kirk Miller
117 E. Lewis Street
Wichita, KS 67202

RE: CUP2018-23 – City Administrative Adjustment to the Smithmoor Commercial Community Unit Plan DP-243, to reflect common boundary adjustments between Parcels 3 and 9

Legal Description: Lots 3, 6 and 9, Block A, Smithmoor Commercial Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-243, to reflect boundary changes between parcels 3 and 9 in the Smithmoor Commercial CUP.


Proposed modifications are as follows:

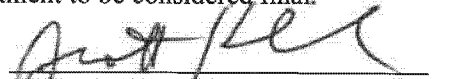
- Parcel 3:
 - Gross Area: 275,428 Sq. Ft.
- Parcel 9:
 - Gross Area: 130,582 Sq. Ft.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The “Development Application” sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


Dale Miller, Director
Metropolitan Area Planning Department


Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

- cc: MABCD
- Pete Meitzner, CM District II
- Laura Rainwater, Community Services Representative District II

R.L. & Valerie Smith
P.O. Box 758
Andover, KS 67002

June 12, 2017

KE Miller Engineering
Attn: Kirk Miller
117 East Lewis
Wichita, KS 67202

RE: ZON2017-00037 and CUP2017-21 - City zone change from LC Limited Commercial to GC General Commercial associated with CUP2017-21 amendment to Smithmoor Commercial CUP DP-243 generally located at the southwest corner of East Harry Street and South Greenwich Road

Dear Applicants:

At its regular meeting on **June 8, 2017**, the Wichita - Sedgwick County Metropolitan Area Planning Commission considered the above captioned request. The action of the MAPC was to **APPROVE** the request of the zone change

Property owners opposed to the application may file with the City Clerk signed written protest of the MAPC's recommendation. (Unsigned e-mails are not considered to be legal protests.) In order to be considered a "valid" petition, the signatures must reflect the correct and entire ownership of the property, the property must be at least partially within 200 feet of the property for which the application was filed, and must be submitted to the City Clerk by **June 22, 2017, at 5 p.m.**

The application is scheduled for consideration by the City Council on **Tuesday, July 11, 2017**. The City Council meeting will be held in the City Council Chambers, First Floor, City Hall, 455 N. Main, Wichita, Kansas.

NOTICE: The public hearing on planning items is conducted by the MAPC under provisions of State Law. Adopted policy is that the City Council will not take additional testimony on zoning related applications and other issues for which the MAPC has held a public hearing. However, interested parties may file a written statement with the City Clerk by 5:00 p.m. on the Wednesday preceding this meeting, providing new facts on the issue or alleging an unfair hearing. The Council will determine from such statements whether to return the issue to the MAPC for reconsideration or to reverse their recommendation.

RE: ZON2017-00037 and CUP2017-21 - City zone change from LC Limited Commercial to GC General Commercial associated with CUP2017-21 amendment to Smithmoor Commercial CUP DP-243 generally located at the southwest corner of East Harry Street and South Greenwich Road

Page | 2

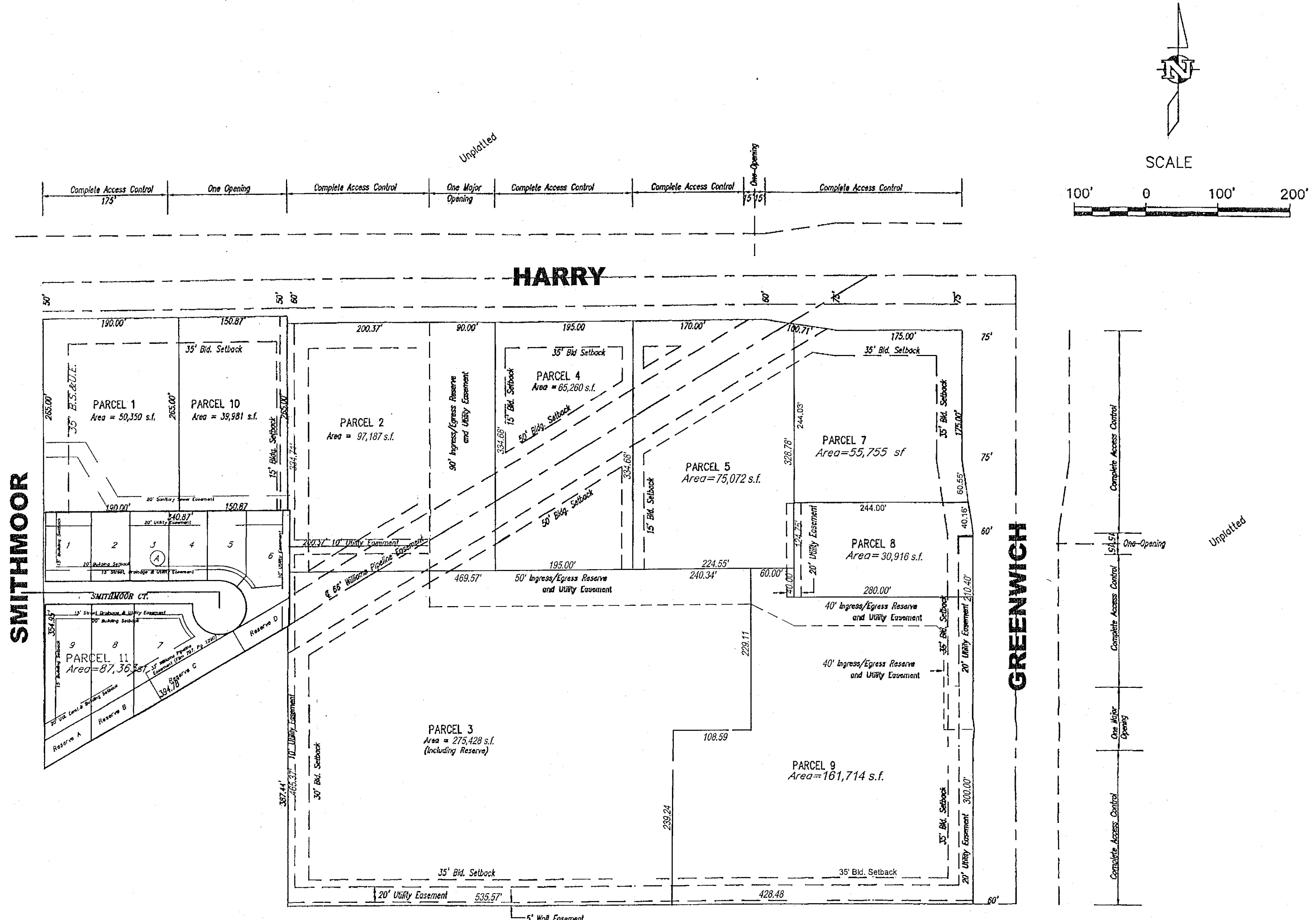
June 12, 2017

This is a reminder that the zoning notification signs should now be removed from the property. If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,

Kathy L. Morgan
Senior Planner
Metropolitan Area Planning Department

Copies to: WCC II, Pete Meitzner, Mail Stop 1-13
CSR District V, Laura Rainwater, Mail Stop 1-135
Jeff Van Zandt, City Law, Mail Stop 1-132
MABCD, Mail Stop 1-72
Julianne Kallman, Engineering, Mail Stop 1-71



GENERAL PROVISIONS:

- The development contains 23.8 acres net area.
- The proposed development contains one parcel of General Office use, One parcel of neighborhood retail and eight parcels of commercial use, one with conditional use, and one single family residential parcel. See parcel description for specific uses in each parcel.
- All utilities shall be installed underground.
- Street Right-of-way and pavement width to be determined at the time of platting.
- A drainage plan to be provided at the time of platting.
- Parking shall be provided in accordance with the standards of the Unified Zoning Code.
- The transfer of title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land for development and be binding upon the present land owners, their successors and assigns and their lessees unless amended.
- Fire lane shall be in accordance with City of Wichita Fire Code. No parking shall be allowed in said fire lanes although they may be used for passenger loading and unloading. During the building permit review, the Fire Chief or his designated representative shall approve the site plan regarding the design of the fire lanes prior to the issuance of a building permit.
- All lighting shall be shielded to reflect the light downward and away from residential area. There shall be no rear building lights within 50 feet of the west lines of Parcels 1, and 3, and the south lines of Parcels 3, and 9.
- Trash receptacles, loading docks and service areas shall be appropriately screened to reasonably hide them from ground view. These areas shall be screened from Harry and Greenwich and the residential areas to the west and south with screening walls and/or landscaping approved by the Planning Director.
- Masonry Wall - A solid or semi-solid wall constructed of brick, stone, masonry, architectural tile or other similar material (not including wood or woven wire), at least six feet but no more than eight feet high shall be constructed along the south line of parcel 3, and 9 and west line of Parcel 3. No wall shall be constructed in a utility easement. The entire wall shall be constructed at the time a building permit is issued for any portion of parcel 3 or 9 of the C.U.P. Opening in the wall to permit pedestrian access from the south shall be permitted if approved by the Director of Planning.
- Guarantees for street improvements on Harry and Greenwich shall be determined at the time of platting.
- All roof top equipment shall be screened from ground level view from adjacent residential areas. *except for Parcel 11, 8,3'*
- Architectural Control - All building exteriors shall share a consistent design, color and texture. Exterior utility boxes, mechanical equipment etc. shall be screened and/or painted according to the acceptable color range. All lighting within each parcel shall share consistent design (fixtures, poles, lamps etc.). Variations must be approved by the Director of Planning.
- * See Note Below
*** See Note Below
No portable or off-site signs shall be permitted. Signage for Parcels 2-9 shall be as permitted in the "LC" Limited Commercial district. Signage for Parcel 10 shall be as permitted in neighborhood retail district. All signs shall be monument type signs and spaced 150 foot apart. Monument type signs are defined as a detached sign where the width of the base of the sign is at least 1/2 the width of the widest part of the sign face, or where the base consists of two or more supports where sign face is not more than two feet above the average grade of the ground. A monument sign shall harmonize with the architecture of the structure or complex it serves and be constructed of materials consistent with the same.
- If multiple ownership is anticipated, an Owner's Association agreement providing for the maintenance of reserves, open spaces, internal drives, parking areas, drainage improvements etc. shall be filed with the plot of the area.
- Landscape Buffers and Screening - All landscaping and screening shall be in accordance with the City Landscape Ordinance. A landscape plan indicating the location, type and specification of plant material shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit. The landscape plan shall also state how water is to be provided to the plant material. A financial guarantee for the plant materials and watering system(s) approved for the landscape plan shall be required prior to the issuance of any occupancy permit, if the required landscaping has not been installed. The buffer on the South line of Parcel 9 and 3 and the west line of 3 will be planted at a rate of 1 tree per 20' with at least 1/3 of the plant material being evergreen. If parcel is developed Single Family, use SF-5 landscape requirements.
- Access Control - As shown on sketch.
- A plan for a pedestrian walk system shall be a requirement of the C.U.P. The walk system shall link the proposed building with the entrances and sidewalks along Harry and Greenwich Streets and shall be assured by required submission and approval of circulation plans by the Director of Planning prior to issuing building permits.
- No building permits shall be issued until municipal water and sewer service is available to site.
- The following uses are prohibited within 200 feet of residentially-zoned property; service stations, convenience stores with gas islands, restaurants with drive-in or drive-through facilities, and vehicle service or repair uses that have overhead doors facing those districts. *** See note below.
- Cross lot circulation shall be maintained between Parcels 1, 10 ** See Note Below

PARCEL DESCRIPTION:

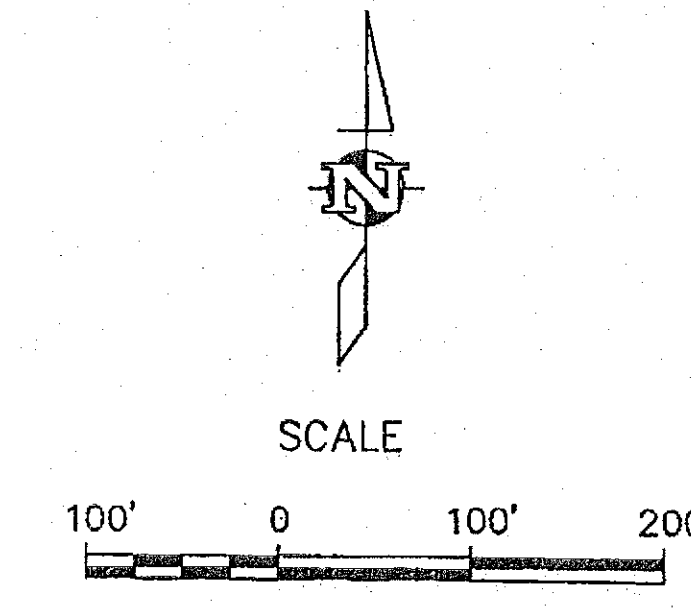
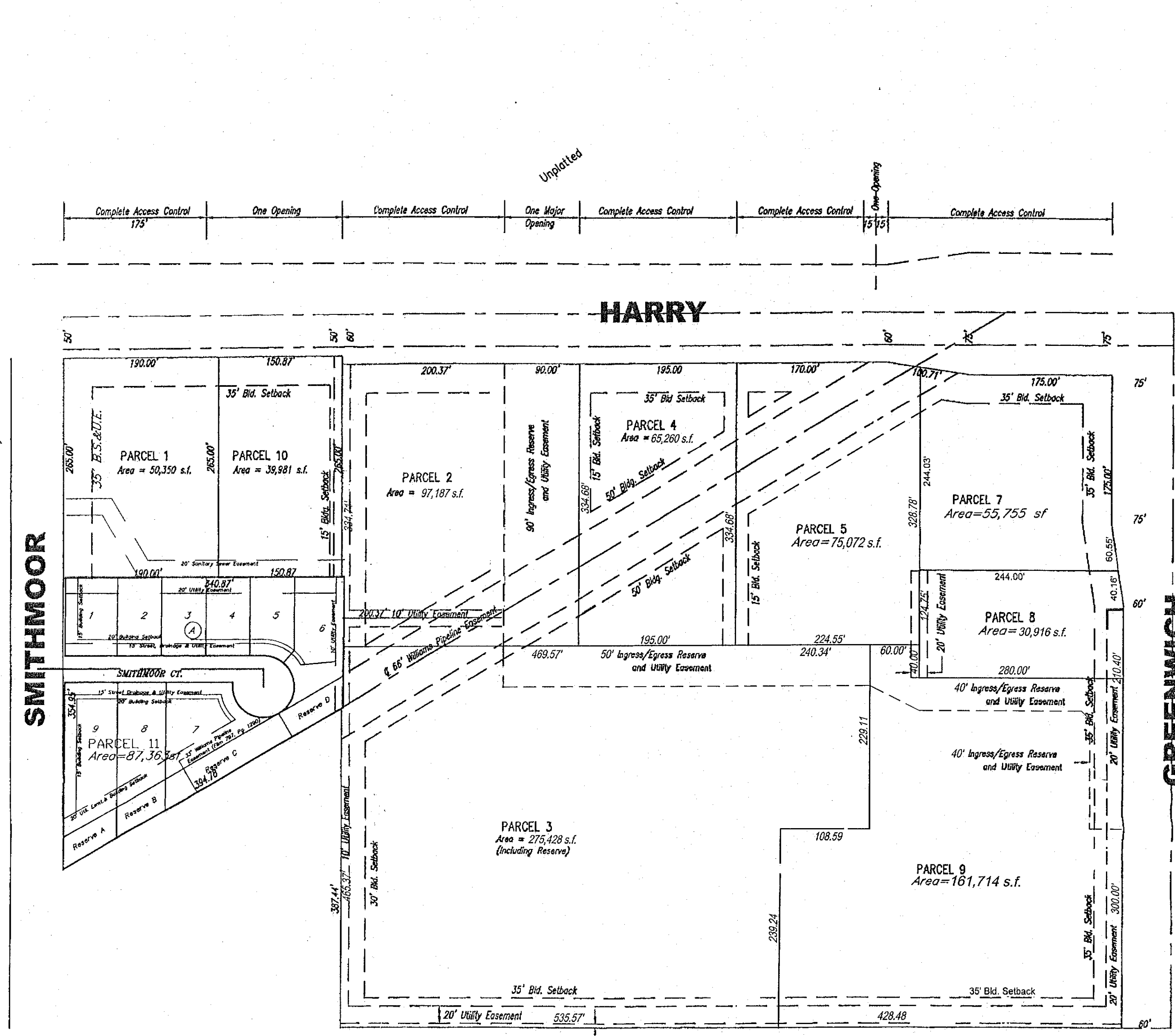
- PARCEL NO.: 1**
Uses: All uses allowed in GC Zoning.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
- PARCEL NO.: 2, 4, 5, 7, 8 (Parcel 6 Removed)**
Uses: All uses allowed in LC Zoning except for Adult Entertainment, Taverns, Drinking Establishment and Night Clubs.
Gross Area = As Shown
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
- PARCEL NO.: 9**
Uses: All uses allowed in LC Zoning except for Adult Entertainment, Taverns, Drinking Establishment and Night Clubs.
Gross Area = 87,363 s.f.
Parking: Per covenant
Setbacks: Per Smithmoor 11th Plat
- PARCEL NO.: 10**
Uses: All uses allowed in NR (Neighborhood Retail) Zoning.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
Total Buildings: 1
- PARCEL NO.: 11**
Uses: All uses allowed in SF-5 Zoning
Gross Area = 87,363 s.f.
Parking: Per covenant
Setbacks: Per Smithmoor 11th Plat

**COMMUNITY UNIT PLAN DP-# 243
SMITHMOOR COMMERCIAL DEVELOPMENT
SEC. 33-27S-2E
WICHITA, SEDGWICK COUNTY,
KANSAS
JUNE, 1999**

PARCEL NO.: 3
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
Gross Area = As shown
Parking: Per Code
Setbacks: Per Code and as shown
Floor Area Ratio: Per Code
Architectural Control: All Buildings shall share a similar design and color as the rest of the development. Buildings may have metal panels. Structures shall contain at least 20% brick.
Roofing material may be composite or metal and shall have a similar color to other buildings in the development, if visible. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14.

As per AA CUP 2021-15
3-31-2021
APPROVED CUP
MAPC 6-8-2017
WCC 7-27-2017
MAPD Copy 1 of 4

*** Signage for Parcel 1 shall be as permitted in the "GO" General Office district and for Parcel 11 shall be as permitted in the "SF-5" Single-Family Residential district. No building wall signage shall be permitted in Parcel 9.
**** Any overhead doors facing residential (including those on the most proximate or those on the interior of the site) shall be of inconspicuous design and color to fade from view. Overhead doors shall be limited to eight feet in height, as shown on the site plan, except for the north elevations. No freestanding light poles shall be permitted within 50 feet of the south property line and freestanding light poles shall be limited to 15 feet in height. Wall-packs may be permitted on the south facade of the building but must have front shields. All lights shall prevent light spillage and trespass and glare onto the adjoining property.



GENERAL PROVISIONS:

- The development contains 23.8 acres net area.
- The proposed development contains one parcel of General Office use, One parcel of neighborhood retail and eight parcels of commercial use, one with conditional use, and one single family residential parcel. See parcel description for specific uses in each parcel.
- All utilities shall be installed underground.
- Street Right-of-way and pavement width to be determined at the time of platting.
- A drainage plan to be provided at the time of platting.
- Parking shall be provided in accordance with the standards of the Unified Zoning Code.
- The transfer of title on all or any portion of the land included in the development does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land for development and be binding upon the present land owners, their successors and assigns and their lessees unless amended.
- Fire lanes shall be in accordance with City of Wichita Fire Code. No parking shall be allowed in said fire lanes although they may be used for passenger loading and unloading. During the building permit review, the Fire Chief or his designated representative shall approve the site plan regarding the design of the fire lanes prior to the issuance of a building permit.
- All lighting shall be shielded to reflect the light downward and away from residential area. There shall be no rear building lights within 50 feet of the west lines of Parcels 1, 3, and 5, and the south lines of Parcels 3, 5, and 9.
- Trash receptacles, loading docks and service areas shall be appropriately screened to reasonably hide them from ground view. These areas shall be screened from Harry and Greenwich and the residential areas to the west and south with screening walls and/or landscaping approved by the Planning Director.
- Masonry Wall - A solid or semi-solid wall constructed of brick, stone, masonry, architectural tile or other similar material (not including wood or woven wire), at least six feet but no more than eight feet high shall be constructed along the south line of parcel 3, and 9 and west line of Parcel 3. No wall shall be constructed in a utility easement. The entire wall shall be constructed at the time a building permit is issued for any portion of parcel 3 or 9 of the C.U.P. Opening in the wall to permit pedestrian access from the south shall be permitted if approved by the Director of Planning.
- Guarantees for street improvements on Harry and Greenwich shall be determined at the time of platting.
- All roof top equipment shall be screened from ground level view from adjacent residential areas. *except for Parcel 11, 83'
- Architectural Control - All building exteriors shall share a consistent design, color and texture. Exterior utility boxes, mechanical equipment etc. shall be screened and/or painted according to the acceptable color range. All lighting within each parcel shall share consistent design (fixtures, poles, lamps etc.). Variations must be approved by the Director of Planning.
- * See Note Below
*** See Note Below
No portable or off-site signs shall be permitted.
- LC Limited Commercial district. Signage for Parcel 10 shall be as permitted in neighborhood retail district. All signs shall be monument type signs and spaced 150 feet apart. Monument type signs are defined as a detached sign where the width of the base of the sign is at least 1/2 the width of the widest part of the sign face, or where the base consists of two or more supports where sign face is not more than two feet above the average grade of the ground. A monument sign shall harmonize with the architecture of the structure or complex it serves and be constructed of materials consistent with the same.
- If multiple ownership is anticipated, an Owner's Association agreement providing for the maintenance of reserves, open spaces, internal drives, parking areas, drainage improvements etc. shall be filed with the plot of the area.
- Landscape Buffers and Screening - All landscaping and screening shall be in accordance with the City Landscape Ordinance. A landscape plan indicating the location, type and specification of plant material shall be submitted to the Planning Department for their review and approval prior to issuance of and building permit(s). The landscape plan shall also state how water is to be provided to the plant material. A financial guarantee for the plant materials and watering system(s) approved for the landscape plan shall be required prior to the issuance of any occupancy permit. If the required landscaping has not been installed, the buffer on the South line of Parcel 9 and 3 and the west line of 3 will be planted at a rate of 1 tree per 20' with at least 10% of the plant material being evergreen. If parcel is developed single family, use SF-5 landscape requirements.
- Access Control: As shown on sketch.
- A plan for a pedestrian walk system shall be a requirement of the C.U.P. The walk system shall link the proposed building with the entrances and sidewalks along Harry and Greenwich Streets and shall be assured by required submission and approval of circulation plans by the Director of Planning prior to issuing building permits.
- No building permits shall be issued until municipal water and sewer service is available to site.
- The following uses are prohibited within 200 feet of residentially-zoned property: service stations, convenience stores with gas islands, restaurants with drive-in or drive-through facilities, and vehicle service or repair uses that have overhead doors facing those districts.*** See note below
- Cross lot circulation shall be maintained between Parcels 1, 10 ** See Note Below

PARCEL DESCRIPTION:

- PARCEL NO.: 3**
Uses: All uses allowed in GC Zoning except for Adult Entertainment, Taverns, Drinking Establishments, and Night Clubs.
Gross Area = As shown
Parking: Per Code
Setbacks: Per Code and as shown
Floor Area Ratio: Per Code
Architectural Control: All Buildings shall share a similar design and color as the rest of the development. Buildings may have metal panels. Structures shall contain at least 20% brick. Roofing material may be composite or metal and shall have a similar color to other buildings in the development, if visible. Utility boxes, mechanical equipment, lighting, etc. shall be controlled per note 14.
- PARCEL NO.: 11**
Uses: All uses allowed in SF-5 Zoning
Gross Area = 87,363 s.f.
Parking: Per covenant
Setbacks: Per Smithmoor 11th Plat
- PARCEL NO.: 9**
Uses: All uses allowed in LC Zoning except for Adult Entertainment, Taverns, Drinking Establishment and Night Clubs but including Warehouse Self Storage per Article III - 6.d.y of the Unified Zoning Code.
Gross Area = 161,714 s.f. (Parcel 6 combine into Parcel 9)
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: Per Code
The site plan and architectural attachments must be reviewed and approved by the Planning Department prior to issuance of any building permit for this use. The site shall be in conformance with the conditions of this amendment.
- PARCELS NO.: 1**
Uses: All uses allowed in GO Zoning.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
- PARCEL NO.: 2, 4, 5, 7, 8** (Parcel 6 Removed)
Uses: All uses allowed in LC Zoning except for Adult Entertainment, Taverns, Drinking Establishment and Night Clubs.
Gross Area = As Shown
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
- PARCELS NO.: 10:**
Uses: All uses allowed in NR (Neighborhood Retail) Zoning.
Gross Area = As Shown.
Parking: Per Code
Setbacks: Per Code
Floor Area Ratio: 0.3
Total Buildings: 1
- Adjusted: 03/31/2021
Adjusted: 05/24/2018
Adjusted: 07/11/2017
Adjusted: 01/19/2011
Amendment #3: 05/19/03
Adjusted: 05/08/05
Adjusted: 05/18/07
Amended: 10/20/06
Revised: 12/13/02
Revised: 9/26/99
Revised: 7/7/99
Revised: 4/17/00

**COMMUNITY UNIT PLAN DP-# 243
SMITHMOOR COMMERCIAL DEVELOPMENT
SEC. 33-27S-2E
WICHITA, SEDGWICK COUNTY,
KANSAS
JUNE, 1999**

As per AA CUP 2021-15
3-31-2021 flm
APPROVED CUP
MAPC 6-8-2017 flm
WCC 7-27-2017 flm
MAPD Copy 1 of 4

Smithmoor Tenth Addition
(Zone SF-5)