DEVELOPMENT GUIDELINES

General Provisions

1. Area:
   The total development contains 36.3 acres of land more or less with a net land area of 35.91 acres of land more or less.

2. Parcel Descriptions:

   Summary:
   Total allowable buildings = 18
   (excepting accessory structures)
   Total allowable floor ratio = .32
   (may be adjusted from parcel to parcel)
   Minimum Building Setbacks: (applies to all parcels as shown)
   Arterial Street setback = 35'
   Interior side setback = 15'
   Interior side setback = 35' **
   Exterior boundary setback = 100' **
   **(if building has a gross floor area greater than 100,000 s.f.)
   Also see G.P.9 hereon.

   Parcel 1
   Gross Area= 1.35 Ac. or 58,842 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 20,595 s.f.
   Floor Area Ratio=0.35

   Parcel 2a
   Gross Area= 0.77 Ac. or 33,654 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 11,779 s.f.
   Floor Area Ratio=0.35

   Parcel 2b
   Gross Area= 0.71 Ac. or 30,899 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 10,815 s.f.
   Floor Area Ratio=0.35

   Parcel 3
   Gross Area= 0.70 Ac. or 30,331 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 10,616 s.f.
   Floor Area Ratio=0.35

   Parcel 4a
   Gross Area= 1.19 Ac. or 52,009 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 18,203 s.f.
   Floor Area Ratio=0.35

   Parcel 4b
   Gross Area= 0.89 Ac. or 38,755 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 1
   Max. Gross Floor Area=35% or 13,564 s.f.
   Floor Area Ratio=0.35

   Parcel 5
   Gross Area= 1.92 Ac. or 83,775 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=35%
   Maximum Building(s) = 2
   Max. Gross Floor Area=35% or 29,321 s.f.
   Floor Area Ratio=0.30

   Parcel 6
   Gross Area= 1.29 Ac. or 56,243 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=30%
   Maximum Building(s) = 1
   Max. Gross Floor Area=30% or 16,873 s.f.
   Floor Area Ratio=0.30

   Parcel 7
   Gross Area= 0.97 Ac. or 42,500 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=30%
   Maximum Building(s) = 1
   Max. Gross Floor Area=30% or 14,875 s.f.
   Floor Area Ratio=0.30

   Parcel 8
   Gross Area= 0.97 Ac. or 42,500 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=30%
   Maximum Building(s) = 1
   Max. Gross Floor Area=30% 14,875 s.f.
   Floor Area Ratio=0.30

   Parcel 9
   Gross Area= 0.97 Ac. or 42,500 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=30%
   Maximum Building(s) = 1
   Max. Gross Floor Area=30% or 14,875 s.f.
   Floor Area Ratio=0.30

   Parcel 10
   Gross Area= 0.90 Ac. or 42,500 s.f.
   Maximum Height=35 feet
   Max. Building Coverage=30%
   Maximum Building(s) = 1
   Max. Gross Floor Area=30% or 14,875 s.f.
   Floor Area Ratio=0.30

   Parcel 11a
   Gross Area= 11.02 Ac. or 479,861 s.f.
   Maximum Height=45 feet
   Max. Building Coverage=11a+11b=30%
   304,127 s.f.
   Floor Area Ratio=11a+11b=0.30

   Parcel 11b
   Gross Area= 12.26 Ac. or 533,895 s.f.
   Maximum Height=45 feet
   Max. Building Coverage=11a+11b=30%
   304,127 s.f.
   Floor Area Ratio=11a+11b=0.30

3. The following uses are permitted for all Parcels within the C.U.P.:
   A. Parcels 1, 2a, 2b, 3, 4a, 4b, 5, 6, 7, 8, 9, 10, and 11a allow for all uses permitted within the Limited Commercial Zoning District (LC), except the uses listed below:
      Correctional placement residential limited and general, adult entertainment establishment, pawn shop, asphalt or concrete plant-limited, and storage-outdoor. Additionally, the following uses are prohibited within the east 150 feet of Parcels 10 and 11a and the south 200 feet of Parcel 11a, if the adjoining parcels are specifically zoned for residential: convenience stores, service stations, auto repair, car washes (further prohibited to 200 feet of residential uses as stated below), restaurants with drive-in or drive-through windows, and taverns and drinking establishment on out-parcels. Car Washes in the CUP shall be subject to the supplementary use regulations of Sec. III-D.6.f. of the Unified Zoning Code. Supplementary use regulations for Parcel 1 are satisfied to permit fully automated car washes with vacuum bays/other compatible uses per Amendment #2 CUP2021-00018 approved June 17, 2021.
   B. Parcel 11b allows for the following General Commercial Zoning District (GC), uses listed below:
      Construction sales and services and outdoor storage of materials and equipment ordinarily associated with construction sales and services activities, and also home improvement stores, and also all the uses permitted in Parcel 11a.
   C. The uses permitted by the C.U.P. are only those uses permitted by right and not by conditional use unless specifically identified.

4. Architectural Controls:
   With exception to Parcel 11b, all buildings within the C.U.P. shall share a uniform architectural character, color, and same predominate exterior building material, as determined by the Director of Planning. The building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas. The building(s) walls shall not utilize metal as a predominant exterior facade material, unless approved by the Director of Planning.

5. Title:
   The transfer of the title on all or any portion of the land included in the Community Unit Plan does not constitute a termination of the plan or any portion thereof; but said plan shall run with the land for commercial development and be binding upon the present owners, their successors and assigns and amended. However, the Director of the MAPD, with the concurrence of the Zoning Administrator, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.

6. Landscaping for this site shall be required as follows:
   A. Landscaped street yards, buffers, and parking lot landscaping and screening - Shall be in accordance with the City of Wichita Landscape Ordinance.
   B. A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Metropolitan Area Planning Department (MAPD) for its review and approval prior to issuance of any building permit(s).
   C. A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.

7. Lighting:
   A. Lighting shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV.
   B. All Parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps and etc.), as approved by the Director of the MAPD.
   C. All lighting shall be shielded to direct light disbursement in a downward direction and directed away from residential areas.
   D. Light poles including above ground base shall be limited to 27 feet tall, except 15 feet tall when within 100 feet of residential zoning with residential use. School is not a residential use.
   E. Extensive use of back lit canopies and neon or fluorescent tube lighting on buildings is not permitted.

8. Screening for this site shall be required as follows:
   A. Rooftop mechanical equipment shall be screened from ground level view per Wichita-Sedgwick County Unified Zoning Code.
   B. Trash receptacles, loading docks, outdoor storage, and loading areas shall be appropriately screened to reasonably hide them from ground view.
   C. Unless otherwise noted Screening shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV and Section III-C.2.b.
   D. Outdoor display and storage shall be subject to all conditions of Section III-B.14.e for all Parcels, except, Parcel 11b. Parcel 11b is allowed outdoor storage in conformance with the GC zoning regulations.
   E. Masonry walls consisting of a solid or semisolid wall constructed of brick, stone, masonry, architectural tile, or other similar material (not including wood or woven wire) are required along the northeastern most boundary of Parcel 11a (40.00 feet), and along the east line of Parcel 10. The masonry walls shall not be less than six feet and not more than eight feet high. Construction of the masonry wall will require a building permit. Wall openings may be permitted allowing pedestrian access. The wall opening shall be determined and approved by the director of planning prior to the issuance of the building permit.
   F. A wood screening wall with brick column features every fifty feet shall be built on or near the southern line of Parcel 11b from 35' west of the east line of Parcel 11b to a point equal to a line extended south from the western facade of the main building built on Parcel 11b. A wood screening wall with brick column features every fifty feet shall be built on or near the 35' building setback line located along the eastern property line of Parcel 11b (an accessory building may replace a portion of the this wall provided its height is a minimum of 14'). The 35' setback area shall be landscaped to provide additional screening. The wood screening wall shall be a minimum of 14' tall.
   G. Landscape screening and berming will be provided within the 35 foot setback area of the southwest most 565 feet of Parcel 11a, as indicated.

9. Setbacks:
   Setbacks are as follows and or as specified in Wichita-Sedgwick County Unified Zoning Code. If contiguous Parcels are to be developed under the same ownership, setbacks between those Parcels are not required. Within Parcel 11b buildings greater than 200,000 square feet shall adhere to a 100 foot rear or east building setback. Within Parcel 11b, a 35 foot rear or east building setback is required for an accessory building. Also see Parcel Descriptions for building setbacks.

10. Signs: As permitted under the current Sign Code of the City of Wichita.
    Additionally, the following conditions apply:
    A. Parcels 1 through 11a, are subject to the requirements of the Sign Code for the City of Wichita for Limited Commercial (LC) Zoning District, except as noted herewith (10. B. thought 10. J.).
    B. No flashing, moving, portable, billboard, banner, or pennant signs shall be permitted (except for signs showing time and temperature).
    C. All freestanding signs adjoining Maize Road and 37th Street roadways shall be monument type signs with a maximum height of 20 ft., with the exception of three 30 ft. development marker/monument type signs. The maximum sign area for the 30 ft. signs shall be 200 sq. ft. and shall be used for development identification as well as tenant signs for tenants within the C.U.P.
    D. The minimum distance between signs shall be 150 ft., except for those signs adjacent to the development marker/monument signs, the minimum distance between these signs is 100 ft.
    E. Along Maize Road, Parcels 1 through 5, and Parcel 11a and 11b shall be permitted a total of 7 monument signs including the development sign(s). The monument signs shall not exceed 20 feet in height with a maximum sign area of 150 sq. ft. each. These signs may be used for tenants within the C.U.P.
    F. Along 37th Street, Parcels 5 through 11a shall be permitted a total of 7 monument signs including the development sign(s). The maximum sign area is 150 sq. ft. These signs may be used for tenants within the C.U.P.
    G. Building signage shall be permitted within the C.U.P. and per the current Sign Code.
    H. Accent lighting of monument signs shall be permitted.
    I. Window signage shall be limited to 25% of window area.
    J. The total amount of sign face area of freestanding signage along each arterial street shall not exceed 0.8 times the linear frontage.
    K. Parcel 11b is subject to the requirements of the Sign Code for the City of Wichita for General Commercial (GC) Zoning District.

11. Parking:
    A. All Parcels, shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV-A,
    B. unless otherwise specified.
       Parcels 11a and 11b shall be reviewed as one parcel in consideration to parking requirements. On Parcels 11a and 11b, a minimum of 450 parking stalls is required.

12. Reserves:
    The location, uses, and size of reserves shall be determined at the time of final platting.

13. No occupancy permits shall be issued for any development without services by municipal water and sewer services.

14. The following transportation improvements and Parcel access shall be provided:
    A. Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement between Parcels within the C.U.P.
    B. Guarantees for specific street and or signalization improvements for Maize Road shall be further reviewed and determined at the time of final platting.
    C. Access controls shall be as shown on the Final Plat and revised upon the C.U.P.
    D. An overall site circulation plan shall be submitted for review and approval by the Director of Planning, in concurrence with the Zoning Administrator and Traffic Engineer. The circulation plan shall assure smooth internal vehicular and pedestrian movements, pedestrian connectivity to major arterial and within buildings on the CUP and may provide connections to adjoining properties, and ensure that the main drives are not blocked by parking spaces directly backing onto the main drive aisles.

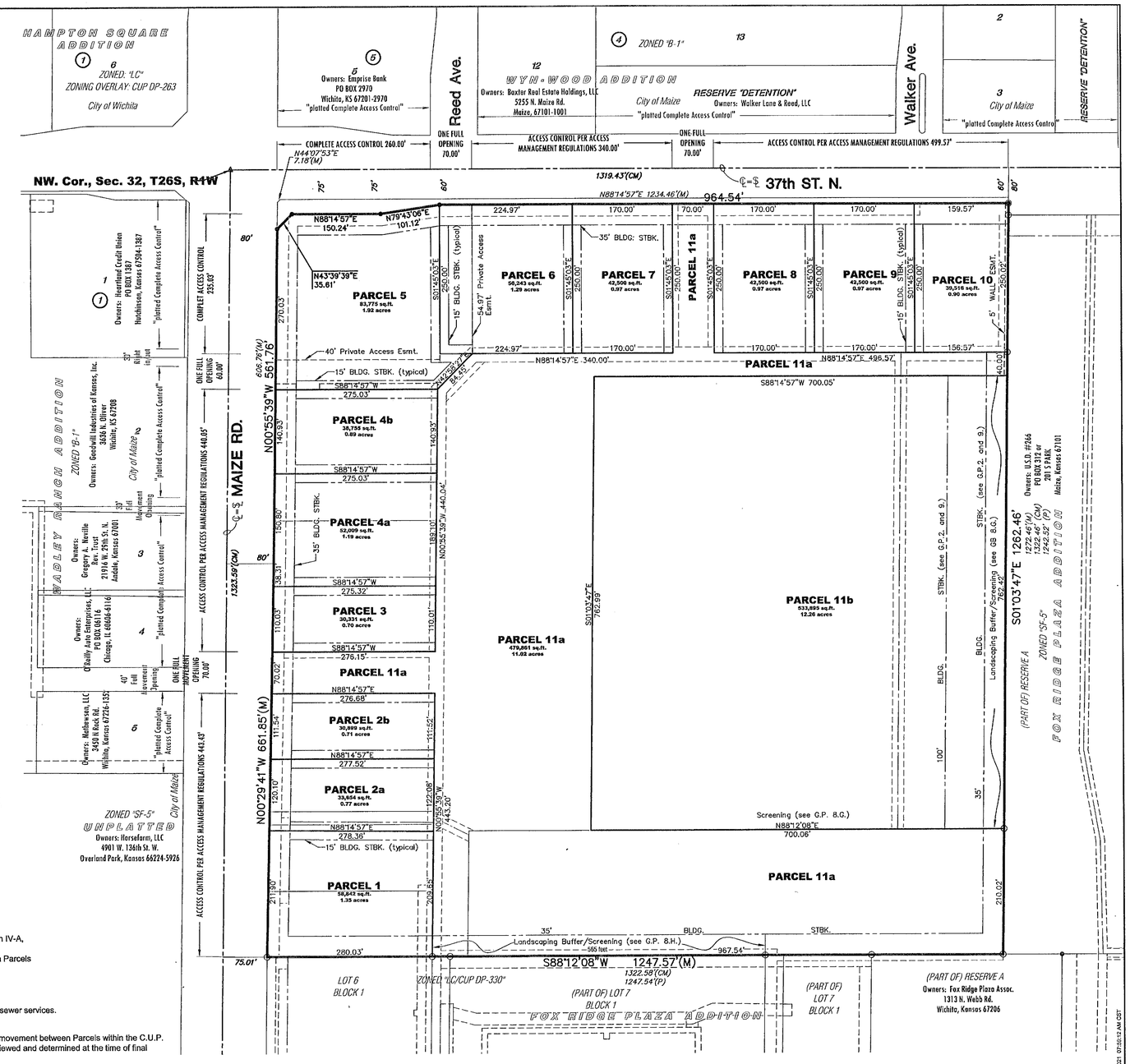
15. Grading Plan:
    A lot grading plan will be prepared in conformance with the Drainage Concept Plan for review prior to the issuance of a Building Permit.

16. All proposed new utilities shall be installed underground.

17. Final determination of minimum pad elevations (at least 2 feet higher than the 100 year flood elevation), street right(s)-of-way, easements, and pavement widths on public private streets shall be resolved at the time of platting.

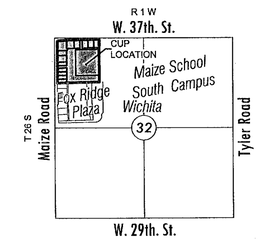
18. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator and the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.

19. Any major changes within this Community Development Plan shall be submitted to the Planning Commission and the Governing Body for their consideration. Amendments, adjustments, or interpretations to the C.U.P. shall be done in accordance with the Unified Zoning Code.



LEGAL DESCRIPTION

Stonebridge Commercial Addition, an addition to Wichita, Sedgwick County, Kansas.



VICINITY MAP

100 0 100 200

APPROVED CUP
MAPC 6/3/2021
6/21/2021
Copy 1 of 4

COMMUNITY UNIT PLAN DP-295

STONEBRIDGE

Amendment #2 CUP2021-00018	June 17, 2021
Adjustment #4 CUP2016-00033	August 22, 2016
Amendment #2 CUP2016-00023	July 21, 2016
Adjustment #3 CUP2013-00038	November 4, 2013
Adjustment #2 CUP2013-00005	March 11, 2013
Adjustment #1 CUP2012-00014	May 21, 2012
Amendment #1 ZON2008-00061 / CUP2008-00044	November 20, 2008
Original Case: ZON2006-07 / CUP2006-06	June 6, 2006

OWNER / DEVELOPER: Tier 1, LLC Attn: Marv Schellenberg 7926 W. 21st, Wichita, KS 67205 (316) 721-2153
OWNER / DEVELOPER: Menard, Inc. Attn: Tyler Edwards 5101 Menard Drive, Eau Claire, WI 54703 (715) 876-2143

MKEC
Wichita, KS • 316.684.9600

Stonebridge CUP DP-295

Stonebridge CUP DP-295

DEVELOPMENT GUIDELINES

General Provisions

1. Area:
The total development contains 36.3 acres of land more or less with a net land area of 35.93 acres of land more or less.

2. Parcel Descriptions:

Summary:
Total allowable buildings = 18
(excepting accessory structures)
Total allowable floor ratio = .32
(may be adjusted from parcel to parcel)
Minimum Building Setbacks: (applies to all parcels as shown)
Arterial Street setback = 35'
Interior side setback = 15'
Interior side setback = 35' **
Exterior boundary setback = 100' **
**(if building has a gross floor area greater than 100,000 s.f.)
Also see G.P.9 hereon.

Parcel 1a
Gross Area= 0.71 Ac. or 30,936 s.f.
Maximum Height=35 feet
Max. Building Coverage=35%
Maximum Building(s) = 1
Max. Gross Floor Area=35% or 10,828 s.f.
Floor Area Ratio=0.35

Parcel 2a
Gross Area= 0.70 Ac. or 30,729 s.f.
Maximum Height=35 feet
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Maximum Height=35 feet
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Maximum Height=35 feet
Max. Building Coverage=30%
Maximum Building(s) = 1
Max. Gross Floor Area=30% or 16,873 s.f.
Floor Area Ratio=0.30

Parcel 8
Gross Area= 0.97 Ac. or 42,500 s.f.
Maximum Height=35 feet
Max. Building Coverage=30%
Maximum Building(s) = 1
Max. Gross Floor Area=30% 14,875 s.f.
Floor Area Ratio=0.30

Parcel 10
Gross Area= 0.90 Ac. or 42,500 s.f.
Maximum Height=35 feet
Max. Building Coverage=30%
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Parcel 11b
Gross Area= 12.26 Ac. or 533,895 s.f.
Maximum Height=45 feet
Max. Building Coverage=11a+11b=30%
304,127 s.f.
Floor Area Ratio=11a+11b=0.30

Parcel 1b
Gross Area= 0.71 Ac. or 30,822 s.f.
Maximum Height=35 feet
Max. Building Coverage=35%
Maximum Building(s) = 1
Max. Gross Floor Area=35% or 10,788 s.f.
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Gross Area= 0.71 Ac. or 30,899 s.f.
Maximum Height=35 feet
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Maximum Height=35 feet
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Maximum Building(s) = 2
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Maximum Height=35 feet
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Parcel 11a
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Maximum Height=45 feet
Max. Building Coverage=11a+11b=30%
304,127 s.f.
Floor Area Ratio=11a+11b=0.30

3. The following uses are permitted for all Parcels within the C.U.P.:
   A. Parcels 1a, 1b, 2a, 2b, 3, 4a, 4b, 5, 6, 7, 8, 9, 10, and 11a allow for all uses permitted within the Limited Commercial Zoning District (LC), except the uses listed below:
   Correctional placement residential limited and general, adult entertainment establishment, pawn shop, asphalt or concrete plant-limited, and storage-outdoor. Additionally, the following uses are prohibited within the east 150 feet of Parcels 10 and 11a and the south 200 feet of Parcels 1a and 11a, if the adjoining parcels are specifically zoned for residential: convenience stores, service stations, auto repair, car washes (further prohibited to 200 feet of residential uses as stated below), restaurants with drive-in or drive-through windows, and taverns and drinking establishment on out-parcels. Car Washes in the CUP shall be subject to the supplementary use regulations of Sec. III-D.6.f. of the Unified Zoning Code.

   B. Parcel 11b allows for the following General Commercial Zoning District (GC), uses listed below:
   Construction sales and services and outdoor storage of materials and equipment ordinarily associated with construction sales and services activities, and also home improvement stores, and also all the uses permitted in Parcel 11a.

   C. The uses permitted by the C.U.P. are only those uses permitted by right and not by conditional use unless specifically identified.

4. Architectural Controls:
With exception to Parcel 11b, all buildings within the C.U.P. shall share a uniform architectural character, color, and same predominate exterior building material, as determined by the Director of Planning. The building walls and roofs must have predominately earth-tone colors, with vivid colors limited to incidental accents, and must employ materials similar to surrounding residential areas. The building(s) walls shall not utilize metal as a predominant exterior facade material, unless approved by the Director of Planning.

5. Title:
The transfer of the title on all or any portion of the land included in the Community Unit Plan does not constitute a termination of the plan or any portion thereof; but said plan shall run with the land for commercial development and be binding upon the present owners, their successors and assigns and amended. However, the Director of the MAPD, with the concurrence of the Zoning Administrator, may approve minor adjustments to the conditions in this overlay, consistent with the approved development plan, without filing a formal ordinance amendment.

6. Landscaping for this site shall be required as follows:
   A. Landscaped street yards, buffers, and parking lot landscaping and screening - Shall be in accordance with the City of Wichita Landscape Ordinance.
   B. A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Metropolitan Area Planning Department (MAPD) for its review and approval prior to issuance of any building permit(s).
   C. A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.

7. Lighting:
   A. Lighting shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV.
   B. All Parcels shall share similar or consistent parking lot lighting elements (i.e. fixtures, poles and lamps and etc.), as approved by the Director of the MAPD.
   C. All lighting shall be shielded to direct light disbursement in a downward direction and directed away from residential areas.
   D. Light poles including above ground base shall be limited to 27 feet tall, except 15 feet tall when within 100 feet of residential zoning with residential use. School is not a residential use.
   E. Extensive use of back lit canopies and neon or fluorescent tube lighting on buildings is not permitted.

8. Screening for this site shall be required as follows:
   A. Rooftop mechanical equipment shall be screened from ground level view per Wichita-Sedgwick County Unified Zoning Code.
   B. Trash receptacles, loading docks, outdoor storage, and loading areas shall be appropriately screened to reasonably hide them from ground view.
   C. Unless otherwise noted Screening shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV and Section III-C.2.b.
   D. Outdoor display and storage shall be subject to all conditions of Section III-B.14.e for all Parcels, except, Parcel 11b. Parcel 11b is allowed outdoor storage in conformance with the GC zoning regulations.
   E. Masonry walls consisting of a solid or semisolid wall constructed of brick, stone, masonry, architectural tile, or other similar material (not including wood or woven wire) are required along the northeastern most boundary of Parcel 11a (40.00 feet), and along the east line of Parcel 10. The masonry walls shall not be less than six feet and not more than eight feet high. Construction of the masonry wall will require a building permit. Wall openings may be permitted allowing pedestrian access. The wall opening shall be determined and approved by the director of planning prior to the issuance of the building permit.
   F. A wood screening wall with brick column features every fifty feet shall be built on or near the southern line of Parcel 11b from 35' west of the east line of Parcel 11b to a point equal to a line extended south from the western facade of the main building built on Parcel 11b. A wood screening wall with brick column features every fifty feet shall be built on or near the 35' building setback line located along the eastern property line of Parcel 11b (an accessory building may replace a portion of the this wall provided its height is a minimum of 14'). The 35' setback area shall be landscaped to provide additional screening. The wood screening wall shall be a minimum of 14' tall.
   G. Landscape screening and berming will be provided within the 35 foot setback area of the southwest most 565 feet of Parcel 11a, as indicated.

9. Setbacks:
Setbacks are as follows and or as specified in Wichita-Sedgwick County Unified Zoning Code. If contiguous Parcels are to be developed under the same ownership, setbacks between those Parcels are not required. Within Parcel 11b buildings greater than 200,000 square feet shall adhere to a 100 foot rear or east building setback. Within Parcel 11b, a 35 foot rear or east building setback is required for an accessory building. Also see Parcel Descriptions for building setbacks.

10. Signs: As permitted under the current Sign Code of the City of Wichita.
Additionally, the following conditions apply:
   A. Parcels 1a through 11a, are subject to the requirements of the Sign Code for the City of Wichita for Limited Commercial (LC) Zoning District, except as noted herewith (10. B. thought 10. J.).
   B. No flashing, moving, portable, billboard, banner, or pennant signs shall be permitted (except for signs showing time and temperature).
   C. All freestanding signs adjoining Maize Road and 37th Street roadways shall be monument type signs with a maximum height of 20 ft., with the exception of three 30 ft. development marker/monument type signs. The maximum sign area for the 30 ft. signs shall be 200 sq. ft. and shall be used for development identification as well as tenant signs for tenants within the C.U.P.
   D. The minimum distance between signs shall be 150 ft., except for those signs adjacent to the development marker/monument signs, the minimum distance between these signs is 100 ft.
   E. Along Maize Road, Parcels 1a through 5, and Parcel 11a and 11b shall be permitted a total of 7 monument signs including the development sign(s). The monument signs shall not exceed 20 feet in height with a maximum sign area of 150 sq. ft. each. These signs may be used for tenants within the C.U.P.
   F. Along 37th Street, Parcels 5 through 11a shall be permitted a total of 7 monument signs including the development sign(s). The maximum sign area is 150 sq. ft. These signs may be used for tenants within the C.U.P.
   G. Building signage shall be permitted within the C.U.P. and per the current Sign Code.
   H. Accent lighting of monument signs shall be permitted.
   I. Window signage shall be limited to 25% of window area.
   J. The total amount of sign face area of freestanding signage along each arterial street shall not exceed 0.8 times the linear frontage.
   K. Parcel 11b is subject to the requirements of the Sign Code for the City of Wichita for General Commercial (GC) Zoning District.

11. Parking:
   A. All Parcels, shall be in accordance with the Wichita-Sedgwick County Unified Zoning Code, Section IV-A,
   B. unless otherwise specified.
   Parcels 11a and 11b shall be reviewed as one parcel in consideration to parking requirements. On Parcels 11a and 11b, a minimum of 450 parking stalls is required.

12. Reserves:
The location, uses, and size of reserves shall be determined at the time of final platting.

13. No occupancy permits shall be issued for any development without services by municipal water and sewer services.

14. The following transportation improvements and Parcel access shall be provided:
   A. Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement between Parcels within the C.U.P.
   B. Guarantees for specific street and or signalization improvements for Maize Road shall be further reviewed and determined at the time of final platting.
   C. Access controls shall be as shown on the Final Plat and revised upon the C.U.P.
   D. An overall site circulation plan shall be submitted for review and approval by the Director of Planning, in concurrence with the Zoning Administrator and Traffic Engineer. The circulation plan shall assure smooth internal vehicular and pedestrian movements, pedestrian connectivity to major arterial and within buildings on the CUP and may provide connections to adjoining properties, and ensure that the main drives are not blocked by parking spaces directly backing onto the main drive aisles.

15. Grading Plan:
A lot grading plan will be prepared in conformance with the Drainage Concept Plan for review prior to the issuance of a Building Permit.

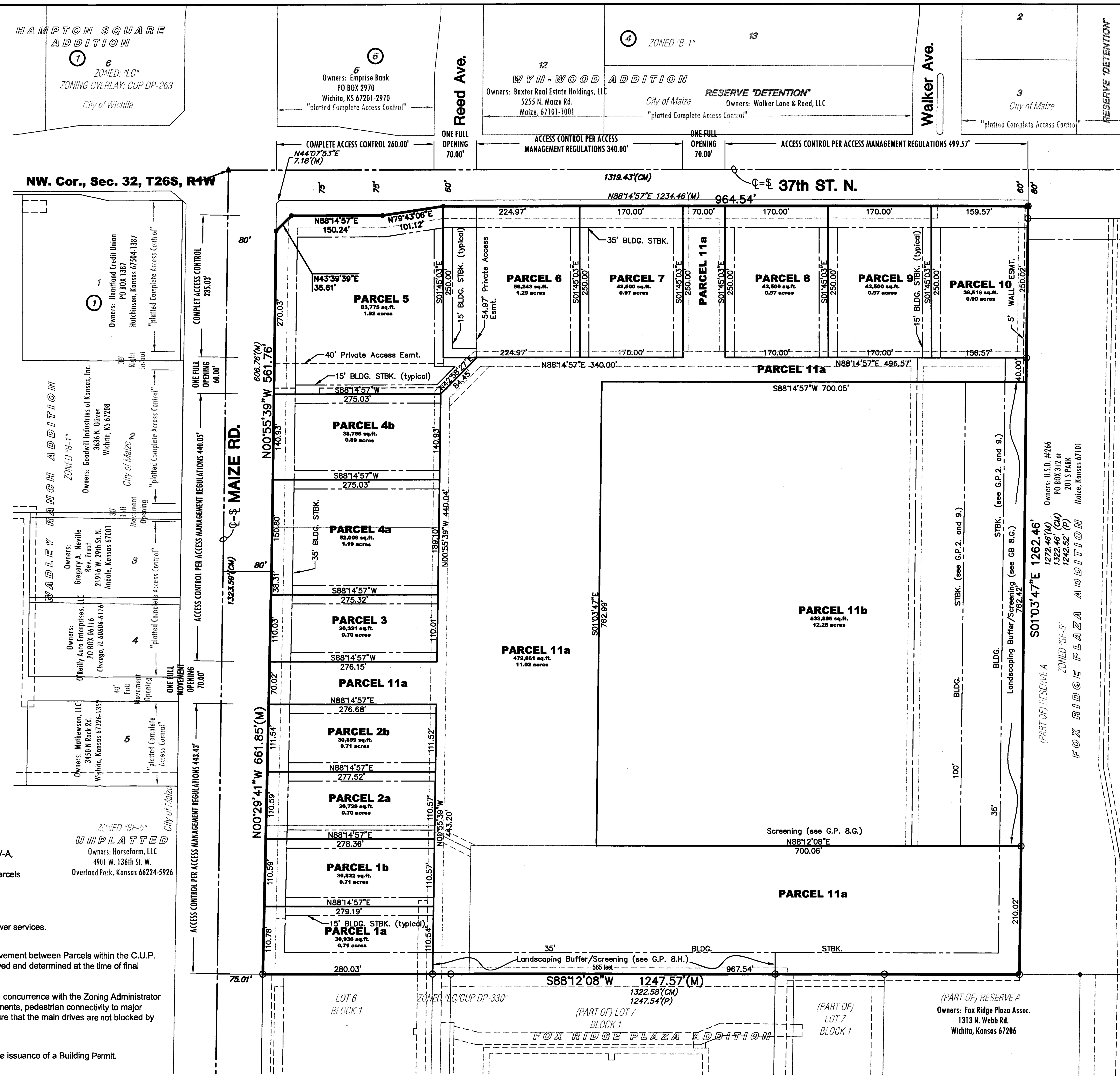
16. All proposed new utilities shall be installed underground.

17. Final determination of minimum pad elevations (at least 2 feet higher than the 100 year flood elevation), street right(s)-of-way, easements, and pavement widths on public private streets shall be resolved at the time of platting.

18. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the Zoning Administrator and the Director of Planning, shall constitute a violation of the building permit authorizing construction of the proposed development.

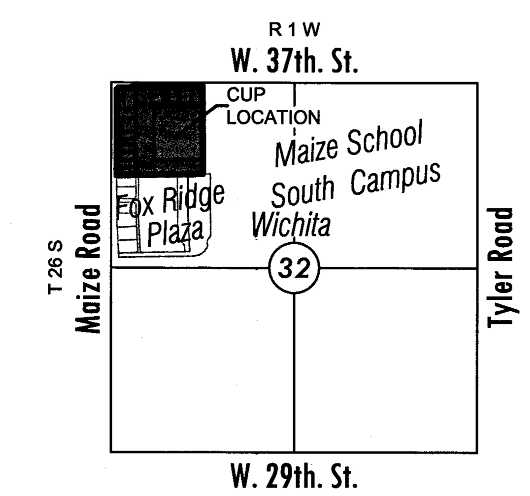
19. Any major changes within this Community Development Plan shall be submitted to the Planning Commission and the Governing Body for their consideration. Amendments, adjustments, or interpretations to the C.U.P. shall be done in accordance with the Unified Zoning Code.

APPROVED CUP
MAPC 11-20-08 klm
WCC 1-27-09 klm
MAPD Copy 1 of 4
Per adjust 8-22-2016 klm



LEGAL DESCRIPTION

Stonebridge Commercial Addition, an addition to Wichita, Sedgwick County, Kansas.



VICINITY MAP

100 0 100 200

COMMUNITY UNIT PLAN DP-295

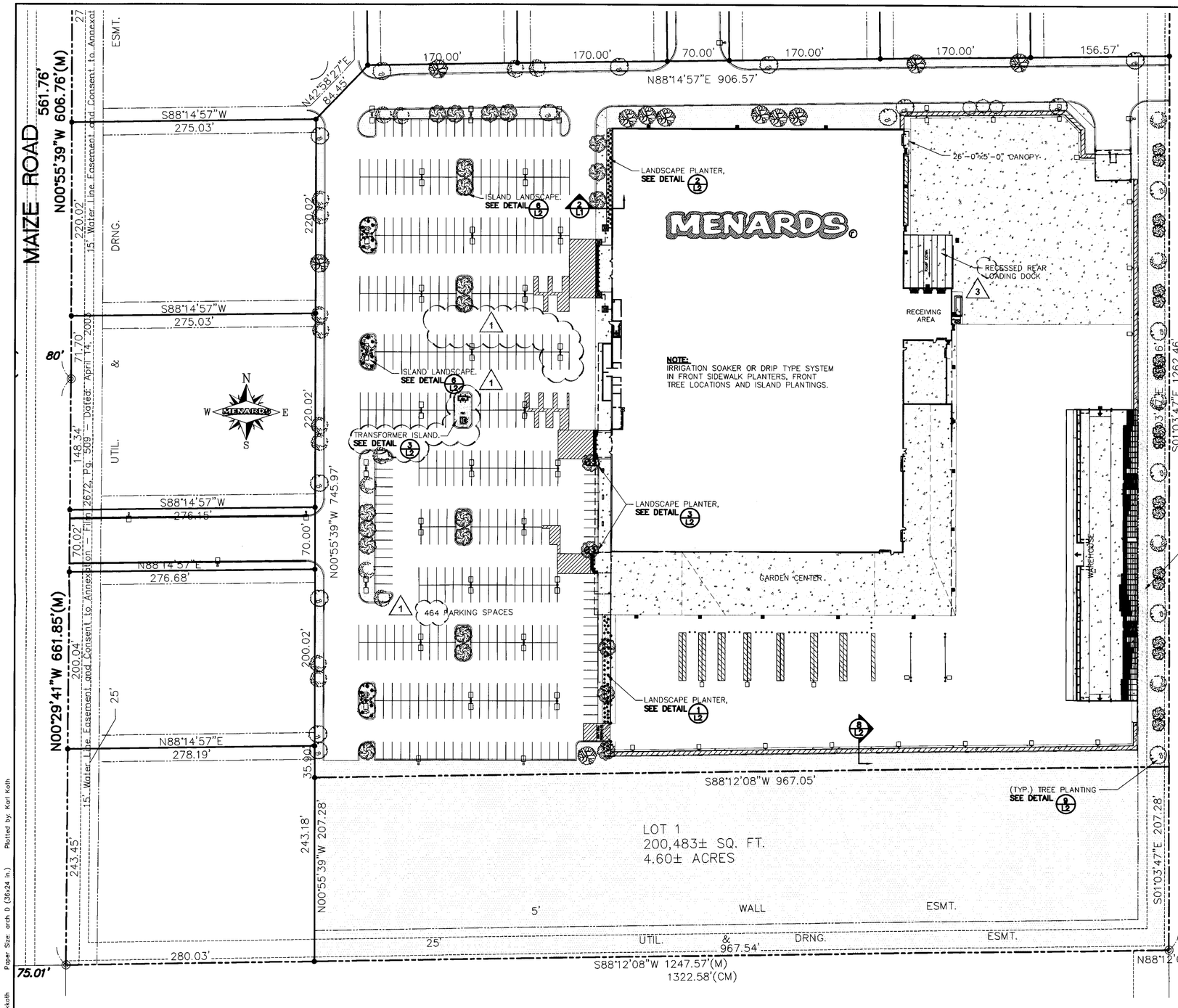
STONEBRIDGE

Adjustment #4 CUP2016-00033	August 22, 2016
Amendment #2 CUP2016-00023	July 21, 2016
Adjustment #3 CUP2013-00038	November 4, 2013
Adjustment #2 CUP2013-00005	March 11, 2013
Adjustment #1 CUP2012-00014	May 21, 2012
Amendment #1 ZON2008-00061 / CUP2008-00044	November 20, 2008
Original Case: ZON2006-07 / CUP2006-06	June 6, 2006

OWNER / DEVELOPER: Tier 1, LLC Attn: Marv Schellenberg 7926 W. 21st, Wichita, KS 67205 (316) 721-2153
OWNER / DEVELOPER: Menard, Inc. Attn: Tyler Edwards 5101 Menard Drive, Eau Claire, WI 54703 (715) 876-2143

MKEC
Wichita, KS • 316.684.9600

\\CTNAS03\Vol7\Projects\2014\1401010462_Premier_Estancia\05-Civil\CAD\Plat\CUP\14462CUP.dwg 08/24/2015 11:45:17 AM CST
Stonebridge CUP DP-295



1/L1 LANDSCAPE SITE PLAN

SCALE: 1" = 60'-0"

DP-295 PARCEL 11A & 11B

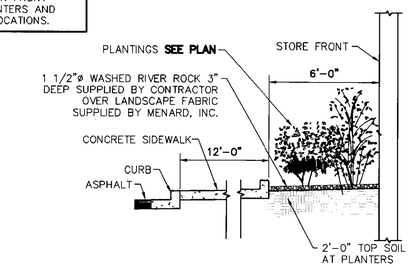
LANDSCAPE PLAN

APPROVED 08-04-10 BY DG

SHEET 2 OF 2

MAPD Copy 1 OF 2

NOTE:
IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.



2/L1 PLANTER SECTION

SCALE: 1/4" = 1'-0" (REF. 1/L1) (REF. 1/L2)

PARKING LOT LANDSCAPE LEGEND

SYMBOL	SCIENTIFIC, COMMON NAME	SIZE	QUANTITY	MATURE SIZE
	ACER SACCHARUM 'LEGACY', 'LEGACY' SUGAR MAPLE	2 1/2" DIA.	5	60'-0" TO 75'-0" TALL 40'-0" TO 50'-0" WIDE
	MALUS X HYBRID 'CENTURION', 'CENTURION' FLOWERING CRAB	2 1/2" DIA.	16 (1)	25'-0" TALL 15'-0" TO 20'-0" WIDE
	GLEDITSIA TRIACANTHOS var. INERMIS 'SKYLINE', 'SKYLINE' THORNLESS COMMON HONEYLOCUST	2 1/2" DIA.	8	30'-0" TO 70'-0" TALL 30'-0" TO 70'-0" WIDE
	BERBERIS THUNBERGI var. ATROPURPUREA 'CRIMSON PYGMY', 'CRIMSON PYGMY' JAPANESE BARBERRY	3 GALLON	23	1'-6" TO 2'-0" TALL 2'-6" TO 3'-0" WIDE
	JUNIPERUS HORIZONTALIS 'TURQUOISE SPREADER', TURQUOISE SPREADER' CREEPING JUNIPER	3 GALLON	32	1'-0" TO 2'-0" TALL 2'-0" TO 3'-0" WIDE
	HYDROSEED			
	1 1/2" WASHED RIVER ROCK (ISLANDS AND PLANTERS)			

PARKING LOT LANDSCAPING REQUIRED:
1 SHADE TREE OR TWO ORNAMENTAL TREES FOR EACH 20 PARKING SPACES
462 PARKING SPACES IN PARKING LOT = 24 SHADE TREES
PARKING LOT LANDSCAPING PROVIDED:
13 SHADE TREES, 18 ORNAMENTAL TREES AND 174 SHRUBS

OVERALL LOT LANDSCAPE LEGEND

SYMBOL	SCIENTIFIC, COMMON NAME	SIZE	QUANTITY	MATURE SIZE
	ACER SACCHARUM 'LEGACY', 'LEGACY' SUGAR MAPLE	2 1/2" DIA.	22	60'-0" TO 75'-0" TALL 40'-0" TO 50'-0" WIDE
	MALUS X HYBRID 'CENTURION', 'CENTURION' FLOWERING CRAB	2 1/2" DIA.	42 (1)	25'-0" TALL 15'-0" TO 20'-0" WIDE
	GLEDITSIA TRIACANTHOS var. INERMIS 'SKYLINE', 'SKYLINE' THORNLESS COMMON HONEYLOCUST	2 1/2" DIA.	23	30'-0" TO 70'-0" TALL 30'-0" TO 70'-0" WIDE
	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE', 'PRAIRIE PRIDE' COMMON HACKBERRY	2 1/2" DIA.	11	40'-0" TO 60'-0" TALL 40'-0" TO 50'-0" WIDE
	PINUS STROBIFORMIS, SOUTHWESTERN WHITE PINE	6'-0" TALL	3	40'-0" TO 60'-0" TALL 25'-0" TO 40'-0" WIDE
	SPIRAEA x BUMALDA "ANTHONY WATERER", "ANTHONY WATERER" SPIRAEA	3 GALLON	31	3'-0" TO 4'-0" TALL 5'-0" TO 6'-0" WIDE
	BERBERIS THUNBERGI var. ATROPURPUREA 'CRIMSON PYGMY', 'CRIMSON PYGMY' JAPANESE BARBERRY	3 GALLON	56	1'-6" TO 2'-0" TALL 2'-6" TO 3'-0" WIDE
	POTENTILLA FRUTICOSA 'JACKMANII', 'JACKMANII' POTENTILLA	3 GALLON	14 (2)	3'-0" TO 4'-0" TALL 2'-0" TO 3'-0" WIDE
	RHUS AROMATICA, FRAGRANT SUMAC	3 GALLON	21	2'-0" TO 6'-0" TALL 6'-0" TO 10'-0" WIDE
	JUNIPERUS HORIZONTALIS 'TURQUOISE SPREADER', TURQUOISE SPREADER' CREEPING JUNIPER	3 GALLON	32 (2)	1'-0" TO 2'-0" TALL 2'-0" TO 3'-0" WIDE
	HYDROSEED			
	1 1/2" WASHED RIVER ROCK (ISLANDS AND PLANTERS) 4" TO 8" ROCK RIP-RAP (BEHIND WAREHOUSE)			

AUTOMATIC IRRIGATION SYSTEM:
1. SYSTEM IS A DESIGN/BUILD SYSTEM BY THE CONTRACTOR.
2. SUBMIT SHOP DRAWINGS AND CUT SHEETS TO MENARD, INC. FOR APPROVAL PRIOR TO ANY INSTALLATION. INCLUDE AS-BUILT DRAWINGS AFTER INSTALLATION.
3. ALL MATERIALS SUPPLIED AND INSTALLED BY CONTRACTOR.
4. SYSTEM TO PROVIDE 100% COVERAGE OF ALL LANDSCAPED AREAS.
5. IRRIGATION SYSTEM TO BE MANUFACTURED BY ORBIT OR APPROVED EQUAL.
6. CONTROL PANEL/TIME CLOCK WITH LOCKABLE COVER TO BE INSTALLED INSIDE SPRINKLER ROOM.
7. TWO YEAR MAINTENANCE INCLUDING STARTUP AND WINTERIZATION TO BE INCLUDED.
8. ALL SPRINKLER MAINS AND EQUIPMENT TO BE INSTALLED WITHIN MENARDS PROPERTY LINES.
9. IRRIGATION CONTROL PANEL SHALL BE MOUNTED IN SPRINKLER ROOM. IRRIGATION WATER SOURCE TO COME OUT OF BUILDING FROM SPRINKLER ROOM. (PLUMBER WILL SUPPLY 2" COPPER PIPE WITH SHUT OFF VALVES, WATER METER AND BACK FLOW PREVENTER PER PLUMBING RISER DIAGRAM.)
10. IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS AND ALL ISLANDS WITH PLANTINGS.
11. INSTALL SHUT OFF VALVES IN IRRIGATION SYSTEM AT ALL OUTLOT AND ADJOINING AREAS TO ALLOW SEPARATION OF SYSTEM IN CASE OF DAMAGE DUE TO FUTURE DEVELOPMENT.
12. INSTALL A BLOWOUT IN THE SPRINKLER ROOM FOR WINTERIZATION OF THE IRRIGATION SYSTEM.

NOTES:
1. PLANTING ARRANGEMENT AND QUANTITIES APPROVED BY MENARD, INC. PRIOR TO INSTALLATION.
2. ALL TREES AND PLANTS TO BE APPROVED BY MENARD, INC. PRIOR TO INSTALLATION.
3. DECIDUOUS SHADE TREES TO BE OF A MIN. CALIPER MEASURED AT A POINT 6" ABOVE GROUND LEVEL. SEE ABOVE FOR CALIPER SIZES REQUIRED.
4. ALL PLANTS SHALL BE INSTALLED WITHIN MENARDS PROPERTY LINES.
5. CONTRACTOR IS RESPONSIBLE TO SUPPLY WATER NECESSARY TO PROMOTE AND MAINTAIN HEALTHY PLANTINGS.
6. THE SURFACE OF THE TOPSOIL SHALL NOT CONTAIN ANY CLODS, LUMPS, ROCKS, DEBRIS, ETC. LARGER THAN 1/2" DIAMETER.
7. WESTERN WHITE WOOD MULCH AND LANDSCAPE FABRIC SUPPLIED BY MENARD, INC.
8. CONTRACTOR IS RESPONSIBLE FOR ALL MOWING, FERTILIZING, AND MAINTENANCE OF LANDSCAPING FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE PROJECT COMPLETION.

LATEST REVISION
DESTROY ALL PREVIOUS ISSUES AT ONCE
DO NOT KEEP DUPLICATE COPIES
DATE:
SIGNED:

MENARD INC.
STORE DESIGN DEPARTMENT
EAU CLAIRE, WISCONSIN

SCALE	DRAWN BY	DATE
AS NOTED	JAC	11/01/09

PROJECT TITLE: WICHITA, KS (WEST)
SHEET TITLE: LANDSCAPE SITE PLAN

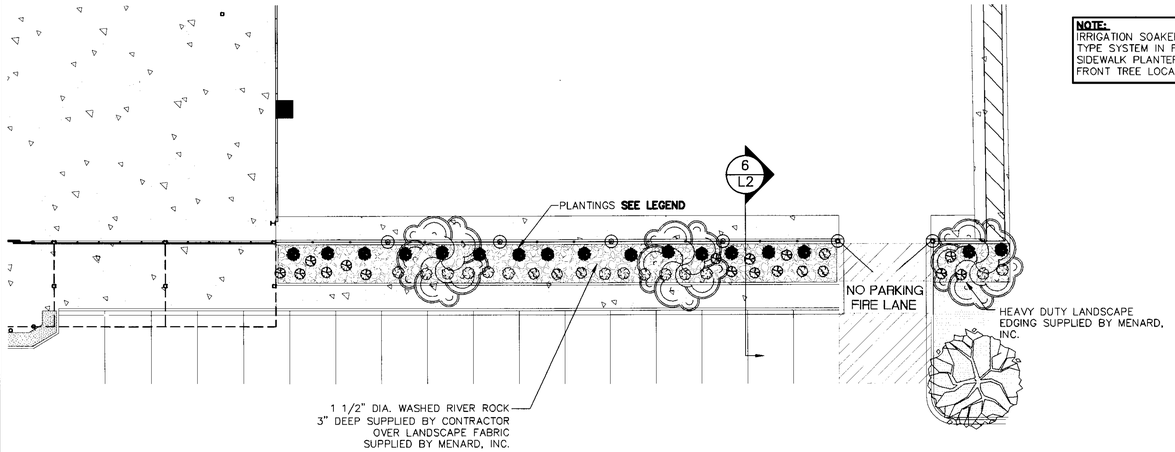
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	06-08-10	RELOCATE TRANSFORMER ISLAND	KWK
2	06-15-10	REVISE LANDSCAPING QUANTITIES	KWK
3	06-17-10	REMOVE LOADING DOCK DIMENSION	KWK

CAD DWG NAME: WICHITA, KS WEST SITES
SHEET NO. L1

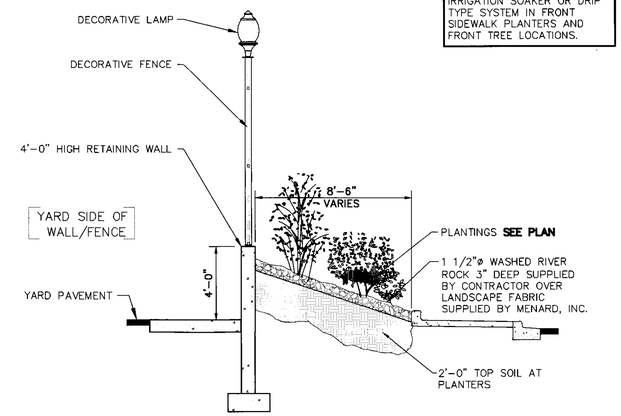
LATEST REVISION

Last Saved Date: June 17, 2010 Last Saved By: Keith Paper Size: arch D (36x24 in.) Plotted by: Karl Kath



NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.

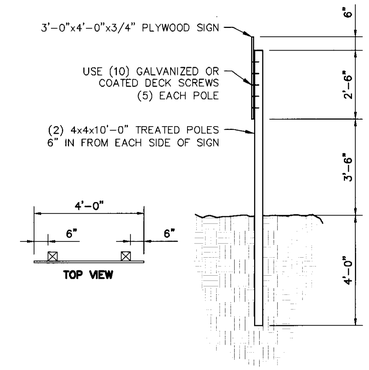
1 / L2 LANDSCAPE PLANTER DETAIL
SCALE: 1/16" = 1'-0"



NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.

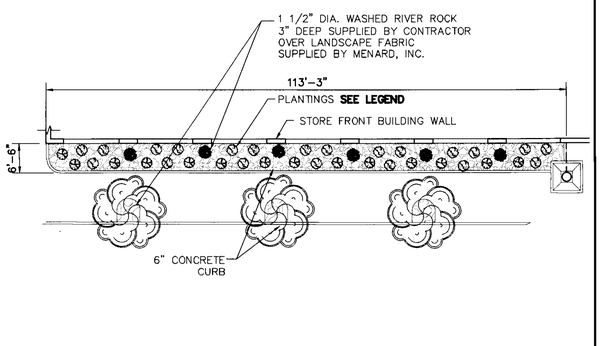
6 / L2 BANKED PLANTER DETAIL
SCALE: 1/4" = 1'-0" (REF. 3/L2) (REF. 1/L1)

NOTES:
INSTALL IN A VISIBLE LOCATION FOR PUBLIC VIEW.
SIGN SUPPLIED BY MENARD, INC.



7 / L2 INSTALLATION OF PROJECT AND 'FOR SALE' SIGNS
SCALE: 3/8" = 1'-0" (REF. 1/L1)

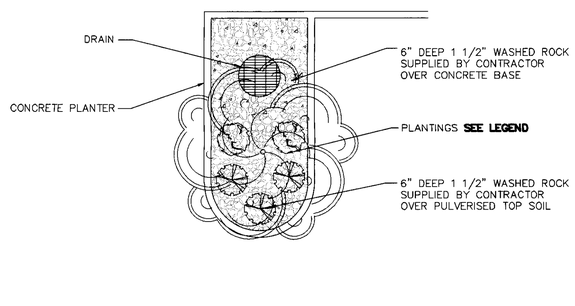
NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.



2 / L2 LANDSCAPE PLANTER DETAIL
SCALE: 1/16" = 1'-0" (REF. 1/L1) (REF. 2/L1)

NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.

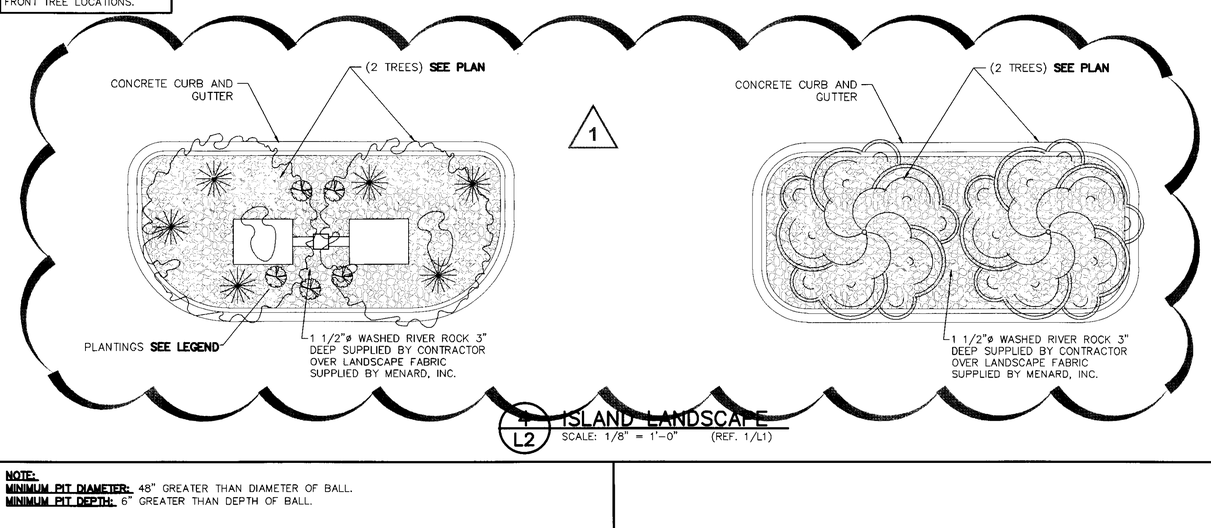
NOTE: FOR PLANTER CONSTRUCTION. **REFER TO SHEET 4/MS2**



3 / L2 LANDSCAPE PLANTER DETAIL
SCALE: 1/16" = 1'-0" (REF. 1/L1) (REF. 4/MS2)

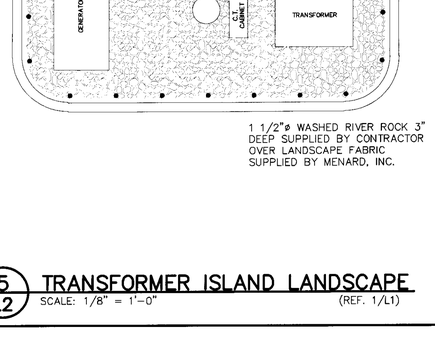
NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.

NOTE: ISLANDS VARY IN SHAPE. **SEE SITE PLAN.**

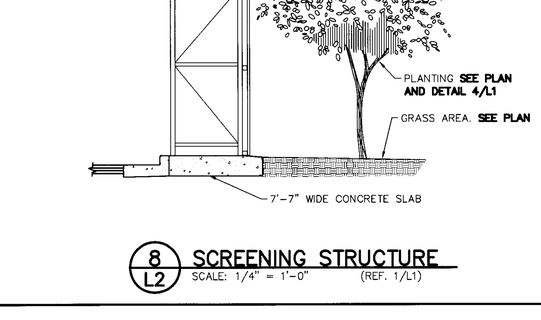


4 / L2 ISLAND LANDSCAPE
SCALE: 1/8" = 1'-0" (REF. 1/L1)

NOTE: IRRIGATION SOAKER OR DRIP TYPE SYSTEM IN FRONT SIDEWALK PLANTERS AND FRONT TREE LOCATIONS.

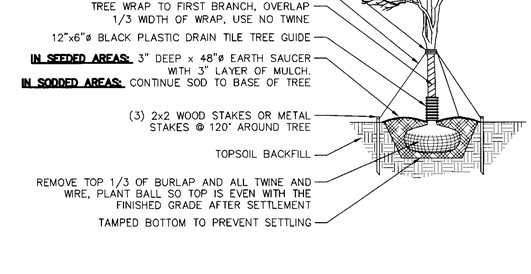


5 / L2 TRANSFORMER ISLAND LANDSCAPE
SCALE: 1/8" = 1'-0" (REF. 1/L1)



8 / L2 SCREENING STRUCTURE
SCALE: 1/4" = 1'-0" (REF. 1/L1)

NOTE:
MINIMUM PIT DIAMETER: 48" GREATER THAN DIAMETER OF BALL.
MINIMUM PIT DEPTH: 6" GREATER THAN DEPTH OF BALL.



9 / L2 TREE PLANTING AND STAKING DETAIL
SCALE: NONE (REF. 1/L1)

DP-295 PARCEL 11A & 11B
LANDSCAPE PLAN
APPROVED 08-04-10 BY DS
SHEET 2 of 2
MAPD COPY 1 of 2

LATEST REVISION
DESTROY ALL PREVIOUS ISSUES AT ONCE
DO NOT KEEP DUPLICATE COPIES
DATE:
SIGNED:

MENARD INC.
STORE DESIGN DEPARTMENT
EAU CLAIRE, WISCONSIN

SCALE	DRAWN BY	DATE
AS NOTED	JAC	11/01/09

PROJECT TITLE: WICHITA, KS (WEST)
SHEET TITLE: LANDSCAPE DETAILS

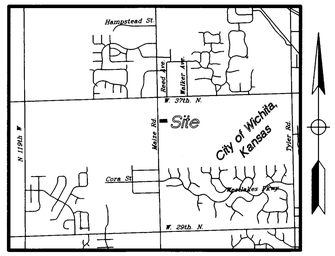
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	06-15-10	REVISE LANDSCAPING QUANTITIES	KWK

CAD DWG NAME: WICHITA, KS WEST SITES
SHEET NO. L2

LATEST REVISION

Last Saved Date: June 16, 2010 Last Saved By: kkoth Paper Size: arch D (36x24 in.) Plotted by: Karl Koth



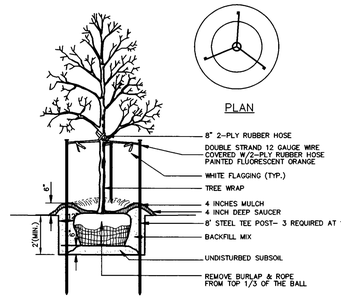
Vicinity Map

Not to Scale

NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, BUILDING UTILITY ENTRANCE LOCATIONS, AND PRECISE BUILDING DIMENSIONS.

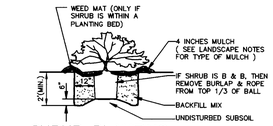
NOTE:
ONSITE AREA PROPOSED APPROXIMATELY 0.71 ACRES (30,881 S.F.)

NOTE:
EX. PERVIOUS– 30,881 SF
EX. IMPERVIOUS– 0 SF
PROP. PERVIOUS– 6,834 SF
PROP. IMPERVIOUS– 24,047 SF

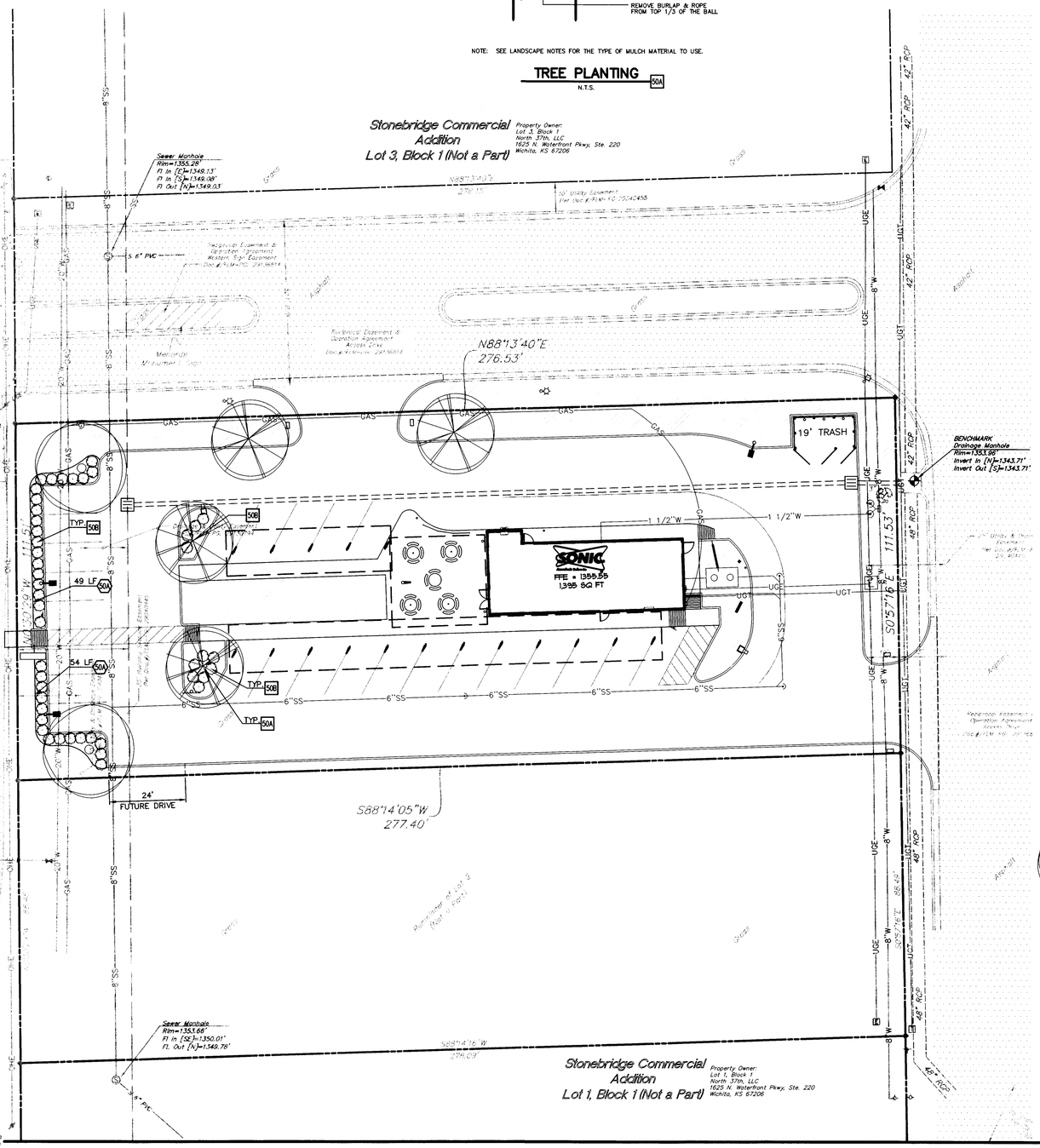


NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING 50A
N.T.S.



SHRUB PLANTING 50B
N.T.S.



N

0 20' 30' 40'
SCALE IN FEET

LEGEND

EXISTING

	PROPERTY LINE		SIGN UNDERGROUND TELEPHONE
	LOT LINE		SEWER MANHOLE
	EASEMENT LINE		UTILITY POLE
	SECTION LINE		WATER VALVE
	STORM DRAIN		
		B/C	BACK–TO–BACK CURB
GAS	GAS LINE	C/I	CURB INLET FLOW
OHE	OVERHEAD ELECTRIC	CR	CROWN
X"S	SANITARY SEWER LINES	E/A	EDGE OF ASPHALT
UCOM	UNDERGROUND COMMUNICATION LINE	E/C	EDGE OF CONCRETE
UGE	UNDERGROUND ELECTRIC	E/G	EXISTING GRADE
UGT	UNDERGROUND TELEPHONE	F/L	FLOW LINE PIPE
X"W	WATER LINE MARKED ON THE GROUND	G/B	GRADEBREAK
	BENCHMARK	G/UT	GUTTER (FLOWLINE)
	DRAINAGE MANHOLE	P.V.C.	POLYVINYL CHLORIDE PIPE
		R.C.P.	REINFORCED CONCRETE PIPE
	DECIDUOUS TREE (SIZE)	S/T	STRIPE
		S/TB	STRIPE BROKEN
	ELECTRICAL METER	S/TS&B	STRIPE SOLID & BROKEN
	FIRE HYDRANT	T/BC	TOP BANK CURB
	FOUND REBAR (AS NOTED)		
	LIGHT POLE – 1 IN LINE LAMP		CONCRETE
	RISER ELECTRIC		
	RISER TELEPHONE		
	SIGN FIBEROPTICS		ACCESS DRIVE

PROPOSED

- BOUNDARY LINE
- RIGHT OF WAY LINE
- STORM DRAIN
- FESCUE SOD
- SHREDDED HARDWOOD MULCH BED
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL LANDSCAPE NOTES

A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.

B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.

C. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH MYCOR TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.

D. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.

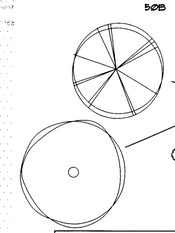
E. SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES, SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).

⬡ LANDSCAPE NOTES

50A STEEL EDGING

☐ LANDSCAPE NOTES

50A TREE PLANTING DETAIL
50B SHRUB PLANTING DETAIL



KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
KP	4	GOLDEN RAIN TREE Koelreuteria paniculata	B&B	2" CAL	MIN. 10' TALL
QP	2	WILLOW OAK Quercus phellos	B&B	2" CAL	MIN. 10' TALL
EA	46	COMPACT BURNING BUSH Euonymous alatus 'compacta'	CONT	3 GAL	MIN. 18" TALL

LANDSCAPE CALCULATIONS		
LANDSCAPE REQUIREMENT	REQUIRED	PROVIDED
LANDSCAPED STREET YARD	LF STREET FRONTAGE ON MAIZE (111.51') X SF FACTOR (15 SF) =REQUIRED SF LANDSCAPED STREET YARD (1,673 SF) 1 SHADE TREE OR 2 ORNAMENTAL TREES PER 500 SF OF REQUIRED LANDSCAPED STREET YARD	3,680 SF LANDSCAPED STREET YARD 2 SHADE TREES & 4 ORNAMENTAL TREES
SIDE AND REAR YARD BUFFERS	NO BUFFER REQUIRED	NO BUFFER PROVIDED
PARKING LOT SCREENING AND LANDSCAPING	SCREENING ALONG MAIZE REQUIRED 1 SHADE TREE OR 2 ORNAMENTAL TREES REQ'D FOR EVERY 20 SPACES	SCREENING ALONG MAIZE PROVIDED 2 ORNAMENTAL TREES (LESS THAN 1/2 OF THE LANDSCAPED STREET YARD TREES USED AS PARKING LOT SCREENING)

GENERAL NOTES:

1. ALL DIMENSIONS AT CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL AND PRACTICAL INSTALLATION.
3. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.
4. LOCATIONS OF PYLON / MONUMENT SIGNS AND ENTER / EXIT SIGNS ARE NOT EXACT. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH OWNER / CONSTRUCTION MANAGER.
5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. TOP SOIL TO BE ADDED TO THE LEVEL OF THE WALKS OR CURBS.

SITE PLAN KEYNOTES

ITEM	NOTE
1	TRAFFIC FLOW ARROW (TYPICAL), REF: SD1.16
2	4" PAINTED STRIPES (TYPICAL), REF: SPECIFICATIONS, SECTION 02520D, SHEET SP1
3	CURB RAMP (TYPICAL), REF: SD1.13
4	TRASH ENCLOSURE, REF: ARCH PLANS
5	RAILING, REF: ARCH PLANS
6	BOLLARD, REF: SD1.4
7	GREASE TRAP, REF: PLUMBING PLANS
8	6" SANITARY SEWER LINE
9	2" UNDERGROUND GAS LINE
10	1-1/2" UNDERGROUND WATER LINE W/1" METER
11	UNDERGROUND ELECTRIC LINE
12	2" CONDUIT FOR UNDERGROUND TELEPHONE LINE
13	4" PVC PIPE SLEEVE UNDER DRIVE FOR IRRIGATION SYSTEM
14	ORDER BOARD AND DETECTOR LOOP, REF: ARCH. PLANS
15	MENU / CANOPY POST (TYPICAL), REF: ARCH PLANS
16	CONCRETE DRIVE, BUILD IN ACCORDANCE WITH CITY AND OR STATE SPECIFICATIONS
17	CONCRETE PAVING
18	8" THICK, CONCRETE PAVING IN THIS AREA
19	- NOT USED -
20	- NOT USED -
21	- NOT USED -
22	POLE MOUNTED FLOOD LIGHTS, REF: SD1.15 AND FIXTURE SCHED. ON SHEET E2
23	ASPHALT PAVING REF: DETAILS ON CIVIL SHEETS.
24	CONC. CURB & GUTTER, REF: DETAILS ON CIVIL SHEETS
25	CONC. WALKS AND PATIO REF: CIVIL DRAWINGS & SD3.
26	LOOSE TABLES & CHAIRS, REF: ARCH PLANS
27	FLOWER POTS PROVIDED BY SONIC
28	- NOT USED -
29	- NOT USED -
30	TRASH CANS WITH 2'X2' PADS

SIGN SCHEDULE

ITEM	QTY.	REFERENCE	SIGN TYPE
A	1	ARCH.	PYLON SIGN
B	2	ARCH.	ENTER SIGN
C	2	ARCH.	EXIT SIGN
D	1	ARCH.	SIGN ON BLDG.
E	2	SD 1.03	HANDICAPPED PARKING SIGN

DP-295
LANDSCAPE PLAN
APPROVED 4/24/12 BY NAG
MAPD appl 1 of 2

LEGAL DESCRIPTION

North 111.51 feet of Lot 2, Block 1, Stonebridge Commercial Addition, an Addition to Wichita, Sedgwick County, Kansas.

BENCHMARK

Drainage Manhole Rim located near the Northeast corner of North Portion of Lot 2, Stonebridge Commercial Addition. Elevation = 1353.96'

FLOOD STATEMENT

THE SUBJECT PROPERTY IS LOCATED IN AN AREA LABELED ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500–YEAR FLOODPLAIN) AS DETERMINED BY FEMA FLOOD INSURANCE RATE MAP NUMBER 20173C0330E, SEDGWICK COUNTY, KANSAS, EFFECTIVE DATE FEBRUARY 2, 2007

811 Know what's below. Call before you dig.

RICHARD W. ROGERS LICENSED 299 LANDSCAPE ARCHITECT STATE OF KANSAS 4/24/12

NO	DATE	REVISIONS
	4-24-12	PERMIT SUBMITTAL

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472
FAX (479) 273-0844
JOB NO.: 27024
DATE: 4/24/12
DWG NAME: 27024Proj
REV-0

SONIC CORPORATION
300 JOHNNY BENCH DRIVE
OKLAHOMA CITY, OK 73104
OFFICES: 405-225-5000

COPYRIGHT 1998–2008 AMERICA'S DRIVE-IN CORP.
THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN BY THE DESIGNATED SONIC DRIVE-IN PROJECT AT THE SPECIFIED LOCATION.

SONIC DRIVE-IN
SONIC TYPE: 1282-60
MAIZE RD AND 37TH ST.
WICHITA, KANSAS
LANDSCAPE PLAN

SHEET
C8.0
DWG: 27024PROJ.DWG
DATE: 4/24/12

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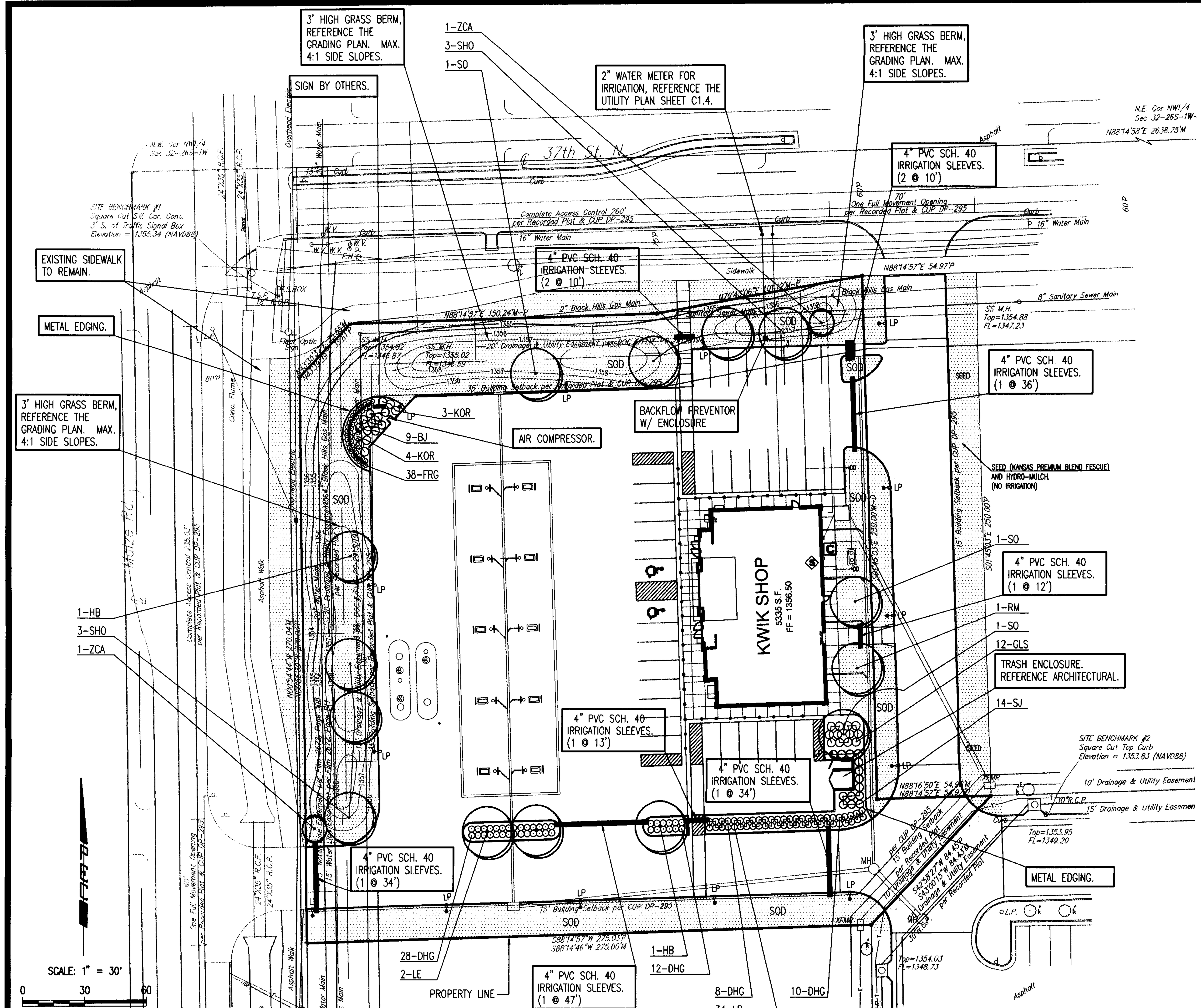
JOB # 27024 DRAWING: 27024proj.dwg LAST SAVED BY: NAB



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8. CONTRACTOR TO PROVIDE WARRANTY ON PLANT MATERIAL FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION PER THE SPECIFICATIONS. (INCLUDING REPLACEMENT PLANTS AND LABOR AT NO ADDITIONAL CHARGE TO THE OWNER.)

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1. HEAD TO HEAD COVERAGE IS REQUIRED FOR SPRAYS IN TURF AREAS, AND 2 EMITTERS PER SHRUB AND 1 PER PERENNIAL FOR DRIP IRRIGATION.
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3. THE CONTRACTOR SHALL PAY ALL PERMIT FEES FOR THE IRRIGATION SYSTEM INSTALLATION AND ANY WATER METER TAP FEES FOR THE IRRIGATION METER/SERVICE. ALL COMPONENTS AFTER THE WATER METER SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR UNLESS SPECIFIED OTHERWISE.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN JOB SITE AND CLEAN UP TRASH DAILY.
5. THE CONTRACTOR SHALL SUBMIT AN IRRIGATION PLAN (SCALABLE DRAWING) FOR REVIEW INCLUDING THE FOLLOWING INFORMATION: DESIGN GPM AND PRESSURE FOR THE SYSTEM, ZONE LOCATIONS WITH GPM AND PRESSURE DESIGNATIONS, MAIN LINE WITH WIRING AND LATERAL PIPE (LAYOUT AND SIZES), VALVES AND VALVE BOX (LOCATIONS, SIZES AND SPECIFICATIONS), SPRAY, ROTOR, AND DRIP (LAYOUT WITH PRODUCT SPECIFICATION SHEETS) USE DRIP IRRIGATION ON SHRUBS AND SPRAYS FOR TURF, CONTROLLER (SPECIFICATIONS, RAINBIRD ESP-LX MODULAR CONTROLLER OR EQUAL) CONTROLLER SHALL BE EXPANDABLE OR HAVE SPARE ZONES), BACKFLOW PREVENTOR AND ENCLOSURE (SPECIFICATIONS)
6. OPERATION AND MAINTENANCE DATA: FOR SPRINKLERS, CONTROLLERS, AND AUTOMATIC CONTROL VALVES INCLUDE IN OPERATION AND MAINTENANCE MANUALS.
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    - 10.1.5. FITTINGS = ALL THREADED CONNECTIONS SHALL BE SCH 80 TOE NIPPLES.
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    - 11.2. SPRAYS = RAINBIRD 1804-PRS TURF SPRAYS 4" POP-UP WITH FIXED ARCH MPR NOZZLES (OR EQUAL BY HUNTER OR TORO).
    - 11.3. ALL SPRINKLER HEADS SHALL BE COMMERCIAL GRADE WITH A FIVE YEAR WARRANTY. LOCATE HEADS 2" AWAY FROM PAVEMENT AND SWING PIPE MAY NOT EXCEED 3' LENGTH PER HEAD. SPRINKLERS MAY NOT SPRAY ACROSS PAVEMENT.
12. CONTROLLER
    - 12.1. RAINBIRD EXP-LX MODULAR CONTROLLER (OR APPROVED EQUAL BY HUNTER OR TORO).
    - 12.2. RAIN SENSOR = RAINBIRD RSD-BEX (OR APPROVED EQUAL BY HUNTER OR TORO) TO SHUT OFF WATER FLOW DURING RAIN.
13. CONTROL VALVES AND VALVE BOXES
    - 13.1. CONTROL VALVES SHALL BE RAINBIRD PGA ELECTRIC PLASTIC GLOBE VALVES OR APPROVED EQUAL.
    - 13.2. VALVE BOXES: RAINBIRD 10" ROUND VALVE BOX AND LID WITH NON-POTABLE WATER MARKING (ONE VALVE ONLY) OR APPROVED EQUAL. INSTALL 6" GRAVEL BASE IN BOX AND SET BOX TOPS FLUSH WITH ADJACENT GRADE. LEAVE A 4' WIRE LOOP AT EACH VALVE BOX.
    - 13.3. BLOW OUT: INSTALL IN "VALVE BOX".
14. ELECTRICAL SERVICE: PROVIDED FROM THE BUILDING.
15. PIPES, TUBES, AND FITTINGS
    - 15.1. MAIN LINE INSTALLATION = 18" MINIMUM DEPTH. SNAKE MAINLINE AND WIRE SIDE TO SIDE IN TRENCH FOR EXPANSION AND CONTRACTION. WIRE MUST BE UNDER THE MAIN WITH LOOPS IN EVERY CHANGE IN DIRECTION OF MAINLINE AND AT VALVE BOXES. THERE SHALL BE A 4' LOOP OF WIRE LEFT AT ANY CHANGE IN DIRECTION ON THE MAIN LINE. MAIN LINE AND CONTROL WIRE MAY NOT BE INSTALLED IN PUBLIC RIGHT OF WAY.
    - 15.2. LATERAL LINE INSTALLATION = 12" MINIMUM DEPTH.
    - 15.3. ALLOW JOINTS TO CURE 24 HOURS BEFORE TESTING.
    - 15.4. THE IRRIGATION CONTRACTOR SHALL INSTALL SLEEVES UNDER PAVEMENT AS INDICATED ON THE DRAWINGS.
    - 15.5. CLEAN AND DRY ALL JOINTS. SOLVENT WELDED JOINTS SHALL COMPLY WITH ASTM 402 FOR SAFE HANDLING OF CLEANERS AND SOLVENTS. PRESSURE JOINTS SHALL COMPLY WITH ASTM 1785.
    - 15.6. BACKFILL TRENCHES WITH TOPSOIL FREE OF ROCKS AND DEBRIS. WATER SETTLE TRENCHES TO NEAR ORIGINAL COMPACTION - THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING SETTLING PROBLEMS WITHIN THE ONE YEAR WARRANTY PERIOD.
    - 15.7. SEE PIPE FLOW CHART FOR MAXIMUM ALLOWABLE FLOW THROUGH PIPES. THE FLOW SHALL NOT EXCEED THESE MAXIMUM FLOW RATES.

PVC PIPE SIZE (INCHES)	MAXIMUM FLOW (GPM)
1	18
1 1/4	28
1 1/2	36
2	56
2 1/2	80

IRRIGATION LEGEND

Symbol	Description
(heavy line)	IRRIGATION SLEEVES (SCHEDULE 40 PVC REQUIRED UNDER VEHICULAR PAVING) CONTRACTOR TO VERIFY SIZE
C	CONTROLLER (MOUNT CONTROLLER ON BUILDING, REFERENCE ELECTRICAL PLANS. GET OWNER APPROVAL FOR LOCATION PRIOR TO INSTALLATION.) (RAINBIRD EXP-LX MODULAR CONTROLLER OR EQUAL)
S	RAIN SENSOR (MOUNT ON BUILDING. GET OWNER APPROVAL FOR LOCATION PRIOR TO INSTALLATION.)
■	BACKFLOW PREVENTOR WITH DARK GREEN FIBERGLASS INSULATED ENCLOSURE. EZ BOX INSULATED DROP OVER ENCLOSURE BY HOT BOX WITH LOCK AND KEY. PLACE ON LEVEL GROUND WITH SURFACE DRAINAGE AWAY FROM ENCLOSURE.

LEGAL DESCRIPTION

LOT 5, EXCEPT THE EAST 54.97 FEET OF THE NORTH 250 FEET THEREOF, BLOCK 1, STONEBRIDGE COMMERCIAL ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

LANDSCAPE ORDINANCE REQUIREMENTS

LANDSCAPE STREET YARD

REQUIRED: 570' (COMB. FRONTAGE) - 200' (GREATEST PERP. DISTANCE) = 370'
370' X 15 = 5,550 SF
PROVIDED: 5,550+ SF
STREET YARD TREES REQUIRED = 12
STREET YARD TREES PROVIDED = 13

PARKING LOT SCREENING

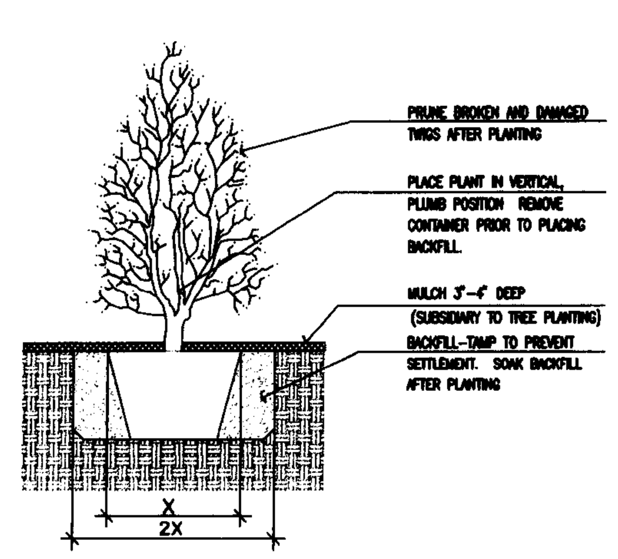
PROVIDED BY 3' TALL GRASS BERM.

PLANT MATERIALS LIST

KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
HB	2	Hackberry	Celtis occidentalis	2" Cal.	B & B
LE	2	Lacebark Elm	Ulmus parvifolia	2" Cal.	B & B
RM	1	Red Maple	Acer rubrum 'Autumn Blaze'	2" Cal.	B & B
SHO	6	Shumard Oak	Quercus shumardii	2" Cal.	B & B
SO	3	Sawtooth Oak	Quercus acutissima	2" Cal.	B & B
ZCA	2	Zumi Crabapple	Malus x zumi var. Calocarpa	1.5" Cal.	B & B
SHRUBS / PERENNIALS					
BJ	9	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	5 Gal.	Cont. ; 4' O.C.
DHG	58	Dwarf Hameln Grass	Pennisetum Alopecuroides 'Hameln'	2 Gal.	Cont. ; 2' O.C.
FRG	38	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foester'	2 Gal.	Cont. ; 2' O.C.
GLS	12	Gro-low Sumac	Rhus aromatica 'Gro-low'	2 Gal.	Cont. ; 4' O.C.
KOR	7	Knock out Rose 'Radrazz'	Rosa x 'Radrazz'	5 Gal.	Cont. ; 4' O.C.
LB	34	Little Bluestem	Schizachyrium scoparium	2 Gal.	Cont. ; 2' O.C.
SJ	14	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 Gal.	Cont. ; 4' O.C.

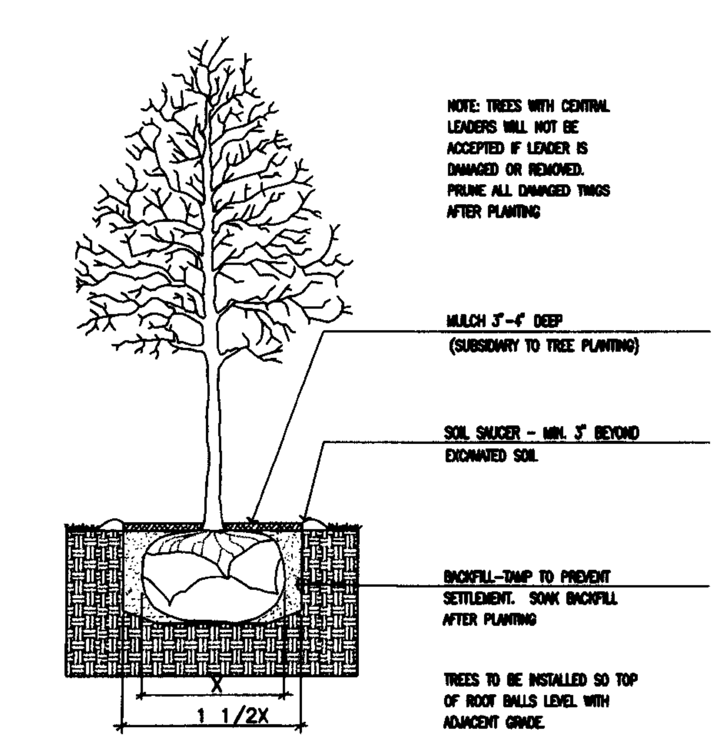
LANDSCAPE MATERIALS

- SOD AREA = 27,200 SF (KANSAS PREMIUM BLEND FESCUE SOD) (TO BE IRRIGATED WITH SPRAYS)
- SEED AREA = 3,700 SF (KANSAS PREMIUM BLEND FESCUE SEED) (NO IRRIGATION)
- PLANTING BEDS ARE TO BE IRRIGATED WITH DRIP IRRIGATION, DRIP TUBING WITH 12" EMITTER SPACING BY RAINBIRD OR EQUAL.
- METAL EDGING = 125 L.F. (BLACK OR GREEN METAL EDGING - INSTALL PER MANUFACTURES INSTRUCTIONS)
- GRADE A CEDAR MULCH = 23 CU.YDS. (3-4" DEPTH FOR ALL TREE RINGS AND PLANTING BEDS)



PRUNE BROKEN AND DAMAGED TWIGS AFTER PLANTING
PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER PRIOR TO PLACING BACKFILL.
MULCH 3"-4" DEEP (SUBSIDIARY TO TREE PLANTING)
BACKFILL-TAMP TO PREVENT SETTLEMENT. SOAK BACKFILL AFTER PLANTING

SHRUB PLANTING DETAIL
NO SCALE



NOTE: TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING
MULCH 3"-4" DEEP (SUBSIDIARY TO TREE PLANTING)
SOIL SAUCER - MIN. 3" BEYOND EXCAVATED SOIL
BACKFILL-TAMP TO PREVENT SETTLEMENT. SOAK BACKFILL AFTER PLANTING
TREES TO BE INSTALLED SO TOP OF ROOT BALLS LEVEL WITH ADJACENT GRADE.

TREE PLANTING DETAIL
NO SCALE

SURVEY PERFORMED BY SAVOY COMPANY, P.A.
SURVEY DATE: JUNE 27, 2012

PEC
PROFESSIONAL ENGINEERING CONSULTANTS, P.A.
303 SOUTH TOPEKA WICHITA, KS 67202
316-262-2691 www.pec1.com

LANDSCAPE PLAN
APPROVED 2/19/13 BY NKS

GLMV Architecture
1525 E. Douglas, Wichita, KS 67211
Tel: (316) 265-9367
www.glmv.com

CUP DP-295 (MAPD copy 1 of 2

3750 N. MAIZE

KwikShop
CONVENIENCE STORES

ISAAC KRUMME LICENSED 725 01/03/2013 KANSAS LANDSCAPE ARCHITECT

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GLMV Architecture, Inc.

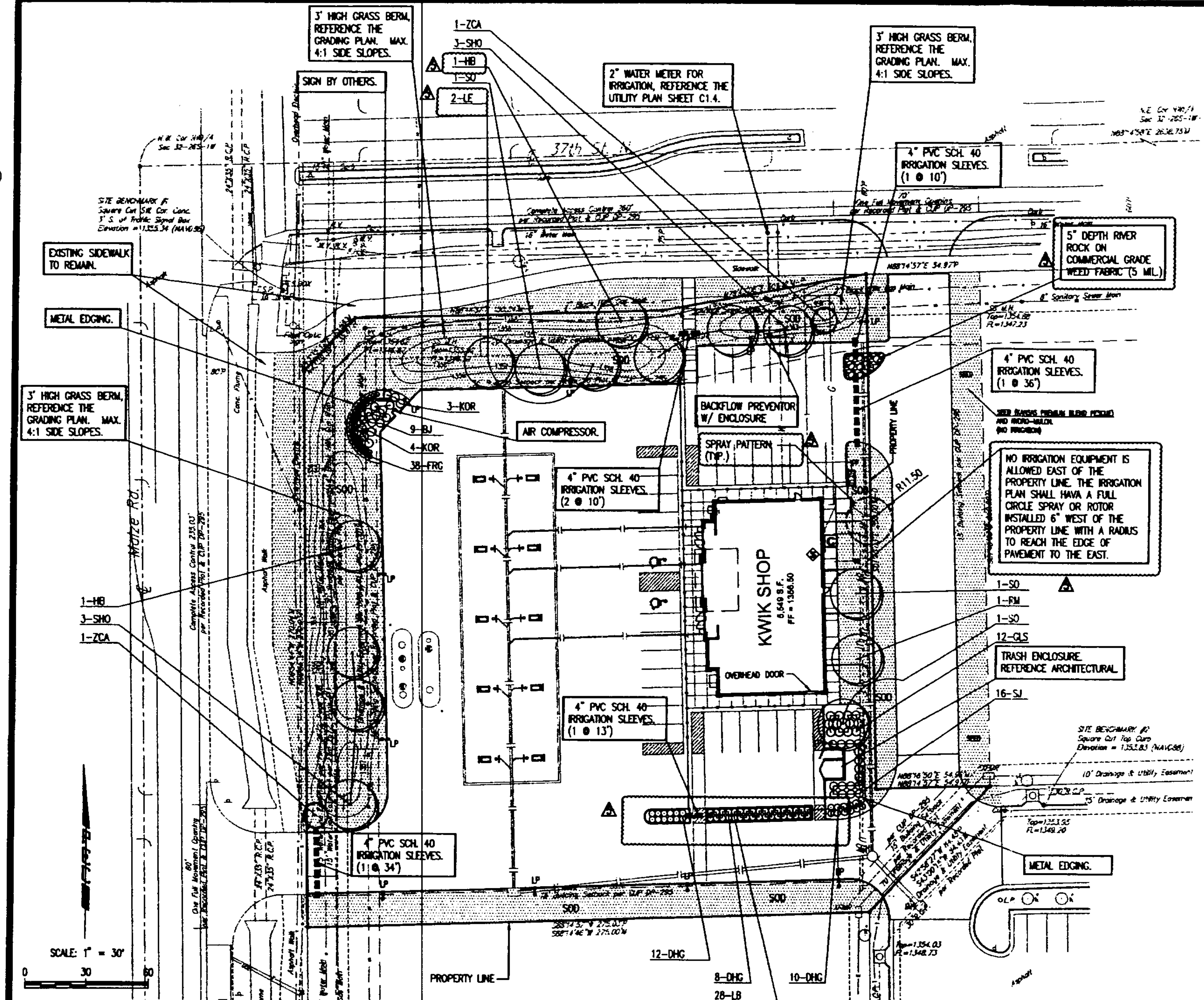
KWIK SHOP #790
CONVENIENCE STORE
37TH & MAIZE
MAIZE, KANSAS

Mark	Date:	Description

LANDSCAPE PLAN

Job No.	12329
Date	1/03/13
Drawn	CAE
Checked	IDK

C1.9
Dwg. 9 of 23



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    - 10.1.2. PVC LATERAL LINE = SDR 21 200#
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    - 11.1. ROTORS = RAINBIRD 5004-PC TURF ROTORS 4" POP-UP NOZZLED FOR MATCHED PRECIPITATION (OR APPROVED EQUAL BY HUNTER OR TORO). USE STANDARD ARCH NOZZLES AND LOW ANGLE NOZZLES WHERE SPECIFIED ON PLAN.
    - 11.2. SPRAYS = RAINBIRD 1804-PRS TURF SPRAYS 4" POP-UP WITH FIXED ARCH MPR NOZZLES (OR EQUAL BY HUNTER OR TORO).
    - 11.3. ALL SPRINKLER HEADS SHALL BE COMMERCIAL GRADE WITH A FIVE YEAR WARRANTY. LOCATE HEADS 2" AWAY FROM PAVEMENT AND SWING PIPE MAY NOT EXCEED 3' LENGTH PER HEAD. SPRINKLERS MAY NOT SPRAY ACROSS PAVEMENT.
12. CONTROLLER
    - 12.1. RAINBIRD ESP-LX MODULAR CONTROLLER (OR APPROVED EQUAL BY HUNTER OR TORO).
    - 12.2. RAIN SENSOR = RAINBIRD RSD-BEX (OR APPROVED EQUAL BY HUNTER OR TORO) TO SHUT OFF WATER FLOW DURING RAIN.
13. CONTROL VALVES AND VALVE BOXES
    - 13.1. CONTROL VALVES SHALL BE RAINBIRD PGA ELECTRIC PLASTIC GLOBE VALVES OR APPROVED EQUAL.
    - 13.2. VALVE BOXES: RAINBIRD 10" ROUND VALVE BOX AND LID WITH NON-POTABLE WATER MARKING (ONE VALVE ONLY) OR APPROVED EQUAL. INSTALL 6" GRAVEL BASE IN BOX AND SET BOX TOPS FLUSH WITH ADJACENT GRADE. LEAVE A 4" WIRE LOOP AT EACH VALVE BOX.
    - 13.3. BLOW OUT: INSTALL IN "VALVE BOX".
14. ELECTRICAL SERVICE: PROVIDED FROM THE BUILDING.
15. PIPES, TUBES, AND FITTINGS
    - 15.1. MAIN LINE INSTALLATION = 18" MINIMUM DEPTH. SNAKE MAINLINE AND WIRE SIDE TO SIDE IN TRENCH FOR EXPANSION AND CONTRACTION. WIRE MUST BE UNDER THE MAIN WITH LOOPS IN EVERY CHANGE IN DIRECTION OF MAINLINE AND AT VALVE BOXES. THERE SHALL BE A 4' LOOP OF WIRE LEFT AT ANY CHANGE IN DIRECTION ON THE MAIN LINE. MAIN LINE AND CONTROL WIRE MAY NOT BE INSTALLED IN PUBLIC RIGHT OF WAY.
    - 15.2. LATERAL LINE INSTALLATION = 12" MINIMUM DEPTH.
    - 15.3. ALLOW JOINTS TO CURE 24 HOURS BEFORE TESTING.
    - 15.4. THE IRRIGATION CONTRACTOR SHALL INSTALL SLEEVES UNDER PAVEMENT AS INDICATED ON THE DRAWINGS.
    - 15.5. CLEAN AND DRY ALL JOINTS. SOLVENT WELDED JOINTS SHALL COMPLY WITH ASTM 402 FOR SAFE HANDLING OF CLEANERS AND SOLVENTS. PRESSURE JOINTS SHALL COMPLY WITH ASTM 1785.
    - 15.6. BACKFILL TRENCHES WITH TOPSOIL FREE OF ROCKS AND DEBRIS. WATER SETTLE TRENCHES TO NEAR ORIGINAL COMPACTION – THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING SETTLING PROBLEMS WITHIN THE ONE YEAR WARRANTY PERIOD.
    - 15.7. SEE PIPE FLOW CHART FOR MAXIMUM ALLOWABLE FLOW THROUGH PIPES. THE FLOW SHALL NOT EXCEED THESE MAXIMUM FLOW RATES.

PVC PIPE SIZE (INCHES)	MAXIMUM FLOW (GPM)
1	18
1 1/4	28
1 1/2	36
2	56
2 1/2	80

IRRIGATION LEGEND

▬ ▬ ▬	IRRIGATION SLEEVES (SCHEDULE 40 PVC REQUIRED UNDER VEHICULAR PAVING) CONTRACTOR TO VERIFY SIZE
C	CONTROLLER (MOUNT CONTROLLER ON BUILDING, REFERENCE ELECTRICAL PLANS. GET OWNER APPROVAL FOR LOCATION PRIOR TO INSTALLATION.) (RAINBIRD ESP-LX MODULAR CONTROLLER OR EQUAL)
S	RAIN SENSOR (MOUNT ON BUILDING. GET OWNER APPROVAL FOR LOCATION PRIOR TO INSTALLATION.)
■	BACKFLOW PREVENTOR WITH DARK GREEN FIBERGLASS INSULATED ENCLOSURE. EZ BOX INSULATED DROP OVER ENCLOSURE BY HOT BOX WITH LOCK AND KEY. PLACE ON LEVEL GROUND WITH SURFACE DRAINAGE AWAY FROM ENCLOSURE.

LEGAL DESCRIPTION

LOT 5, EXCEPT THE EAST 54.97 FEET OF THE NORTH 250 FEET THEREOF, BLOCK 1, STONEBRIDGE COMMERCIAL ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

LANDSCAPE ORDINANCE REQUIREMENTS

LANDSCAPE STREET YARD

REQUIRED: 570' (COMB. FRONTAGE) – 200' (GREATEST PERP. DISTANCE) = 370'
370' X 15 = 5,550 SF
PROVIDED: 5,550+ SF
STREET YARD TREES REQUIRED = 12
STREET YARD TREES PROVIDED = 13

PARKING LOT SCREENING

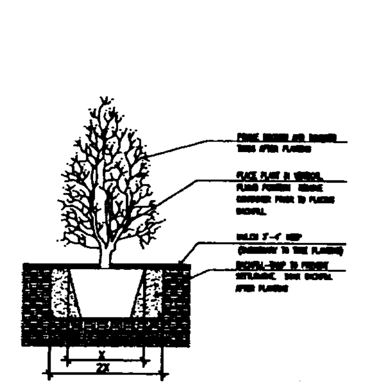
PROVIDED BY 3' TALL GRASS BERM.

PLANT MATERIALS LIST

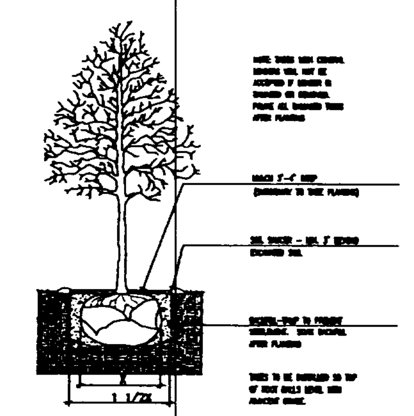
KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES					
HB	2	Hackberry	Celtis occidentalis	2" Cal.	B & B
LE	2	Lacebark Elm	Ulmus parvifolia	2" Cal.	B & B
RM	1	Red Maple	Acer rubrum 'Autumn Blaze'	2" Cal.	B & B
SHO	6	Shumard Oak	Quercus shumardii	2" Cal.	B & B
SO	3	Sawtooth Oak	Quercus acutissima	2" Cal.	B & B
ZCA	2	Zumi Crabapple	Malus x zumi var. Calocarpa	1.5" Cal.	B & B
SHRUBS / PERENNIALS					
BJ	9	Broadmoor Juniper	Juniperus sabina 'Broadmoor'	5 Gal.	Cont. ; 4' O.C.
DHG	30	Dwarf Hameln Grass	Pennisetum Alopecuroides 'Hameln'	2 Gal.	Cont. ; 2' O.C.
~~FRG~~	~~38~~	~~Feather Reed Grass~~	~~Calamagrostis x acutiflora 'Karl Foerster'~~	~~2 Gal.~~	~~Cont. ; 2' O.C.~~
GLS	12	Gro-low Sumac	Rhus aromatica 'Gro-low'	2 Gal.	Cont. ; 4' O.C.
KOR	7	Knock out Rose 'Radrazz'	Rosa x 'Radrazz'	5 Gal.	Cont. ; 4' O.C.
LB	28	Little Bluestem	Schizachyrium scoparium	2 Gal.	Cont. ; 2' O.C.
SJ	16	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 Gal.	Cont. ; 4' O.C.

LANDSCAPE MATERIALS

▒	SOD AREA = 27,200 SF (KANSAS PREMIUM BLEND FESCUE SOD) (TO BE IRRIGATED WITH SPRAYS)
	SEED AREA = 3,700 SF (KANSAS PREMIUM BLEND FESCUE SEED) (NO IRRIGATION)
	PLANTING BEDS ARE TO BE IRRIGATED WITH DRIP IRRIGATION, DRIP TUBING WITH 12" EMITTER SPACING BY RAINBIRD OR EQUAL.
——	METAL EDGING = 125 L.F. (BLACK OR GREEN METAL EDGING – INSTALL PER MANUFACTURES INSTRUCTIONS)
	GRADE A CEDAR MULCH = 23 CU.YDS. (3-4" DEPTH FOR ALL TREE RINGS AND PLANTING BEDS)



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL

SURVEY PERFORMED BY SAVOY COMPANY, P.A.
SURVEY DATE: JUNE 27, 2012

PEC
PROFESSIONAL ENGINEERING CONSULTANTS, P.A.
303 SOUTH TOPEKA WICHITA, KS 67202
316-262-2691 www.pec1.com

GLMV Architecture
1525 E. Douglas, Wichita, KS 67211
Tel: (316) 265-9367
www.glmv.com

KwikShop CONVENIENCE STORES

ISAAC KRUMME LICENSED 725 09/15/2015 KANSAS LANDSCAPE ARCHITECT

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GLMV Architecture, Inc.

KWIK SHOP #790
CONVENIENCE STORE
37TH & MAIZE
WICHITA, KANSAS

3750 N-MAIZE

LANDSCAPE PLAN APPROVED 3/16/13 BY NWG

CUP DP-295 Superceded 2/19/13 Plan

Mark	Date	Description
1	3-11-13	CITY COMMENTS
2	3-13-13	ASI #1

LANDSCAPE PLAN

Job No.	12329	C1.9
Date	1/03/13	
Drawn	CAE	
Checked	IDK	Dwg. 9 of 24

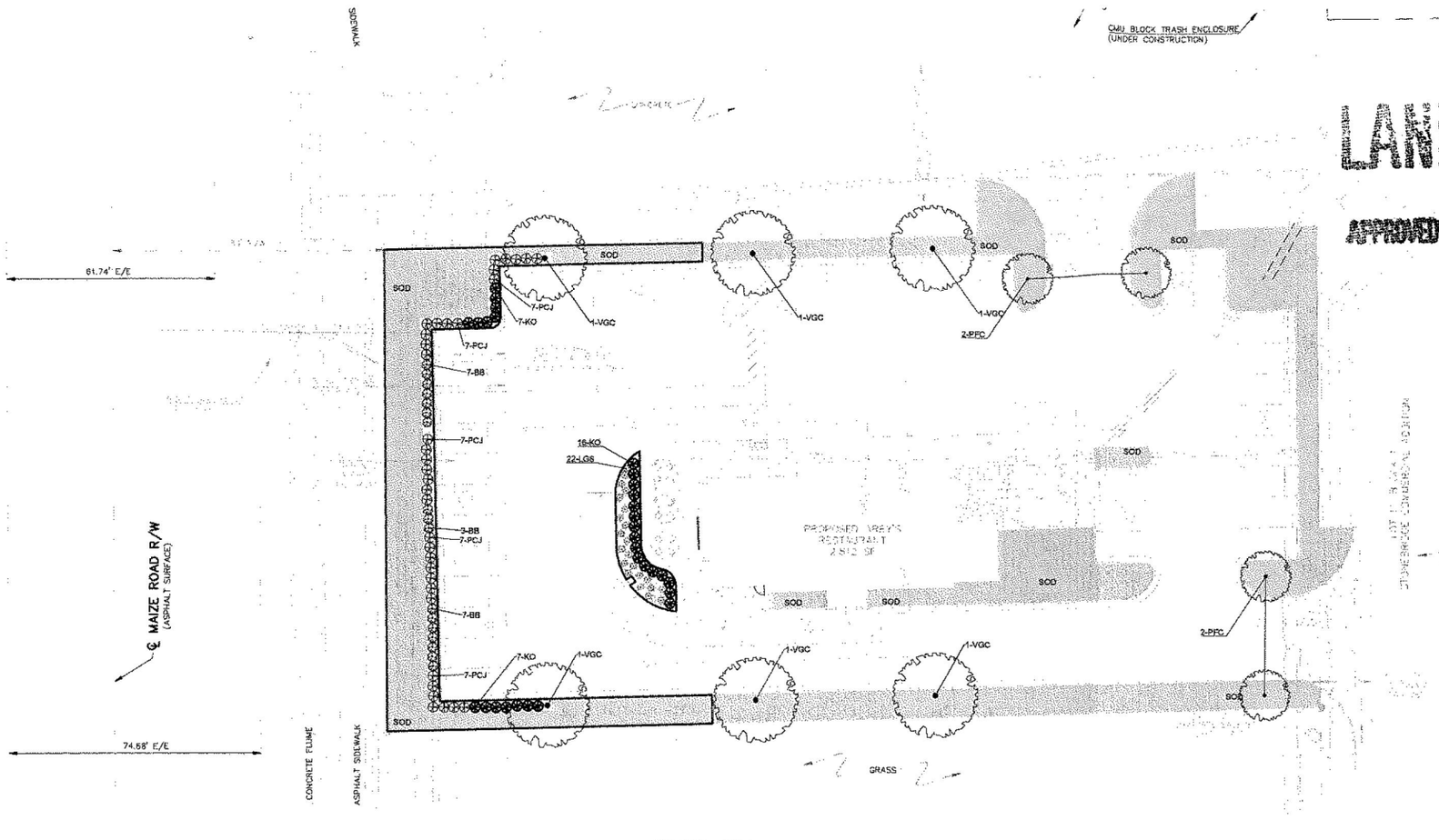
MAPD Copy 1 of 2

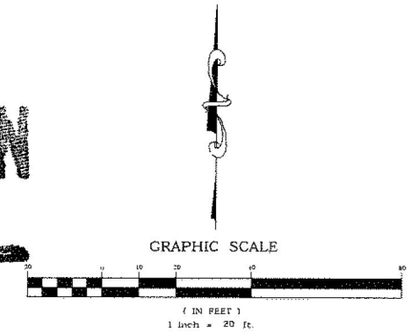
Saved 03-15-2013 3:48:11 PM by CAE
Plot Scale 1:1 03-15-2013 3:48:22 PM by CHRIS A. EPP
Q:\2012\12329\Site Plans\009_12329-C1.9-LANDSCAPE PLAN

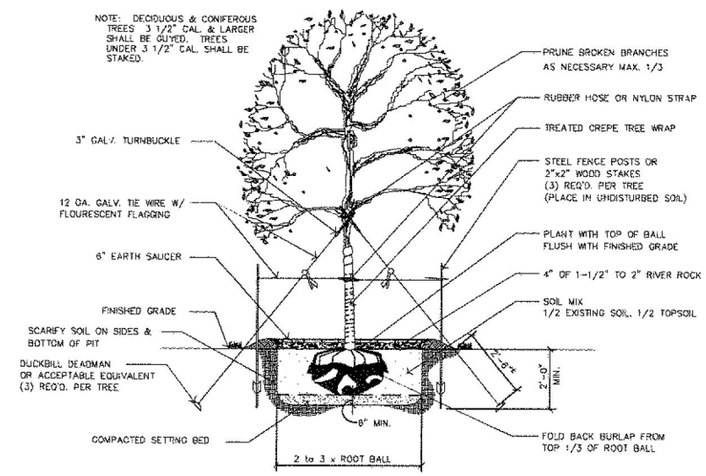
LANDSCAPE PLAN

APPROVED 8/7/14 BY NWS

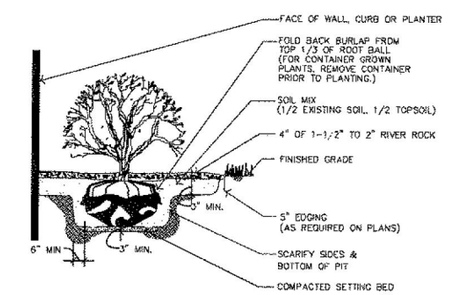
OVP DP-295







B4 TREE PLANTING DETAIL
1/4" = 1'-0"
TREE-R



B6 SHRUB PLANTING DETAIL
1/4" = 1'-0"
SHRUB1

PROPOSED LEGEND:

SODDED AREAS

STEEL EDGING

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
SHRUBS/GRASSES/GROUNDCOVER					
BB	74	BERBERIS x ALB. COMPACTA	COMPACT BURLING BUSH	5 GAL	CONT.
LGS	36	JUNIPERUS CHINENSIS PFITZERIANA PARPAGA	PFITZER COMPACT JUNIPER	5 GAL	CONT.
KO	22	RHUS AROMATICA GRO-LOW	GROW LOW SUMAC	5 GAL	CONT.
VGC	20	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	2 GAL	CONT.
TREES					
PCJ	6	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO OPEN ZELKOVA	2" CAL	B & B
PFC	4	'MALUS 'PRAIRIFIRE'	PRAIRIFIRE CRAB	2"	B & B

CITY REQUIREMENTS:

LANDSCAPE REQUIRED:

1. STREET YARD:
   141 LF X 10 SF (275' AVERAGE LOT DEPTH) = 1,410 SF
   1,410/500 = 3 TREES
2. PARKING:
   41 STALLS / 20 = 3 TREES
3. PARKING LOT SHALL BE SCREENED FROM STREET.
4. NO BUFFERS REQUIRED.

LANDSCAPE PROVIDED:

1. STREET YARD: 3,987 SF
   3 TREES ON SIDE YARD
2. PARKING: 4 ORNAMENTAL TREES + 3 SHADE TREES AT SIDE YARD
3. PARKING LOT IS SCREENED STREET = 68 SHRUBS

IRRIGATION PERFORMANCE SPECIFICATION:

THE FOLLOWING CRITERIA SHALL BE CONSIDERED MINIMUM STANDARDS FOR DESIGN AND INSTALLATION OF LANDSCAPE IRRIGATION SYSTEM:

1. IRRIGATION SYSTEM SHALL CONFORM TO ALL INDUSTRY STANDARDS AND ALL FEDERAL, STATE AND LOCAL LAWS GOVERNING DESIGN AND INSTALLATION.

2. WATER LINE TYPE, SIZE LOCATION, PRESSURE AND FLOW SHALL BE FIELD VERIFIED PRIOR TO SYSTEM DESIGN AND INSTALLATION.

3. ALL MATERIALS SHALL BE FROM NEW STOCK FREE OF DEFECTS AND CARRY A MINIMUM ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION.

4. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN SUCH A WAY THAT ALL SYSTEM COMPONENTS OPERATE WITHIN THE GUIDELINES ESTABLISHED BY THE MANUFACTURER.

5. LAWN AREA AND SHRUB BEDS SHALL BE ON SEPARATE CIRCUITS.

6. WATER TAP, METER SET METER VAULT AND ALL OTHER OPERATIONS NECESSARY TO PROVIDE WATER FOR IRRIGATION SHALL CONFORM TO LOCAL WATER GOVERNING AUTHORITY GUIDELINES AND STANDARDS.

7. BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

8. IRRIGATION CONTROLLER STATIONS SHALL BE LABELED TO CORRESPOND WITH THE CIRCUIT IT CONTROLS.

9. AN "AS-BUILT" SCALED DRAWING SHALL BE PROVIDED TO THE OWNER BY THE CONTRACTOR AND SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
   - AS CONSTRUCTED LOCATION OF ALL COMPONENTS
   - COMPONENT NAME, MANUFACTURER, MODEL INFORMATION, SIZE AND QUANTITY
   - PIPE SIZE AND QUANTITY
   - INDICATION OF SPRINKLER HEAD SPRAY PATTERN
   - CIRCUIT IDENTIFICATION SYSTEM
   - DETAILED METHOD OF WINTERIZING SYSTEM

10. CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN OPERATION INFORMATION FOR ALL SYSTEM COMPONENTS.

11. CONTRACTOR SHALL PROVIDE TO THE OWNER ALL KEYS, ACCESS TOOLS, WRENCHES AND ADJUSTING TOOLS NECESSARY TO GAIN ACCESS, ADJUST AND CONTROL THE SYSTEM.

12. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

13. AN AUTOMATIC RAIN SHUT-OFF OR MOISTURE DEVICE SHALL BE INSTALLED.

LANDSCAPE NOTES:

1. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES AND STRUCTURES PRIOR TO PLANT INSTALLATION.

2. ALL SHRUB BEDS AND TREE BASINS SHALL RECEIVE A MINIMUM OF 4" OF 1-1/2" TO 2" RIVER ROCK WITH WEED BARRIER FABRIC (DEWITT PRO-5 OR EQUIVALENT). CREATE A SMOOTH, UNIFORM SURFACE.

3. PLACE PLANTS ACCORDING TO PLAN FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT OR ENGINEER.

4. PRIOR TO SEEDING/SODDING THE CONTRACTOR SHALL FINE GRADE BY RAKING, ROLLING AND/OR DRAGGING TO ENSURE DRAINAGE & CREATE A SMOOTH, UNIFORM SURFACE.

5. ALL AREAS NOT DESIGNATED AS PAVEMENT OR LANDSCAPED AREAS SHALL BE SEEDED/SODDED ACCORDING TO SPECIFICATIONS.

6. ALL LANDSCAPED AREAS AND TURF SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM IN ACCORDANCE WITH SPECIFICATIONS.

7. ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH 1/8" METAL EDGING MATERIAL INSTALLED WITH TOP EXPOSED 1/2" MIN. ABOVE RIVER ROCK. ALL PLANTING BEDS ADJACENT TO SIDEWALKS WILL REQUIRE METAL EDGING.

8. THE CONTRACTOR SHALL PROVIDE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH A MOISTURE-SENSING DEVICE OR A RAIN SHUT-OFF SWITCH TO ALL LANDSCAPED AREAS.

9. THE CONTRACTOR SHALL PROVIDE 3"-5" MULTI COLORED DECORATIVE RIVER ROCK INDIGENOUS TO THE AREA IN ALL PLANTING BEDS ADJACENT THE BUILDING AND ALL AROUND THE MENUBOARD, NO MULCH.

10. THE CONTRACTOR SHALL PROVIDE LANDSCAPING & IRRIGATION SYSTEM MAINTENANCE FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE STORE OPENING.

11. THE CONTRACTOR SHALL PROVIDE SOD AT ALL AREAS NOT INDICATED AS PLANTING BEDS.

12. THE CONTRACTOR SHALL PROVIDE SOD & IRRIGATION IN ALL RIGHT-OF-WAYS OR OTHERWISE ANY AREA ADJACENT TO THE LOT THAT IS NOT SODDED & IRRIGATED BY THE DEVELOPER OR CITY.

VSR Design
Landscape Architecture-Planning-Sports
P.O. Box 7608
Overland Park, KS 66207
ph: (913) 484-3211

REV	DATE	DESCRIPTION	DSN	DWN	CHK
B	08-12-13	FOR TEAM REVIEW & COORDINATION	VSR	VSR	VSR
A	07-30-13	FOR TEAM REVIEW & COORDINATION	VSR	VSR	VSR

VANCE S. RZEPKA LICENSED 408 KANSAS LANDSCAPE ARCHITECT

VANCE RZEPKA
LANDSCAPE ARCHITECT
KS # LA 408

KAW VALLEY ENGINEERING, INC.
CONSULTING ENGINEERS - LAND SURVEYORS
2319 NORTH JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040 | FAX (785) 762-7744
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JUNCTION CITY, KS | KANSAS CITY, MO | LENEXA, KS | SALINA, KS

ARBY'S
MAIZE ROAD
WICHITA, KANSAS 67205

LANDSCAPING_PLAN

PROJ. NO.	A13_6461
DESIGNER	VSR
DRAWN BY	VSR
CFN	ACAD-6461LP
REV	A A
SHEET	L100

THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.

PLANTING SPECIFICATIONS

1. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL, IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE, I.E. ADDITION OF LIME, GYPSUM, ETC.

2. REESTABLISH TURF IN ALL THE AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.

3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMAN'S "AMERICAN STANDARD OF NURSERY STOCK". OWNER RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH IN THEIR OPINION FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.

4. PLANTS DESIGNATED CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE ROOT-PRUNED THROUGH THE USE OF A VERTICAL SLICING METHOD PRIOR TO PLANTING.

5. WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY TIE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON TREE PLANTING DETAIL.

6. AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS.

7. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.

8. GUARANTEE TREES AND SHRUBS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN TWO DAYS OF REQUEST PENDING FAVORABLE SEASONAL PLANTING TIMES.

9. GUARANTEE WILL NOT BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER INVOLVING LAWN MOWER DAMAGE, OVER FERTILIZATION, ACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR OF SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.

10. REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATED DURING OR AS A RESULT OF PLANTING OPERATIONS EACH DAY.

11. AT THE COMPLETION OF PLANTING OPERATIONS, ALL PLANTS SHALL BE INSPECTED BY THE OWNER. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.

12. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND REMOVE ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER FINAL ACCEPTANCE.

13. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT APPROVAL.

14. ANY PLANTING BED ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE TO A SUFFICIENT DEPTH TO ALLOW TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.

15. FERTILIZER WITH MILORGANITE, DISTRIBUTED UNIFORMLY AT THE RATE OF 1000 POUNDS PER ACRE.

16. SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK.

17. LABEL AT LEAST 1 TREE, 1 SHRUB, AND 1 GROUND COVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

18. PLANT TREES, SHRUBS AND GROUND COVERS DURING NORMAL SEASON FOR SUCH WORK. DO NOT PLANT IN FROZEN GROUND.

19. MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE BY OWNER. MAINTENANCE CONSISTS OF SPRAYING PRUNING, WATERING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. REMOVE AND REPLACE PLANT MATERIAL FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION.

GENERAL PLANTING NOTES

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.

2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.

3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.

4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.

5. UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.

6. SOD TYPE SHALL BE LOCALLY AVAILABLE HARDY BLEND OF TALL FESCUE.

7. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.

8. RE-ESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.

9. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.

10. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.

11. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.

12. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.

13. STEEL EDGER BY "PROSTEEL, INC.". EDGER TO BE 10 GAUGE (1/8" X 4" HIGH) AND PAINTED GREEN. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1: BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.

14. USE SHREDDED CEDAR WOOD MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.

15. PLACE 4" OF MULCH IN ALL TREE SAUCERS. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.

16. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.

17. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.

18. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

GENERAL IRRIGATION NOTES

1. THE IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. THE SYSTEM IS TO COVER THE ENTIRE PLANTED AREA AS SHOWN ON PLAN.

2. PLANS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. SUBMITTALS SHALL INCLUDE IRRIGATION DESIGN DRAWINGS AND MANUFACTURER'S TECHNICAL DATA SUFFICIENT TO EXHIBIT THE CONTRACTOR'S INTENDED SYSTEM DESIGN. PLANS SHALL BE TO SCALE AND WELL DRAWN. QUANTITIES AND TYPES OF HEADS, VALVES AND CONTROLLER SHALL BE LISTED. SUBMIT PROJECT RECORD (AS BUILT) DRAWINGS PROVIDING A PERMANENT RECORD OF THIS WORK AT COMPLETION OF THE PROJECT.

3. THE IRRIGATION CONTRACTOR SHALL COORDINATE WORK WITH THE ELECTRICAL CONTRACTOR.

4. VERIFY EXISTING STATIC PRESSURE PRIOR TO DESIGNING THE SYSTEM. THE CITY WATER SUPPLY WILL BE THE SOURCE OF WATER FOR THE SYSTEM.

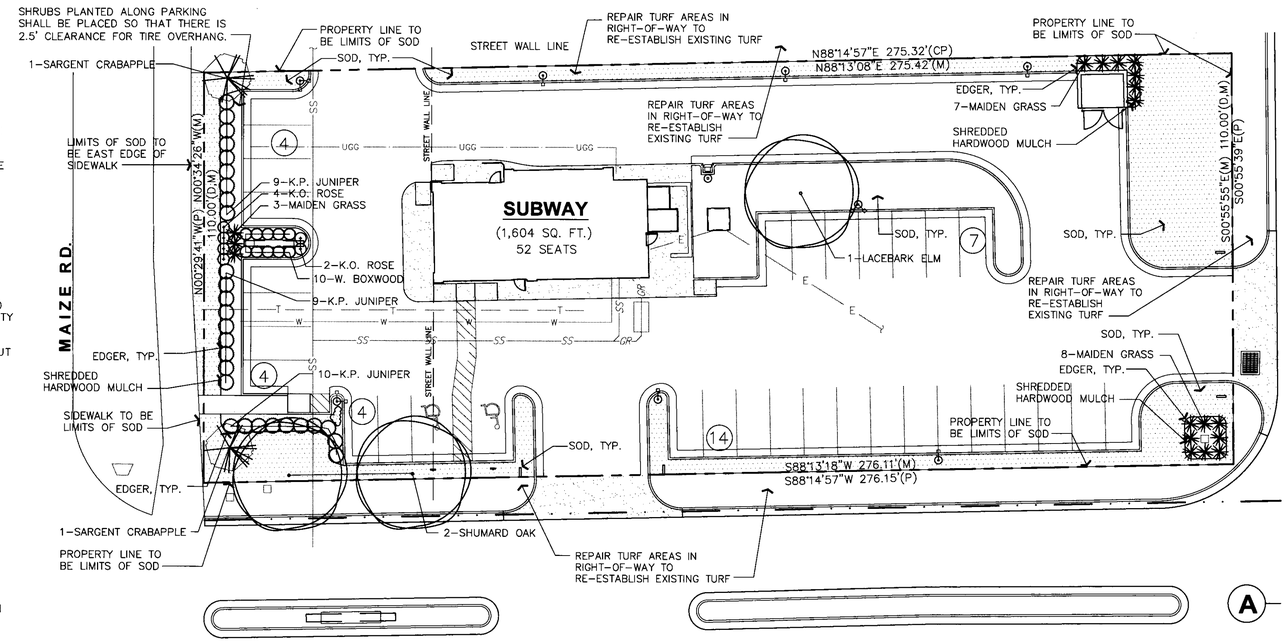
5. COORDINATE IRRIGATION SYSTEM INSTALLATION WITH LANDSCAPE WORK.

6. THE IRRIGATION SYSTEM IS TO BE DESIGNED WITH RAIN BIRD SPRINKLER MANUFACTURING CO. OR EQUAL PRODUCTS AND MATERIALS. OTHER MANUFACTURERS AS APPROVED BY ARCHITECT

7. COORDINATE LOCATION OF THE CONTROLLER WITH THE OWNER.

8. INSTALL BACKFLOW PREVENTER, SHUT OFF VALVE AND MANUAL DRAIN VALVE PER LOCAL PLUMBING CODES. PROVIDE PLASTIC TRUNCATED ENCLOSURE FOR THE BACKFLOW PREVENTER AS PROVIDED BY THE MANUFACTURER.

9. PROVISIONS SHALL BE MADE TO WINTERIZE THE PIPING SYSTEM.



SITE PLANTING PLAN

1" = 20'-0" 0 20' 40'

LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD REQUIREMENT:
REQUIRED: 110 LF X 15 (SQ. FT. FACTOR) = 1,650 SF STREET YARD
PROVIDED: 1,900 SF

REQUIRED: 1 SHADE, 2 ORNAMENTAL OR 10 SHRUBS PER 500 SF
1,650/500 = 3.3 TREES OR SAY 4 TREES REQ'D
PROVIDED: 2 SHADE TREES, 2 ORNAMENTAL TREES AND 10 SHRUBS = 4 TREES

PARKING LOT LANDSCAPE REQUIREMENT
REQUIRED: 34 PKG STALLS / 20 = 1.7 OR SAY 2 TREES REQ'D (UP TO ONE-THIRD OF REQ'D STREET YARD TREES CAN BE USED)
PROVIDED: 1 SHADE TREE PLUS 1 STREET YARD TREE = 2 TREES

NO BUFFER REQUIRED

PARKING LOT SCREENED WITH SHRUBS

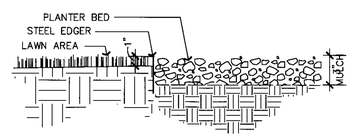
LEGAL DESCRIPTION

THE SOUTH 110.00 FEET OF LOT 3, BLOCK 1, STONEBRIDGE COMMERCIAL ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS.

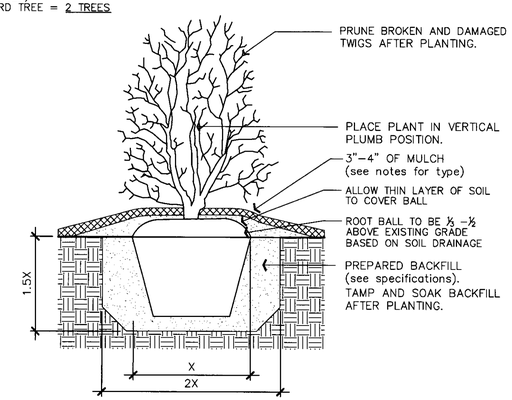
UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.

PLANTING LEGEND

SOD

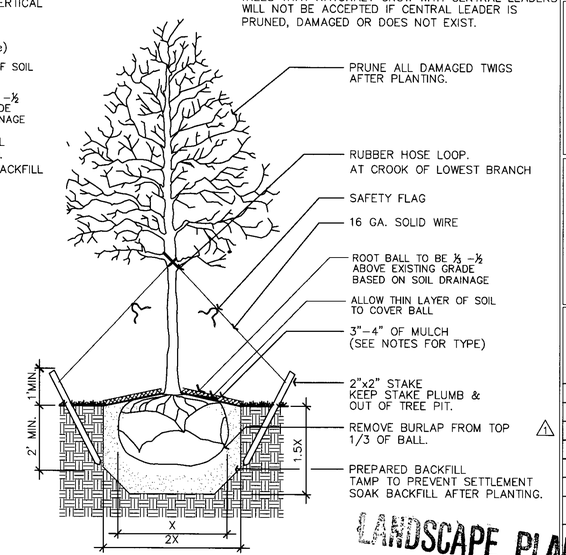


1 EDGER DETAIL
NO SCALE



2 SHRUB PLANTING DETAIL
NO SCALE

TREES THAT NATURALY GROW WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF CENTRAL LEADER IS PRUNED, DAMAGED OR DOES NOT EXIST.



3 TREE PLANTING DETAIL
IN TURF AREAS
NO SCALE

PLANT MATERIAL SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
	SHADE TREES		
2	SHUMARD OAK	QUERCUS SHUMARDII	2" CAL.
1	LACEBARK ELM	ULMUS PARVIFOLIA	2" CAL.
	ORNAMENTAL TREES		
2	SARGENT CRABAPPLE	MALUS SARGENTII	1-1/2" CAL.
	DECIDUOUS SHRUBS		
6	KNOCK-OUT ROSE	ROSA 'KNOCK-OUT'	3 GAL - COLOR RED
	ORNAMENTAL GRASSES		
18	MAIDEN GRASS	MISCANTHUS SINENSIS 'YAKU JIMA'	3 GAL
	EVERGREEN SHRUBS		
28	KALLAY PFITZER JUNIPER	JUNIPERUS CHINENSIS PFITZERIANA	3 GAL.
10	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA VAR. KOREANA	3 GAL.

LANDSCAPE PLAN
APPROVED 4/14/15 BY
DP-295

SUBWAY SANDWICH SHOP
Stonebridge Commercial Center
37th & Maize Rd. Wichita, Ks. 67205

THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF DAN WINTER ARCHITECT AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAN WINTER, ARCHITECT

DANIEL R. WINTER LICENSED 2990 KANSAS PROFESSIONAL ARCHITECT
4-10-15

DAN WINTER ARCHITECT
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

PLANTING PLAN

DATE
JUL 30, 2014
SEP 4, 2014

DRAWN BY: TAF
CHECKED BY:

SHEET NO.
LS1

BENCHMARKS: (DATUM=NAVD88)
BM-1
MAG NAIL W/ WASHER IN CONCRETE APPROX. 4 FT SE OF DMH A AND 9.5 FT EAST OF AN ELECTRICAL RISER
ELEVATION: 1353.80'

FLOOD NOTE:
THIS PROPERTY IS LOCATED IN ZONE "X" WHICH ARE AREAS OF 0.2% CHANCE FLOOD AND NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR SEDGWICK COUNTY, KANSAS.
MAP NUMBER: 20173C0330F
MAP REVISED: MAY 2, 2012 AND
MAP NUMBER: 20173C0190E
MAP REVISED: FEBRUARY 2, 2007

NOTE:
PROTECT EXISTING ADJACENT ASPHALT PAVEMENT AT PROPOSED NORTH, SOUTH, AND EAST APPROACHES. CONTRACTOR TO REPAIR ASPHALT PAVEMENT DAMAGED FROM HIS CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE PROPERTY OWNER. MATCH EXISTING PAVEMENT CROSS SECTIONS. MATERIALS AND CONSTRUCTION PRACTICES TO BE IN ACCORDANCE WITH KSDOT SPECIFICATIONS AND CONTRACT DOCUMENTS. WORK PERTAINING TO REPAIR OF PAVEMENT DAMAGED BY CONTRACTOR'S OPERATIONS IS TO BE PAID FOR BY THE CONTRACTOR.

GENERAL NOTES:

THESE NOTES APPLY TO ALL ACTIVITIES ON THIS PROJECT.

1. ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT, FACE OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
2. ALL DISTURBANCES INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, MUNICIPALITY, OR STATE AUTHORITY.
3. BUILDING DIMENSIONS SHOWN ON THESE CIVIL ENGINEERING PLANS ARE FOR REFERENCE ONLY. REFER TO THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
4. PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR.
5. PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY AUTOZONE INC. OF ANY UNACCEPTABLE AREAS.
6. REFER TO SHEETS C1.A – C1.B FOR ON-SITE PAVING DETAILS, AND OTHER CONSTRUCTION DETAILS.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION TO AUTOZONE INC., CITY OF WICHITA (AS REQUIRED) AND SEDGWICK COUNTY (AS REQUIRED) AT THE END OF CONSTRUCTION.
8. IF REQUIRED BY THE FIRE OFFICIAL, 'NO PARKING–FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WICHITA, SEDGWICK COUNTY AND KsDOT CURRENT STANDARDS AND REGULATIONS.
10. THE CONTRACTOR SHALL NOTIFY THE CITY OF WICHITA AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
12. CHAPTER 14 OF THE IFC (FIRE SAFETY DURING CONSTRUCTION) SHALL BE ADHERED TO DURING ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT.

PARKING INFORMATION

ITEM	REQUIREMENTS	PROVIDED
PARKING REQUIRED	MINIMUM PARKING COUNT: 1 SPACE PER 333 SF BUILDING FLOOR AREA 7,381/333 = 22.16 SPACES 22 SPACES REQUIRED	50 SPACES
MIN. PARKING DIM.	9 FT x 18 FT	9.00 FT x 18.00 FT
MIN. DRIVE AISLE WIDTH	24 FT	24.00 FT. WEST; 30.00 FT. NORTH & EAST
HANDICAP SPACES	2 SPACES	2 SPACES
LOADING SPACE	1 PER 25,000 SF G.F.A	1 SPACE (15' x 50')

REFERENCE IS MADE TO THE WICHITA–SEDGWICK COUNTY UNIFIED ZONING CODE

BULK AREA REQUIREMENTS

LOCATION: LOT 3, BLOCK 1, STONEBRIDGE COMMERCIAL ADDITION, AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS PER DOC #/FLM-PG.: 29040445
ZONING DISTRICT: LC LIMITED COMMERCIAL (STONEBRIDGE COMMUNITY PLAN DP-295)
USE: AUTO PARTS RETAIL
BUILDING INFORMATION:
GROSS FLOOR AREA = 7,381 SF (EXTERIOR FACE)
BUILDING HEIGHT = 21 FT (TOP OF PARAPET WALL)
NUMBER OF FLOORS = ONE

ITEM	REQUIRED (PER C.U.P.)	PROVIDED
MINIMUM FRONT SETBACK	35 FT	84.25 FT (SW BUILDING CORNER)
MINIMUM SIDE SETBACK	15 FT	20.00 FT (SOUTH BUILDING WALL) 105.09 FT (NORTH BUILDING WALL)
MINIMUM REAR SETBACK	10 FT	75.52 FT (SE BUILDING CORNER)
MAXIMUM BUILDING COVERAGE	35%	7,381 / 52,003 = 14.2%
MAXIMUM BUILDING HEIGHT	35 FT	1 STORY/21 FT (TO TOP OF PARAPET)

REFERENCE IS MADE TO THE WICHITA–SEDGWICK COUNTY UNIFIED ZONING CODE

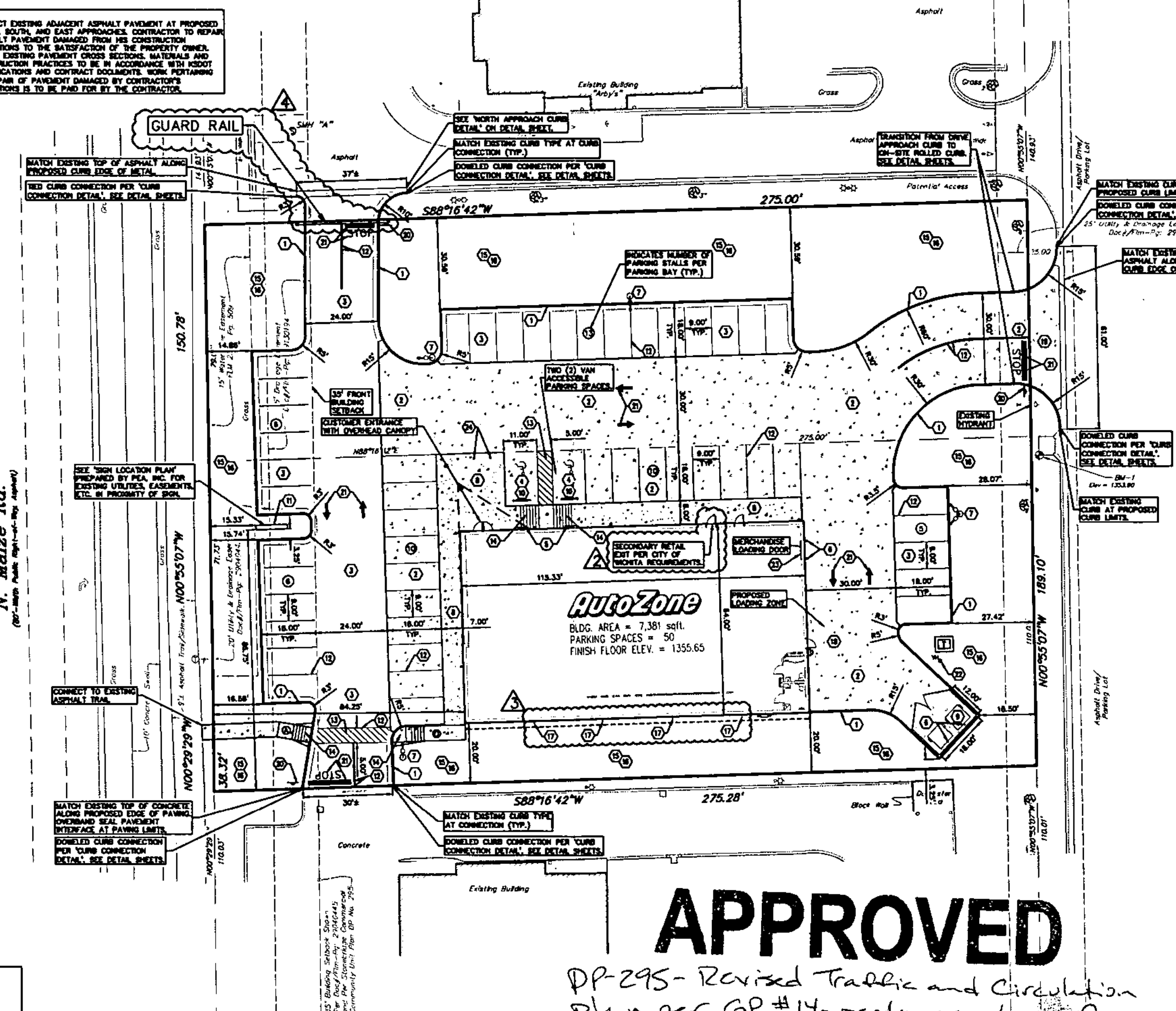
LEGEND

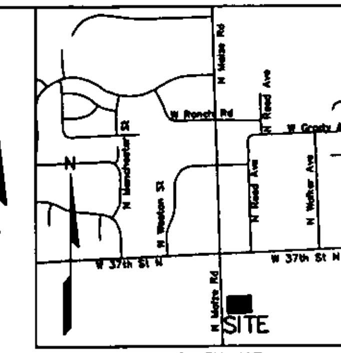
SIDEWALK RAMP LEGEND:
SIDEWALK RAMP 'TYPE A' Ⓐ
SIDEWALK RAMP 'TYPE D' Ⓓ
REFER TO CITY OF WICHITA STANDARD RAMP AND DETECTABLE WARNING DETAILS ON DETAIL SHEETS.

PROPOSED
SANITARY SEWER, CLEANOUT & MANHOLE
STORM SEWER, CLEANOUT & MANHOLE
CATCH BASIN
SIGN

SIGN LEGEND	
LEGEND	QTY.
RESERVED PARKING (handicap sign)	2
STOP	3

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.





VICINITY MAP
NOT TO SCALE

THE CONSTRUCTION INDICATED IN THESE PLANS SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH THE SPECIFICATIONS OF THE STATE OF KANSAS, KANSAS DEPARTMENT OF TRANSPORTATION, CITY OF WICHITA, SEDGWICK COUNTY, INDEPENDENT UTILITY OWNERS, AND AUTOZONE PROJECT SPECIFICATIONS.

PAVING LEGEND

CONCRETE PAVING. SEE DETAILS ON C1.A.

OTHER AREAS ON SITE: ASPHALT PAVING (BASE BID); CONCRETE PAVING (ALTERNATE BID). SEE DETAILS ON C1.A

*NOTE: REFER TO CURB DETAIL 1/C1.A FOR CONCRETE PAVING; REFER TO CURB DETAIL 2/C1.A FOR ASPHALT PAVING.

KEYNOTES

BUILDING AND PAVING

1. CONCRETE CURB – SEE DETAILS 1 & 2/ C1.A
2. CONCRETE PAVING – SEE DETAIL 4/C1.A. EXPANSION AND CONTROL JOINTS – SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15'-0" O.C. EACH WAY.
3. ASPHALT PAVING (BASE BID) – SEE DETAIL 5/C1.A. G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING – SEE DETAIL 4/C1.A.
4. HANDICAP PARKING AREA, 2% MAX. SLOPE ANY DIRECTION (TYP.) – SEE DETAILS 6 & 7/C1.A
5. HANDICAP PARKING SIGN – SEE DETAIL 12/C1.A.
6. PIPE GUARD–SEE DETAILS 8, 14, 15, & 16/C1.A.
7. LIGHT POLE WITH CONCRETE BASE. AIM FIXTURE IN DIRECTIONS INDICATED. SEE DETAIL 13/C1.A AND PH1.0
8. 6" HT. INTEGRAL CONCRETE CURB AND WALK. SEE DETAIL 19 & 20/C1.A FOR SIDEWALK AROUND BUILDING
9. DUMPSTER LAYOUT – 6' TREATED PINE ENCLOSURE OVER TREATED PINE FRAMING. SEE DETAILS 8,9,10, & 11/C1.A.
10. 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT – SEE DETAIL 17/C1.A. LOCATE 2'-0" FROM FACE OF CURB, EDGE OF PAVEMENT OR SIDEWALK.
11. 6.5'x16.5'x18" WIDE SITE SIGN, 20' OVERALL HEIGHT. SEE SIGN DRAWING (SEPARATE PERMIT).
12. 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.)
13. 4" WIDE DIAGONAL STRIPES PAINTED AT 2 FT. O.C.
14. CONCRETE HANDICAP RAMP – MAXIMUM SLOPE 1:12 (8.33%) (PER A.D.A. REQUIREMENTS). MAXIMUM CROSS SLOPE 1:50 (2.00%). METAL PRE-FABRICATED DETECTABLE WARNING SURFACES SHALL BE INSTALLED, CONTRASTING IN COLOR, PER ADA REQUIREMENTS AT ALL RAMPS.
15. NEW LANDSCAPE AREA – PROVIDE SOD AND 3" TOPSOIL. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
16. SLOPE GRADE IN LANDSCAPE AREA PER GRADING PLANS. PROVIDE POSITIVE SURFACE DRAINAGE FOR ALL AREAS.
17. BUILDING DOWNSPOUT LOCATION. ROOF DRAINS CONNECTED TO UNDERGROUND STORM SEWER SYSTEM PER SHEET C1.3. SEE DETAIL 3/C1.A.
18. LOADING AREA. SLOPE AWAY FROM BUILDING. SEE GRADING PLAN, SHEET C1.1.
19. CONCRETE DRIVE APPROACH WITH INTEGRAL CURB. SEE 'EAST CONCRETE DRIVE APPROACH DETAIL' ON C1.B.
20. STOP SIGN – SEE DETAIL 26/C1.A
21. PAVEMENT MARKINGS – SEE DETAIL 24 & 25/C1.A
22. FREEZELESS YARD HYDRANT. PROVIDE APPROPRIATE BACK FLOW PREVENTION AS REQUIRED BY MUNICIPALITY. SEE DETAIL 4/SHEET M2.
23. SERVICE DOOR PLAN – SEE DETAIL 15/C1.A
24. BOLLARD PLAN FOR STOREFRONT – SEE DETAIL 14/SHEET C1.A

APPROVED

DP-295- Revised Traffic and Circulation Plan per GP #14- replaces plans from 10-3-16 and 2-27-17

Date: 9-21-17 [signature]

CONSTRUCTION PLANS

No.	DATE	BY	DESCRIPTION
4	8-29-17	SAP	ADDED GUARDRAIL
3	9-29-16	SAP	REVISE PER MABCD
2	8-14-16	SAP	REVISE PER MABCD
1	7-28-16	SAP	REMOVED ON-SITE BMP

REVISIONS

JOHN A. DELL... LICENSED 21877 9-20-17 KANSAS PROFESSIONAL ENGINEER

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

Kansas 811
Know what's below. Call 811 before you dig.

PEA, Inc.
7927 Nemco Way, Ste. 115
Brighton, MI 48116
t: 517.546.8583
f: 517.546.8973
www.peainc.com

AUTOZONE PARTS, INC.
123 S FRONT ST
MEMPHIS, TN 38103

SITE PLAN
CITY OF WICHITA, KANSAS #4471
N. MAIZE ROAD, NEAR W 37TH ST. N.
CITY OF WICHITA, SEDGWICK COUNTY, KS

DES.	WRB	DN.	SAP/WRB	SUR.	CEI	P.M.	WRB

ORIGINAL ISSUE DATE: JULY 20, 2016
PEA JOB NO. 2016-060
SCALE: 1" = 20'
DRAWING NUMBER:
C1.0

CITY OF WICHITA

Wichita-Sedgwick County Metropolitan Area Planning Department

August 8, 2016

Menard, Inc.
Attn: Tyler Edwards
5101 Menard Drive
Eau Claire, WI 54703

MKEC Engineering
Attn: Brian Lindebak
Wichita KS 67206

RE:CUP2016-23 – City request to amend the Stonebridge Community Unit Plan (CUP) DP-295 to allow for the expansion of an accessory building on Parcel 11b

Dear Applicants:

At its regular meeting on **July 21, 2016**, the Wichita - Sedgwick County Metropolitan Area Planning Commission (MAPC) considered the above captioned request. The action of the MAPC was to **APPROVE** the request subject to the following conditions:

(1) The applicant shall submit four revised copies of the CUP to the Metropolitan Area Planning Department within 60 days of approval or the request shall be considered denied and closed.
(2) If the Zoning Administrator finds that there is a violation of any of the conditions of the CUP amendment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare the CUP amendment null and void.

This case received no protests during the two-week period, therefore the MAPC decision is final. If you have any questions concerning this application, please contact out office at 268-4421.

Sincerely,

Kathy L. Morgan
Senior Planner
Current Plans Division

Copies to: Bryan Frye, WCC, District V
Laura Rainwater, CSR, District V
JR Cox, MABCD
Tom Stolz, MABCD
Paul Hays, MABCD

CITY OF WICHITA

Wichita-Sedgwick County Metropolitan Area Planning Department

Tier 1, LLC
Attn: Marv Schellenberg
1313 N. Webb Rd, Ste. 230
Wichita, KS 67206

August 22, 2016

MKEC Engineering
Attn: Brian Lindebak
411 N. Webb Rd.
Wichita, KS 67206

RE: CUP2016-33 – City CUP Administrative Adjustment to CUP DP-295 Stonebridge, to adjust the wall easement on Parcel 1a containing 0.71 acres. The property is generally located on the east side of Maize Road south of 37th Street North

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-295, to reflect VAC2016-26 on Parcel 1a. Proposed modifications are as follows:

1. Remove wall easement depiction on Parcel 1a as per VAC2016-26
2. Remove Development Guideline General Provision 8F and re-letter accordingly
3. Update easements to reflect current plan and separate instrument documents

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

Dale Miller

Dale Miller, Director
Metropolitan Area Planning Department

J.R. COX JR

Kyle J. McLaren, Interim Director
Metropolitan Area Building and Construction Department

cc: J.R. Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V

CITY OF WICHITA

Wichita-Sedgwick County Metropolitan Area Planning Department

November 4, 2013

MKEC attn. Brian Lindebak
411 N. Webb
Wichita, KS 67208

RE: CUP2013-38 - City Administrative Adjustment to DP-295 to adjust parcel boundaries, generally located at the southeast corner of W. 37th Street North and Maize.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-295 Stonebridge Community Unit Plan ("CUP"). We understand you wish to reconfigure parcel boundaries; building coverage and floor area will be distributed proportionately on the revised CUP. Uses permitted on the existing parcels do not change.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

John L. Schlegel
Director of Planning

Tom J. Stolz
MABCD Director

cc: JR Cox, MABCD
Paul Hays, MABCD
Jeff Longwell, CM District V
Megan Buckmaster, NA District V

CITY OF WICHITA

Wichita-Sedgwick County Metropolitan Area Planning Department

May 21, 2012

North 37th LLC attn. Paul Jackson
1625 N. Waterfront Pkwy. #220
Wichita, KS 67206

MKEC attn. Brian Lindebak
411 N. Webb Rd.
Wichita, KS 67206

RE: CUP2012-14 - City CUP Adjustment #1 to DP-295, Stonebridge Community Unit Plan, to adjust parcel lines creating two new parcels, and extension of screening wall deferral along the south property line; generally located south of 37th Street North and east of Maize.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-295 Stonebridge Community Unit Plan ("CUP"). We understand you wish to create Parcels 1a, 1b, 2a, and 2b from the existing parcels 1 and 2. And, you wish to extend the Parcel 1a south screening wall deferral from a total of four years to a total of ten years. Maximum building coverage and floor area will be the distributed proportionately between the four new parcels as indicated on the revised CUP. Uses and signage permitted on the newly created parcels does not change.

On the basis of our review we feel that adjusting the CUP in the manner you have requested would be consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as requested. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except expressly stated herein.

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Director of Planning

Rick Stubbs
Co-Interim Superintendent of Central Inspection

cc: Paul Hays, Office of Central Inspection
Jeff Longwell, CM District II
Megan Buckmaster, NA District II

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John L. Schlegel
Director of Planning

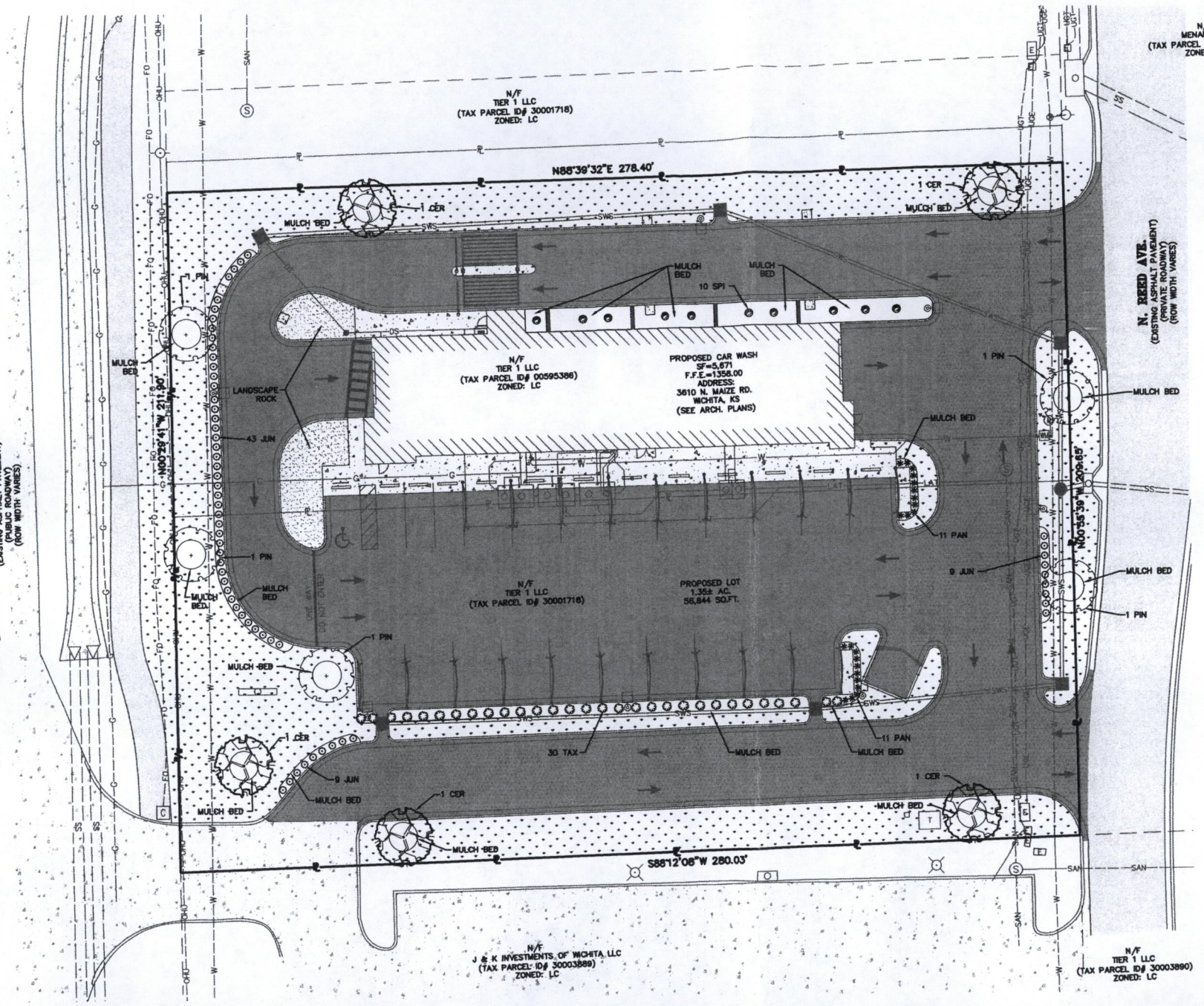
Rick Stubbs
Co-Interim Superintendent of Central Inspection

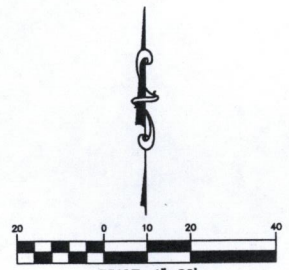
cc: Paul Hays, Office of Central Inspection
Jeff Longwell, CM District II
Megan Buckmaster, NA District II

LANDSCAPE PLAN

LANDSCAPE LEGEND

- EASTERN REDBUD "CER"
- PINION PINE "PIN"
- DENSE SPREADING YEW "TAX"
- SEA GREEN JUNIPER "JUN"
- GOLDMOUND SPIREA "SPI"
- SWITCH GRASS 'HEAVY METAL' "PAN"
- AREAS TO BE SODDED
- LANDSCAPE ROCK





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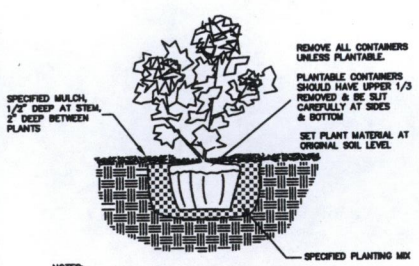
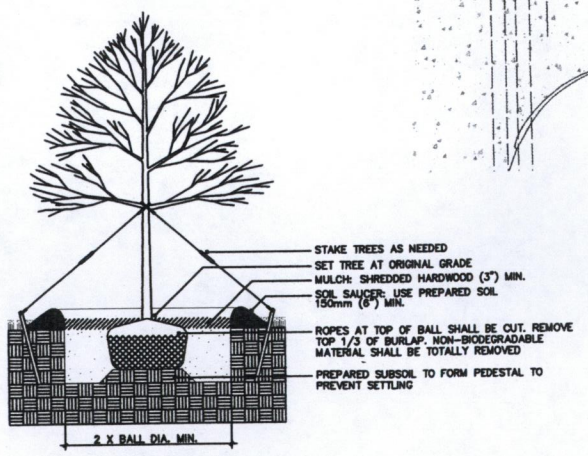
APRIL 2021



NOTES:

1. WATER THOROUGHLY FOLLOWING PLANTING.
2. SIZE OF HOLE REQUIRED VARIES WITH CONTAINER SIZE, BUT MUST BE LARGER THAN CONTAINER ON ALL SIDES AND BOTTOM.
3. AVOID DAMAGE TO ROOT STRUCTURE IN HANDLING & PLANTING.

SHRUB PLANTING



DECIDUOUS TREE PLANTING

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	TYPE
TREES					
5	Cercis canadensis	Eatern Redbud	2 IN	AS SHOWN	B&B
5	Pinus edulis	Pinion Pine	2 IN	AS SHOWN	B&B
SHRUBS					
30	Taxius x media 'Densiformis'	Dense Spreading Yew	3 GAL	AS SHOWN	CONT
61	Juniperous chinensis "Sea Green"	Sea Green Juniper	7 GAL	AS SHOWN	CONT
10	Spirea japonica	Goldmound Spirea	5 GAL	AS SHOWN	CONT
PERENNIALS					
22	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switch Grass	1 GAL	AS SHOWN	CONT

NOTES:

1. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. PLANT QUANTITIES ON PLANS PREVAIL OVER THOSE LISTED IN PLANT LIST.
2. CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING UNDERGROUND UTILITIES PRIOR TO START OF WORK. REPORT TO OWNER'S REPRESENTATIVE ANY CONDITION THAT MAY AFFECT CONTRACT. CONTRACTOR SHALL REPAIR ANY DAMAGE TO SITE ELEMENTS DUE TO CONTRACTOR'S ACTIVITY AT NO EXTRA COST TO OWNER.
3. CONTRACTOR SHALL COORDINATE SCHEDULE AND INSTALLATION OF LANDSCAPING WITH THE OWNER'S REPRESENTATIVE.
4. MULCH ENTIRE SHRUB PLANTING AREAS WITH 3" DEPTH OF SHREDDED BARK MULCH. ALL SHRUBS BEDS IN LAWN AREAS TO HAVE SPADE CUT EDGE. PROVIDE 4' DIA. MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED BARK MULCH. GROUND COVER BEDS TO RECEIVE MIN. 2" DEPTH OF SHREDDED BARK MULCH.
5. FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE SHALL BE MATCHED FOR SIZE AND FORM.
6. CONTRACTOR SHALL COORDINATE SCHEDULE AND STAKING/LOCATION OF BED EDGES WITH IRRIGATION CONTRACTOR.
7. ALL DISTURBED AREAS SHALL BE SODDED.
8. ALL SEEDED AREAS ON SLOPES OF 3:1 OR GREATER SHALL HAVE EROSION CONTROL BLANKETS AS SPECIFIED.
9. SEE CIVIL AND ARCH. DWGS FOR EXISTING AND PROPOSED CONDITIONS.
10. SEE SPECIFICATIONS FOR ADDITIONAL NOTES AND REQUIREMENTS.

LANDSCAPE REQUIREMENTS:

THE MINIMUM AMOUNT OF LANDSCAPED STREET YARD WHICH ARE ADJACENT TO AT-GRADE EXPRESSWAY OR FREEWAY FRONTAGE ROADS, ARTERIAL OR COLLECTOR STREETS SHALL BE BASED ON SQUARE FOOTAGE PER AVERAGE LINEAR FOOT OF LOT DEPTH.

THERE SHALL BE A MINIMUM OF ONE (1) SHADE TREE FOR EVERY FIVE HUNDRED (500) SQUARE FEET OF THE REQUIRED MINIMUM LANDSCAPED STREET YARD.

THE SQUARE FOOTAGE PER LINERAR FOOT OF STREET FRONTAGE MAY BE REDUCED BY TWENTY PERCENT (20%) IF THE MINIMUM PLANTING SIZE IS INCREASED BY ONE HUNDRED PERCENT (100%) OR MORE.

N. MAIZE ROAD FRONTAGE	= 212 LINEAR FEET (FACTOR OF 10)
212 LN. FT. X 10	= 2,120
LANDSCAPED STREET YARD	= 2,120 SQ. FT. REQUIRED
2,120 / 500 SQ. FT.	= 5 SHADE TREES REQUIRED 5 SHADE TREES REQUIRED
N. REED AVENUE FRONTAGE	= 210 LINEAR FEET (FACTOR OF 10)
210 LN. FT. X 10	= 2,100
LANDSCAPED STREET YARD	= 2,100 SQ. FT. REQUIRED
2,100/ 500 SQ. FT.	= 5 SHADE TREES REQUIRED 5 SHADE TREES REQUIRED
PARKING LOT SCREENING	= 61 SHRUBS PROVIDED
FOUNDATION SCREENING	= 10 SHRUBS PROVIDED
EQUIPMENT SCREENING	= 22 PERENNIALS PROVIDED
TOTAL TREES	= 10 SHADE TREES PROVIDED

NOTE:
THE SEA GREEN JUNIPER EVERGREENS SHALL BE PLANTED IN A MANNER TO CREATE A HEDGEROW. LANDSCAPE INSTALLER SHALL INSURE THESE SHRUBS CREATE A HEDGEROW AND SHALL BE 30" IN HEIGHT AT THE TIME OF INSTALLATION.

NOTE:
ALL TREES OR SHRUBS IN GRASS AREAS SHALL HAVE A MULCH BED AROUND THEM.

NOTE:
ALL MULCH SHALL BE SINGLE SHRED (COURSE MULCH. DOUBLE SHRED MULCH WILL NOT BE ACCEPTED.

NOTE:
ALL DISTURBED AREAS TO BE SODDED.

NOTE:
LANDSCAPE ROCK SHALL BE 2" TO 3" RIVER ROCK.

NOTE:
ALL MULCH SHALL BE BLACK IN COLOR.

NOTE:
ALL SOD TO BE TALL FESCUE.

LANDSCAPE PLAN
APPROVED 5/13/21 BY N/ES
DP-295

OWNER:	DEVELOPER:
TIER 1, LLC 2243 N RIDGE RD, STE 150 WICHITA, KS 67205	CLUB CARWASH OPERATING, LLC 1213 OLD HWY 63, STE 101 COLUMBIA, MO 65201

North Office
8 East Main Street
Hartland, Missouri 63385
636-332-4574 (tel.)
636-327-0780 (fax)
www.cochranengineering.com
COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning
Kansas State Certificate of Authority Number: E-2927

Two working days prior to the start of any excavation in this state, contact Kansas One-Call 1-800-DIG-SAFE for utility location information.

All OSHA rules & regulations established for the type of construction covered by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

KURTIS J. DANIELS
LICENSED
E-26277
KANSAS
PROFESSIONAL ENGINEER
4-30-21
KURTIS J. DANIELS
E-26277

SITE IMPROVEMENT PLANS
CLUB CAR WASH
WICHITA, KANSAS

DATE:	REVISION:	DRN. BY:	APPD. BY:

LANDSCAPE PLAN

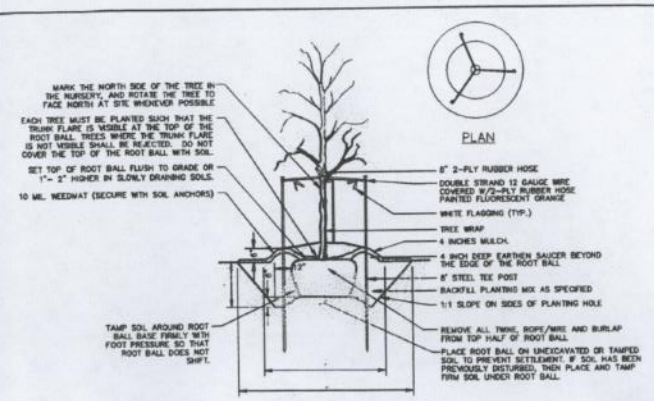
DRN. BY: EMB
APPD. BY: KJD
DATE: APR. 2021
SCALE: 1:20
PROJ. NO: M20-7977A
DWG. NO: C12

Kansas 811

DWG NAME: J:\2020\M20-7977 - CCW N. Maize RA\Stonebridge Commercial, Wichita, KS\ENGINEERING\AUTOCAD DRAWINGS\03_Construction Drawings\M20-7977_C12 LANDSCAPE PLAN.dwg LAYOUT TAB: C12 PLOTTED ON: Apr 30, 2021 - 8:41am PLOTTED BY: EBrown

GENERAL NOTES

1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE DESIGNER REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND, FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
7. PLANT MATERIAL:
   a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
   b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
   c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOD AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
   d. SHALL NOT BE PLANTED IN FROZEN GROUND.
8. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
9. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BUR), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 10 SQ FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
10. STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE TIE SYSTEMS SHALL BE 20" DEWITT (BLACK) TREE STRAP/SLING TSL-BX (60 PER CASE) OR APPROVED EQUAL-NO PLASTIC TIES ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
11. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY ¼" x 4" PAINTED BROWN STEEL EDGING AND RYERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
12. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
13. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEET(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
15. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.
16. IF REQUIRED BY THE **CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT**, THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR AUGMENT EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
17. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS
18. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
19. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
20. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
21. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.



NOTES:
1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE OWNER.
3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE OWNER.
4. BACKFILL WITH EXISTING SOIL IN SANDY LOAM SOILS. ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL.
5. SEE LANDSCAPE PLAN NOTES FOR TYPE OF MULCH TO BE USED.

TREE PLANTING DETAIL AE-L1
N.T.S.

Kansas 811
Know what's below. Call 811 before you dig.

REQUIRED LANDSCAPING:

LANDSCAPED STREET YARD:
AVERAGE LOT DEPTH = 276'
SQUARE FOOTAGE FACTOR = 15 SQ. FT. PER LF
N. MAIZE RD STREET FRONTAGE = 120'

TOTAL LANDSCAPED STREET YARD REQUIRED = 120*15 = 1,800 SF

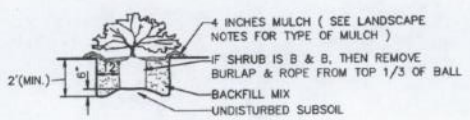
1 SHADE TREE OR 2 ORNAMENTAL TREES REQUIRED PER 500 SF OF LANDSCAPED STREET YARD = 4 SHADE TREES, 8 ORNAMENTAL TREES, OR A COMBINATION REQUIRED.

SHRUBBERY MAY BE SUBSTITUTED FOR UP TO ONE THIRD OF THE REQUIRED TREES AT A RATE OF 10 SHRUBS PER ONE SHADE TREE OR 5 SHRUBS PER ORNAMENTAL TREE.

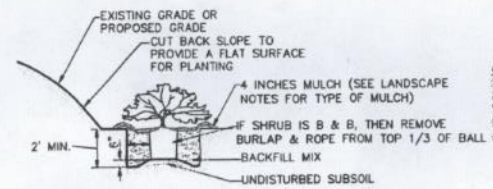
PARKING LOT SCREENING:
SHRUBS AND TREES MAY BE USED FOR SCREENING IF THE PLANTING WIDTH IS AT LEAST 5 FEET WIDE AND ADJACENT TO THE PARKING LOT PAVING. SHRUBS MAY BE EVERGREEN OR DECIDUOUS AS LONG AS THE SCREENING IS SOLID FOR 8 MONTHS OF THE YEAR. THE REQUIRED SCREENING MUST BE 18 INCHES IN HEIGHT AT THE TIME OF PLANTING AND REACH A MINIMUM OF 3 FEET IN HEIGHT ABOVE THE PARKING SURFACE AFTER 3 YEARS OF GROWTH.

INTERIOR LANDSCAPING:
10 SPACES PROVIDED IS LESS THAN 20 SPACE REQUIREMENT FOR INTERIOR LANDSCAPING THEREFORE INTERIOR LANDSCAPING IS NOT REQUIRED.

CONTRACTOR TO COORDINATE FINAL LOCATION AND TYPE OF LANDSCAPING WITH OWNER.



SHRUB PLANTING
N.T.S.

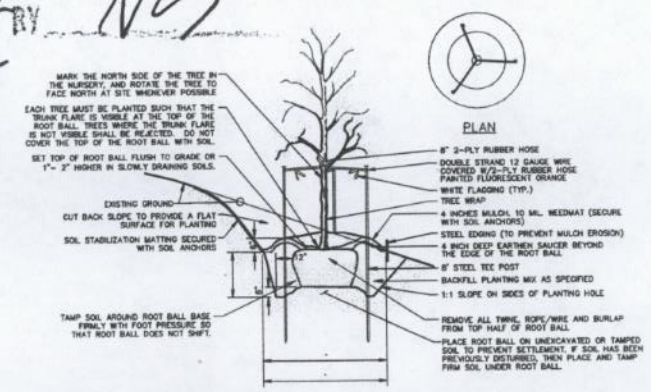


SHRUB PLANTING ON SLOPE
N.T.S.

LANDSCAPE PLAN

APPROVED 4/26/22 BY NES

DP-295



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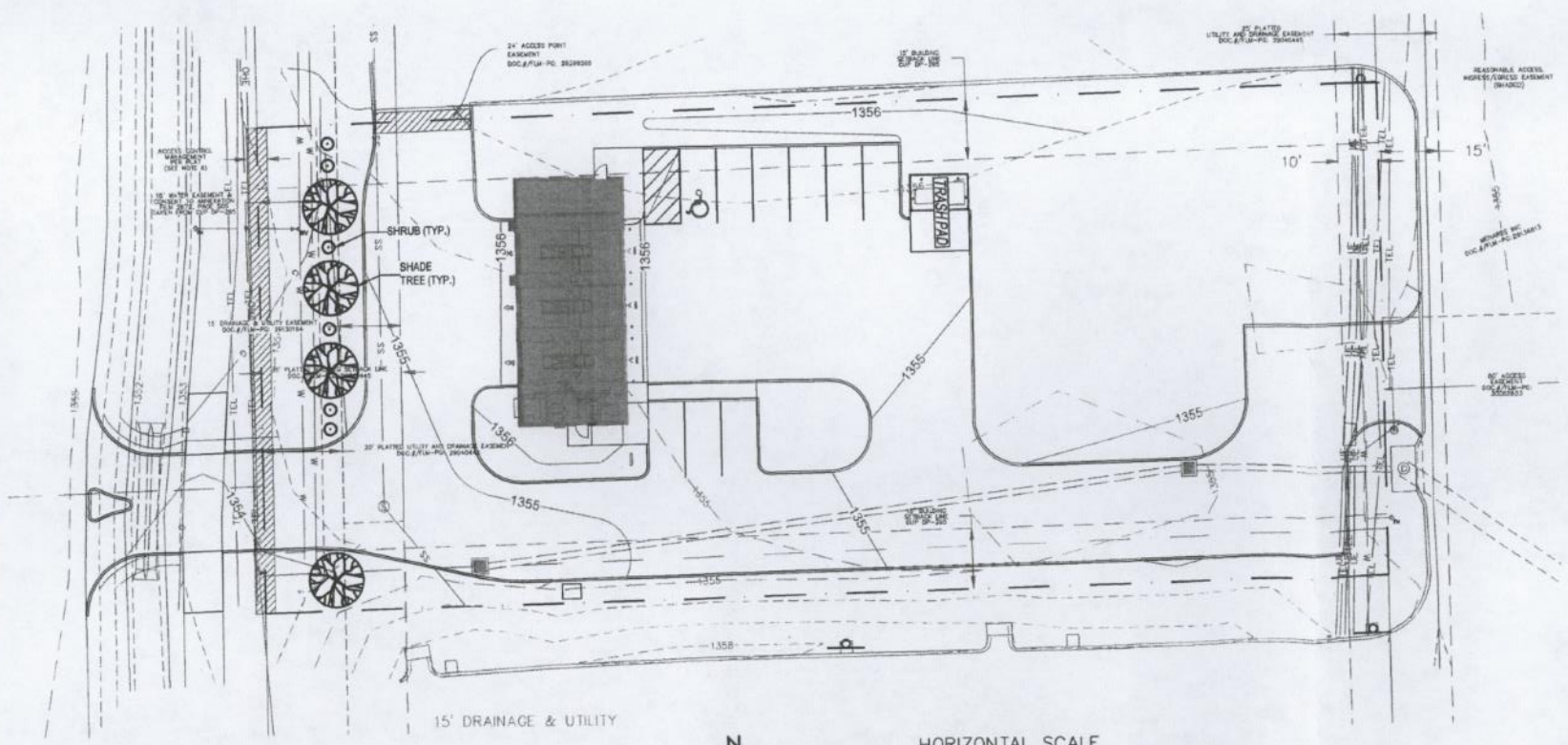
5. SEE LANDSCAPE PLAN NOTES FOR TYPE OF MULCH TO BE USED.

TREE PLANTING ON SLOPE AE-L2
N.T.S.



1 LANDSCAPE PLAN
C5 SCALE: 1" = 20'

N

HORIZONTAL SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

LANDSCAPE LEGEND

MEDIUM DECIDUOUS TREES (20 TO 40 FEET AT MATURITY):

BOTANICAL NAME	COMMON NAME
ACER BUERGERANUM	TRIDENT MAPLE
ACER CAMPESTRE	HEDGE MAPLE
ACER TRUNCATUM	SHANTUNG MAPLE
CATALPA BUNGEI	GLOBE CATALPA
KOELREUTERIA PANICULATA	GOLDENRAIN TREE
MACLURA POMIFERA	OSAGE ORANGE
MORUS SPP.	FRUITLESS MULBERRY
PISTACIA CHINENSIS	CHINESE PISTACHE
PYRUS CALLERYANA	ORNAMENTAL PEAR
QUERCUS MUEHLENBERGII	CHINKAPIN OAK
SAPINDUS DRUMMONDII	WESTERN SOAPBERRY
ULMUS PROPINQUA 'JFS-BIEBERICH'	EMERALD SUNSHINE ELM

SMALL DECIDUOUS TREES (UNDER 20 FEET AT MATURITY):

BOTANICAL NAME	COMMON NAME
ACER TATARICUM	TATARIAN MAPLE
ACER TATARICUM SUBSP. GINNALA	AMUR MAPLE
AMELANCHIER SPP.	SERVICEBERRY
CERCIS CANADENSIS	REDBUD (EASTERN & OKLAHOMA)
CHIONANTHUS SPP.	FRINGE TREE
COTINUS SPP.	SMOKETREE
CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN
CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN 'WINTER KING'
MALUS SPP.	CRABAPPLE
SYRINGA RETICULATE	JAPANESE TREE LILAC
X CHITALPA TASHKENTENSIS	CHITALPA

PREFERRED SHRUBS FOR PARKING LOT SCREENING:

BOTANICAL NAME	COMMON NAME
BERBERIS THUNBERGII ATRO.	RED LEAF BARBERRY
BERBERIS X MENTORENSIS	MEATON BARBERRY
BUDDLEIA DAVIDI	BUTTERFLY BUSH
CALLICARPA DICHOTOMA	BEAUTYBERRY
CHAENOMELES SPECIOSA	QUINCE
CORNUS ALBA	RED BARKED DOGWOOD
COTONEASTER DIVARICATUS	SPREADING COTONEASTER
EUONYMUS ALATUS COMPACT	BURNING BUSH
EUONYMUS KAUTSCHOVICUS	EUONYMUS (MANHATTAN & PAUL)
FORSYTHIA X INTERMEDIA	FORSYTHIA
JUNIPERUS CHINENSIS	CHINESE JUNIPER
LAGERSTROEMIA HYBRIDS	CRAPEMYRTLE
LONICERA FRAGRANTISSIMA	WINTER HONEYSUCKLE
PYRACANTHA	PYRACANTHA
RHUS AROMATIC	FRAGRANT SUMAC
SPIRAEA CULTIVARS	SPIREA
SYRINGA MEYERI	KOREAN LILAC
VIBURNUM SPP.	VIBURNUM
WEIGELA FLORIDA	WEIGELA

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS · SURVEYORS
LABORATORIES · DRILLING
3213 S WEST BYPASS
SPRINGFIELD, MO 65807
PHONE (417) 866-2741
A LICENSED MISSOURI ENGINEERING CORPORATION
COA 00062

VANTEDGE AUTO T5
TAKE5 OIL CHANGE

3642 N. MAIZE RD
WICHITA, KS

ISSUED FOR

NO.	DESCRIPTION	DATE

DRAWING INFORMATION

PROJECT NO:	22SP10040
DRAWN BY:	CMH
CHECK BY:	JMD
ISSUED FOR:	PERMIT
ISSUED DATE:	04/15/2022

JARED M. DAVIS LICENSED 27214 KANSAS PROFESSIONAL ENGINEER

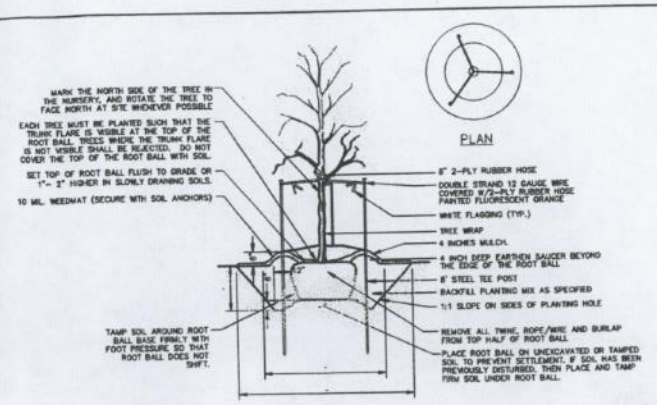
ISSUED BY:	JARED M DAVIS
LICENSE NO:	PE No. 27214

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
C5

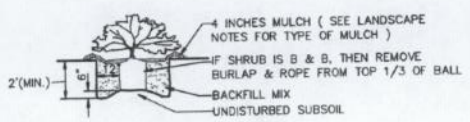
GENERAL NOTES

1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE DESIGNER REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
7. PLANT MATERIAL:
   a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
   b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
   c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOD AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
   d. SHALL NOT BE PLANTED IN FROZEN GROUND.
8. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
9. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BUR), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 10 SQ FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
10. STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE TIE SYSTEMS SHALL BE 20" DEWITT (BLACK) TREE STRAP/SLING TSL-BX (60 PER CASE) OR APPROVED EQUAL-NO PLASTIC TIES ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
11. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY ¼" x 4" PAINTED BROWN STEEL EDGING AND RYERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
12. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
13. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEET(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
15. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.
16. IF REQUIRED BY THE **CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT**, THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR AUGMENT EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
17. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS
18. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
19. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
20. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
21. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.

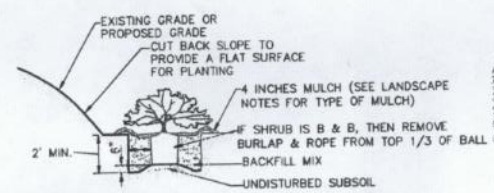


NOTES:
1. DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES ONLY UPON THE APPROVAL OF THE OWNER.
3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE OWNER.
4. BACKFILL WITH EXISTING SOIL IN SANDY LOAM SOILS. ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL.
5. SEE LANDSCAPE PLAN NOTES FOR TYPE OF MULCH TO BE USED.

TREE PLANTING DETAIL AE-L1
N.T.S.



SHRUB PLANTING
N.T.S.

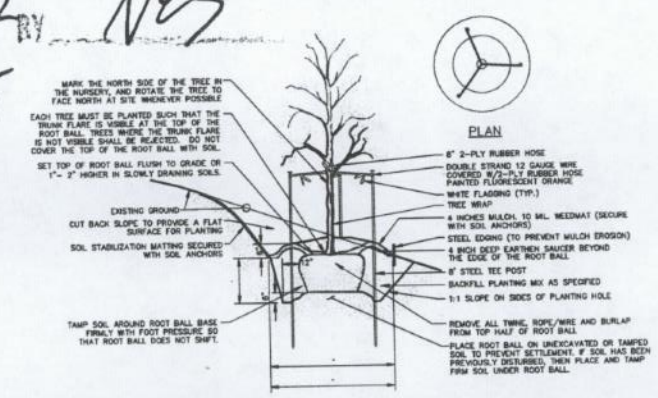


SHRUB PLANTING ON SLOPE
N.T.S.

LANDSCAPE PLAN

APPROVED 4/26/22 BY NES

DP-295



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TREE PLANTING ON SLOPE AE-L2
N.T.S.

REQUIRED LANDSCAPING:

LANDSCAPED STREET YARD:
AVERAGE LOT DEPTH = 276'
SQUARE FOOTAGE FACTOR = 15 SQ. FT. PER LF
N. MAIZE RD STREET FRONTAGE = 120'

TOTAL LANDSCAPED STREET YARD REQUIRED = 120*15 = 1,800 SF

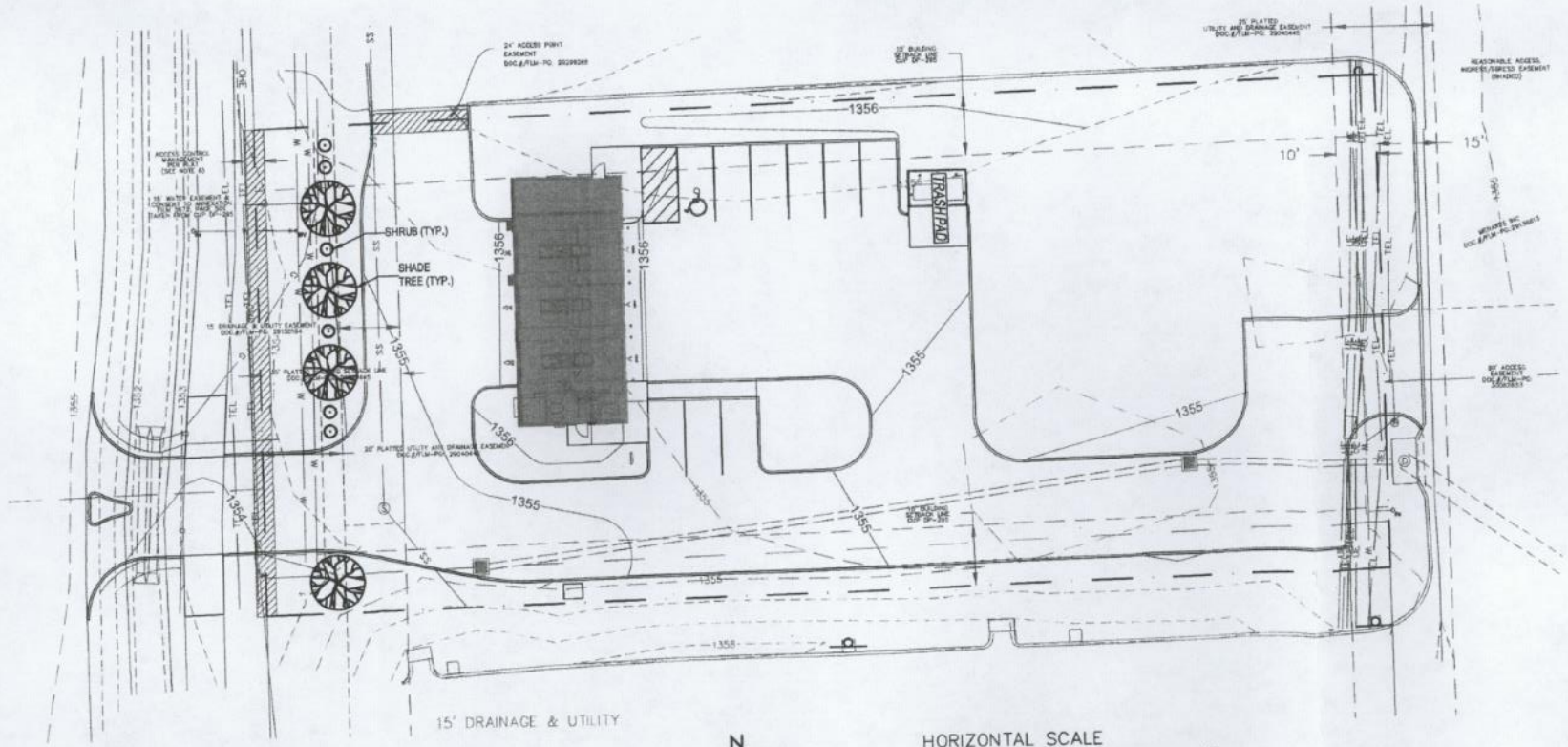
1 SHADE TREE OR 2 ORNAMENTAL TREES REQUIRED PER 500 SF OF LANDSCAPED STREET YARD = 4 SHADE TREES, 8 ORNAMENTAL TREES, OR A COMBINATION REQUIRED.

SHRUBBERY MAY BE SUBSTITUTED FOR UP TO ONE THIRD OF THE REQUIRED TREES AT A RATE OF 10 SHRUBS PER ONE SHADE TREE OR 5 SHRUBS PER ORNAMENTAL TREE.

PARKING LOT SCREENING:
SHRUBS AND TREES MAY BE USED FOR SCREENING IF THE PLANTING WIDTH IS AT LEAST 5 FEET WIDE AND ADJACENT TO THE PARKING LOT PAVING. SHRUBS MAY BE EVERGREEN OR DECIDUOUS AS LONG AS THE SCREENING IS SOLID FOR 8 MONTHS OF THE YEAR. THE REQUIRED SCREENING MUST BE 18 INCHES IN HEIGHT AT THE TIME OF PLANTING AND REACH A MINIMUM OF 3 FEET IN HEIGHT ABOVE THE PARKING SURFACE AFTER 3 YEARS OF GROWTH.

INTERIOR LANDSCAPING:
10 SPACES PROVIDED IS LESS THAN 20 SPACE REQUIREMENT FOR INTERIOR LANDSCAPING THEREFORE INTERIOR LANDSCAPING IS NOT REQUIRED.

CONTRACTOR TO COORDINATE FINAL LOCATION AND TYPE OF LANDSCAPING WITH OWNER.



1 LANDSCAPE PLAN
L5 SCALE: 1" = 20'

N

HORIZONTAL SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

LANDSCAPE LEGEND

MEDIUM DECIDUOUS TREES (20 TO 40 FEET AT MATURITY):

BOTANICAL NAME	COMMON NAME
ACER BUERGERIANUM	TRIDENT MAPLE
ACER CAMPESTRE	HEDGE MAPLE
ACER TRUNCATUM	SHANTUNG MAPLE
CATALPA BUNGEI	GLOBE CATALPA
KOELREUTERIA PANICULATA	GOLDENRAIN TREE
MACLURA POMIFERA	OSAGE ORANGE
MORUS SPP.	FRUITLESS MULBERRY
PISTACIA CHINENSIS	CHINESE PISTACHE
PYRUS CALLERYANA	ORNAMENTAL PEAR
QUERCUS MUEHLENBERGII	CHINKAPIN OAK
SAPINDUS DRUMMONDII	WESTERN SOAPBERRY
ULMUS PROPINQUA 'JFS-BIEBERICH'	EMERALD SUNSHINE ELM

SMALL DECIDUOUS TREES (UNDER 20 FEET AT MATURITY):

BOTANICAL NAME	COMMON NAME
ACER TATARICUM	TATARIAN MAPLE
ACER TATARICUM SUBSP. GINNALA	AMUR MAPLE
AMELANCHIER SPP.	SERVICEBERRY
CERCIS CANADENSIS	REDBUD (EASTERN & OKLAHOMA)
CHIONANTHUS SPP.	FRINGE TREE
COTINUS SPP.	SMOKETREE
CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN
CRATAEGUS VIRIDIS 'WINTER KING'	GREEN HAWTHORN 'WINTER KING'
MALUS SPP.	CRABAPPLE
SYRINGA RETICULATE	JAPANESE TREE LILAC
X CHITALPA TASHKENTENSIS	CHITALPA

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SPIRAEA CULTIVARS	SPIREA
SYRINGA MEYERI	KOREAN LILAC
VIBURNUM SPP.	VIBURNUM
WEIGELA FLORIDA	WEIGELA

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