

RIDGE PORT NORTH 2ND ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS
 Sedgwick County) We, Baughman Company, P.A., Surveyors in
 aforesaid county and state do hereby certify that we have surveyed and
 platted "RIDGE PORT NORTH 2ND ADDITION", Wichita, Sedgwick County,
 Kansas and that the accompanying plat is a true and correct exhibit of
 the property surveyed, described as and being a replat of Lot 1 and
 Reserve "D", Ridge Port North Addition, Wichita, Sedgwick County, Kansas.

This plat of "RIDGE PORT NORTH 2ND ADDITION", Wichita,
 Sedgwick County, Kansas has been submitted to and approved by
 the Wichita-Sedgwick County Metropolitan Area Planning Commission,
 Wichita, Kansas.
 Dated this 16th day of September, 1999.
 Wichita-Sedgwick County Metropolitan Area Planning Commission

All being situated in the NW 1/4, Sec. 34, Twp. 26-S, R-1-W
 of the 6th P.M., Sedgwick County, Kansas.

Existing easements and dedications being vacated by virtue
 of K.S.A. 12-512(b).

Baughman Company, P.A.

LIBRARY COPY
 SEDGWICK COUNTY, KANSAS
 REGISTER OF DEEDS

Michael G. Conrey
 Michael G. Conrey, Surveyor
 (Seal: MICHAEL G. CONREY, REGISTERED SURVEYOR, KANSAS, LS-9719-1299)

Know all men by these presents that we,
 the undersigned, have caused the land in the surveyors certificate to be
 platted into a Lot and Reserves to be known as "RIDGE PORT NORTH 2ND
 ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are
 hereby granted as indicated for the construction and maintenance of all
 public utilities. The drainage and utility easements are hereby granted
 as indicated for drainage purposes and for the construction and maintenance
 of all public utilities. The wall easements are hereby granted as indicated
 for the construction and maintenance of a private screening wall and utility
 main lines and service lines shall be allowed to cross these easements.
 Reserves "A" and "B" are hereby reserved for drainage purposes, lakes,
 landscaping, open space, berms, gazebos, screening walls, sidewalks, and
 utilities as confined to easements. Reserves "A" and "B" shall be owned
 and maintained by the owner of Lot 1. Access controls shall be as depicted
 on the face of the plat. The Minimum Building Pad Elevations for the lowest
 opening to the structures shall be as indicated on the face of the plat.

R & R Realty, LLC

Jay W. Russell
 Jay W. Russell, Manager

Ritchie Associates, Inc.

Kevin M. Mullen
 Kevin M. Mullen, President

Via Christi Property Services, Inc.

David M. Mohr
 David M. Mohr, President

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me,
 this 12th day of OCTOBER, 1999, by Jay W. Russell, Manager of
 R & R Realty, LLC, on behalf of the company.

Judith M. Terhune
 JUDITH M. TERHUNE, Notary Public
 My App't. Exp. 11-7-2001

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me,
 this 12th day of OCTOBER, 1999, by Kevin M. Mullen, President of
 Ritchie Associates, Inc., as Manager of R & R Realty, LLC, on behalf of
 the company.

Diane M. Stalbaum
 DIANE M. STALBAUM, Notary Public
 My App't. Exp. 2/14/2003

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me,
 this 12th day of OCTOBER, 1999, by David M. Mohr, President of
 Via Christi Property Services, Inc., on behalf of the corporation.

Philip J. Meyer
 PHILIP J. MEYER, Notary Public
 My App't. Exp. 5/5/01

PHILIP J. MEYER
 NOTARY PUBLIC
 STATE OF KANSAS

William M. Johnson
 William M. Johnson, Chairman
Marvin S. Krout
 Marvin S. Krout, Secretary

This plat approved and all dedications shown
 hereon accepted by the City Council of the City of Wichita, Kansas,
 this 23 day of NOVEMBER, 1999.

Bob Knight
 Bob Knight, Mayor
Pat Burnett
 Pat Burnett, City Clerk

Entered on transfer record this 14th day
 of December, 1999.
James Allford
 James Allford, County Clerk

Reviewed in accordance with K.S.A. 58-2005
 on this 3rd day of November, 1999.

Tricia L. Robello
 Tricia L. Robello, L.S. #1246
 Deputy County Surveyor
 Sedgwick County, Kansas

State of Kansas) SS
 Sedgwick County) This is to certify that this plat has been
 filed for record in the office of the Register of Deeds, this 14th day
 of December, 1999, at 12:00 o'clock P.M., and is duly recorded.

Bill Meek
 Bill Meek, Register of Deeds
Linda Kizzire
 Linda Kizzire, Deputy

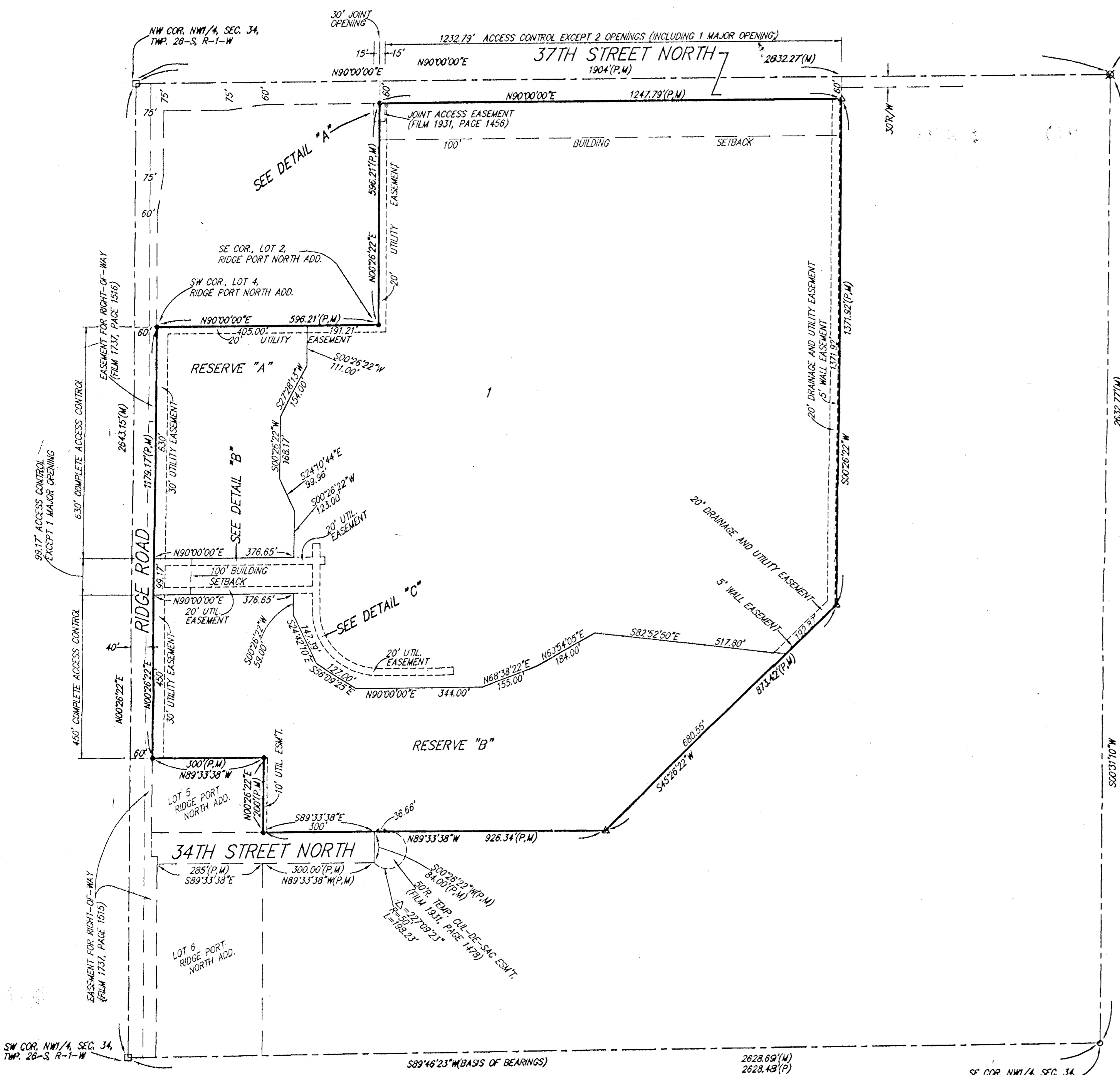
1850191

We the undersigned, holders of a mortgage on
 the above described property, do hereby consent to this plat of "RIDGE
 PORT NORTH 2ND ADDITION", Wichita, Sedgwick County, Kansas.
 Intrust Bank, N.A.

Gary D. Schmitt
 GARY D. SCHMITT, Senior V.P.
 (Title)

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before
 me, this 14th day of OCTOBER, 1999, by GARY D. SCHMITT,
 SENIOR V.P. of the Intrust Bank, N.A., on behalf of the bank.

Judith M. Terhune
 JUDITH M. TERHUNE, Notary Public
 My App't. Exp. 11-7-2001



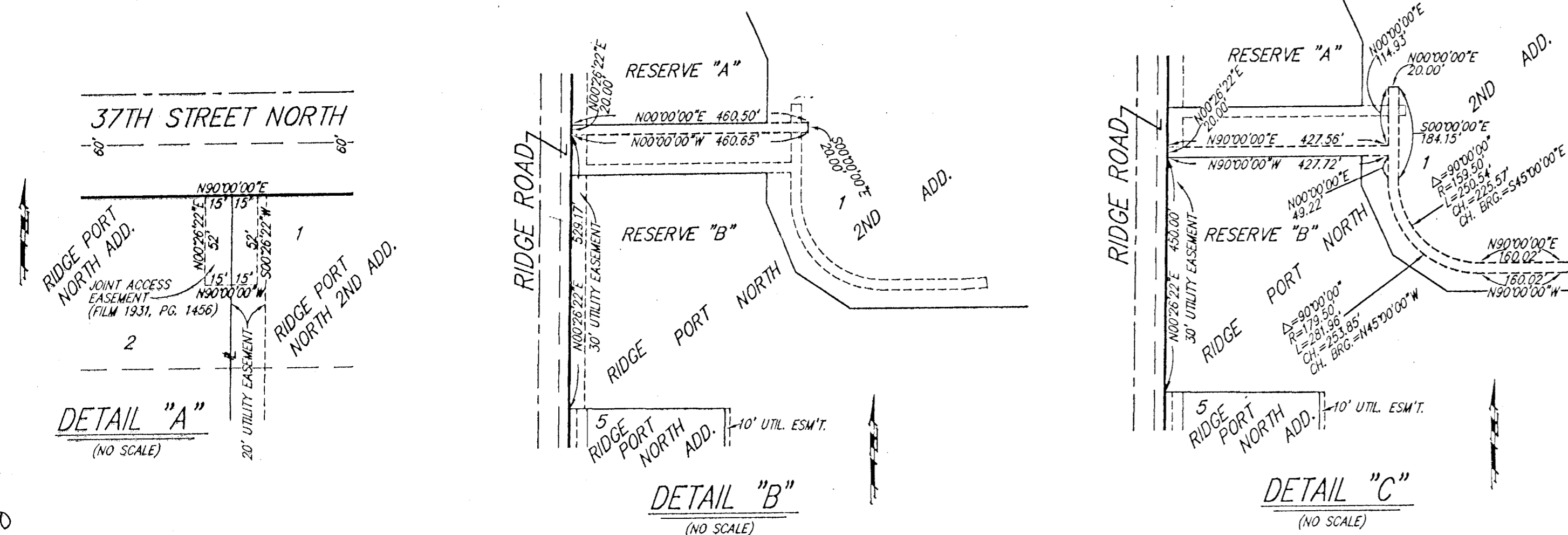
(M) = MEASURED
 (P) = PLATTED

Δ = #1 REBAR W/ "BAUGHMAN" CAP (FOUND)
 ● = #4 REBAR W/ "BAUGHMAN" CAP (SET)
 ○ = 3/8" IRON (FOUND)
 □ = RAILROAD SPIKE (FOUND)
 ⊠ = NAIL IN 1/2" IRON (FOUND)

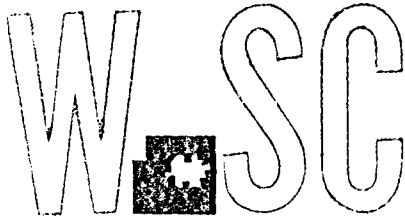
NOTE:
 ADDITIONAL BUILDING SETBACK REQUIREMENTS
 PER COMMUNITY UNIT PLAN DP-237.

MINIMUM BUILDING PAD ELEVATION FOR LOWEST OPENING TO THE STRUCTURES	
LOT	ELEVATION (CITY DATUM)
1	144.6

BENCHMARK:
 CITY DSD - SW COR. RIDGE RD. & 29TH ST. NO.,
 60.8' S. & 63.7' W. OF E. BOTH,
 ELEV. = 139.15 CITY DATUM (1326.55 M.S.L.)



WICHITA — SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

January 15, 1999

Baughman Company, P.A.
315 Ellis
Wichita, KS 67211

RE: S/D 98-121 -- One-Step Final Plat of RIDGE PORT NORTH ADDITION

At the regular meeting of the Metropolitan Area Planning Commission on January 14, 1999, the above captioned plat was considered. The action of the Planning Commission was to recommend that the plat be approved as recommended by the Subdivision Committee subject to the conditions stated in our letter of January 4, 1999..

In addition to complying with those conditions, it is necessary that you meet the following requirements before this plat can be forwarded to the City Council and/or County Commission for consideration:

1. Submission of the fully completed and signed tracing of the subdivision, along with four (4) copies, to the Metropolitan Area Planning Department.
2. Submission of a check, made out to the Register of Deeds, covering the costs of any documents to be recorded as a requirement of platting.
3. Subdivision regulations now require a detailed Lot Grading Plan be submitted to Engineering prior to the tracing being released. This applies to all multi-lot and residential developments.
4. Submission of a disk to the Planning Department detailing the final plat in digital format in Release 13 Version of Autocad. This will be used by the City and County GIS Departments.

January 15, 1999

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If you have any questions concerning this matter, please call.

Sincerely,

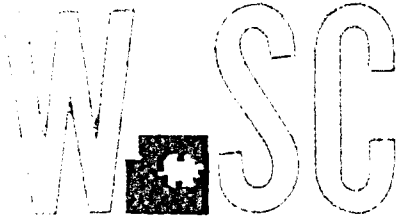
A handwritten signature in black ink that reads "Neil Evan Strahl". The signature is written in a cursive, flowing style.

Neil Evan Strahl, AICP
Senior Planner, Current Plans Division

NES:ch

Copies to: Ken-Win Farms, Inc., Attn: Bruce Ott, 2078 S. Fieldcrest, Wichita, KS 67209
Jay W. Russell (Contract Purchaser), 12602 W. 13th, Wichita, KS 67235
Ritchie Associates, Attn: Rob Ramseyer (Contract Purchaser), 8100 E. 22nd,
Suite 1000, Wichita, KS 67226
Mike Lindebak, City Engineering, Mail Stop
Jim Weber, PE-Director, Sewer Operations & Maintenance Department,
Bureau of Public Services, 1144 S. Seneca, Wichita, KS 67213

WICHITA — SEDGWICK COUNTY



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

January 4, 1999

Baughman Company, P.A.
315 Ellis
Wichita, KS 67211

RE: S/D 98-121 -- One-Step Final Plat of RIDGE PORT NORTH ADDITION

At the regular meeting of the Subdivision Committee of the Metropolitan Area Planning Commission on Thursday, December 31, 1998, the above captioned plat was considered. The action of the Committee was to approve the plat, subject to:

- A. This property is beyond the Northwest service boundary area for sewer services. City Engineering should comment on the feasibility of provision of sanitary sewer services. City Engineering needs to confirm that the northwest sewer service boundary area has been extended. The applicant shall participate in the petition for the lift station.
The applicant shall submit a request for annexation as the site adjoins Wichita's City limits.
- B. The Applicant shall guarantee the extension of City water to serve the lots being platted.
- C. City/County Engineering shall comment on the need for any additional guarantees or easements. The platted off-site utility easements will need to be established by separate instrument. A cross-lot drainage agreement and an off-site drainage easement are required. A covenant needs to be submitted restricting development until a FEMA map amendment is obtained.
- D. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- E. City Engineering needs to comment on the status of the applicant's drainage plan. The minimum building pads need to be revised.
- F. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.

- G. The applicant shall guarantee the installation of the proposed new street, and paving improvements to 37th St. North.
- H. The CUP required guarantees for right and left turn decel and storage lanes at the two major accesses to Lot 1. Left turn lanes were required for the southbound and westbound left turns at the intersection of 37th Street and Ridge Road. The applicant will also need to participate in the guarantee for the installation of traffic signals at the intersection. Traffic Engineering needs to verify the need for these or other improvements.
- I. In accordance with the CUP, the plat shall denote a wall easement where the plat adjoins residential uses except where a minimum of 300 feet of reserve area has been platted. The plat's text shall reference the wall easement.
- J. In accordance with the CUP, the plat denotes five access openings along Ridge Road, including two joint openings. The plat denotes four access openings to 37th St. North, including one joint opening. The CUP required two joint access openings along 37th St. North, and the final plat tracing should be revised to reflect the required joint access opening between lots 1 and 2. The joint access easements will need to be established by separate instrument. The two joint access openings on Ridge and 37th St. within the widened intersection are restricted to right-turns only.
- K. In accordance with the CUP, cross lot access agreements are required to assure internal vehicular movement between lots.
- L. The applicant is reminded that a platting binder is required with the final plat. Approval of this plat will be subject to submittal of this binder and any relevant conditions found by such a review.
- M. County Fire needs to comment on the acceptability of the street name. The street name needs to be changed.
- N. County Fire needs to comment on the need for a temporary turnaround for the interior street. A turnaround is needed.
- O. Provisions shall be made for ownership and maintenance of the proposed reserves. The applicant shall either form a lot owners' association prior to recording the plat or shall submit a covenant stating when the association will be formed, when the reserves will be deeded to the association and who is to own and maintain the reserves prior to the association taking over those responsibilities.
- P. For those reserves being platted for drainage purposes, the required covenant which provides for ownership and maintenance of the reserves shall grant, to the appropriate governing body, the authority to maintain the drainage reserves in the event the owner(s) fail to do so. The covenant shall provide for the cost of such maintenance to be charged back to the owner(s) by a method similar to special assessments.
- Q. The final plat tracing should indicate that this plat is subject to DP-227.
- R. A CUP Certificate shall be submitted for recording with the Register of Deeds identifying the approved CUP (referenced as DP-227) and its special conditions for development on this property.

- S. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- T. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- U. To receive mail delivery without delay, and to avoid unnecessary expense, the applicant is advised of the necessity to meet with the U.S. Postal Service Growth Management Coordinator (phone 316-729-0102) prior to development of the plat so that the type of delivery, and the tentative mailbox locations can be determined.
- V. The applicant is advised that various State and Federal requirements [specifically but not limited to the Army Corps of Engineers, Kanopolis Project Office, Rt. 1, Box 317, Valley Center, KS 67147] for the control of soil and wind erosion and the protection of wetlands may impact how this site can be developed. It is the applicant's responsibility to contact all appropriate agencies to determine any such requirements.
- W. The owner of the subdivision should be aware of the fact that the development of any subdivision greater than five (5) acres in size may require an NPDES Storm Water Discharge Permit from the Kansas Department of Health and Environment in Topeka. Further, on all construction sites, the City of Wichita requires that best management practices be used to reduce pollutant loadings in storm water runoffs.
- X. Perimeter closure computations shall be submitted with the final plat tracing.
- Y. Recording of the plat within thirty (30) days after approval by the City Council and/or County Commission.
- Z. The representatives from the utility companies should be prepared to comment on the need for any additional utility easements to be platted on this property. *Southwestern Bell requests additional easements.*
- AA. The applicant is reminded that a disk shall be submitted with the final plat tracing to the Planning Department detailing this plat in digital format in Release 13 version of Autocad. This will be used by the City and County GIS Department.

If this plat requires the guaranteeing of improvements a list of the five methods which have been adopted as being acceptable is available through the Planning Department. Also, certificates which are required if petitions are submitted and forms for the bond and irrevocable Letter of Credit are also available from this office.

The enclosed "marked" copy of the final plat is for your information and files.

This matter will be forwarded to the Planning Commission for its consideration on Thursday,

S/D 98-121 -- One-Step Final Plat of RIDGE PORT NORTH ADDITION

January 4, 1999

Page 4

January 14, 1999, at 1:30 p.m.

If you have any questions concerning this matter, please call.

Sincerely,

A handwritten signature in black ink that reads "Neil Evan Strahl". The signature is written in a cursive style with a large, prominent "N" and "S".

Neil Evan Strahl, AICP
Senior Planner, Current Plans Division

NES:ch

Enclosure: Marked Copy of Plat

Copies to: Ken-Win Farms, Inc., Attn: Bruce Ott, 2078 S. Fieldcrest, Wichita, KS 67209
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Bureau of Public Services, 1144 S. Seneca, Wichita, KS 67213

STAFF REPORT
(One-Step Final Plat)

CASE NUMBER: S/D 98-121 - RIDGE PORT NORTH ADDITION

OWNER/APPLICANT: Ken-Win Farms, Inc., Attn: Bruce Ott, 2078 S. Fieldcrest, Wichita, KS 67209; Jay W. Russell (Contract Purchaser), 12602 W. 13th, Wichita, KS 67235, Ritchie Associates, Attn :Rob Ramseyer (Contract Purchaser), 8100 E. 22nd, Suite 1000, Wichita, KS 67226

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: Southeast corner of 37th St. North and Ridge Road

SITE SIZE: 82.97 acres

NUMBER OF LOTS

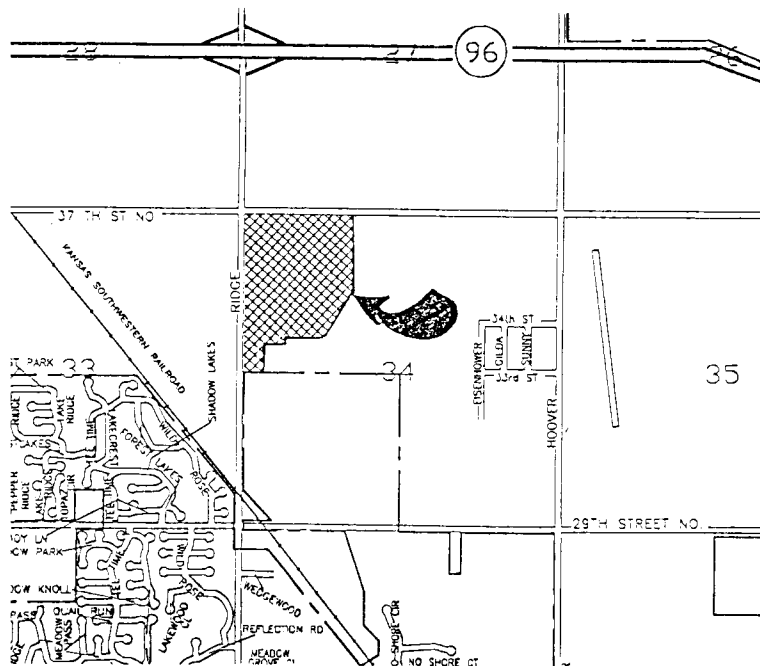
Residential:	
Office:	1
Commercial:	5
Industrial:	=
Total:	6

MINIMUM LOT AREA: 40,100 sq. ft.

CURRENT ZONING: SF-20, Single-Family Residential

PROPOSED ZONING: LC, Limited Commercial (Lots 2-6)
GO, General Office (Lot 1)

VICINITY MAP



Note: This site is located in the County adjoining Wichita's City limits. A zone change (SCZ-0777) from SF-20, Single-Family Residential to LC, Limited Commercial has been approved for this site subject to platting. This site is also subject to the Ridge Port North Community Unit Plan (DP-237).

STAFF COMMENTS:

- A. This property is beyond the Northwest service boundary area for sewer services. **City Engineering** should comment on the feasibility of provision of sanitary sewer services. **City Engineering needs to confirm that the northwest sewer service boundary area has been extended. The applicant shall participate in the petition for the lift station.**
- The applicant shall submit a request for annexation as the site adjoins Wichita's City limits.**
- B. The Applicant shall guarantee the extension of City water to serve the lots being platted.
- C. **City/County Engineering** shall comment on the need for any additional guarantees or easements. The platted off-site utility easements will need to be established by separate instrument. **A cross-lot drainage agreement and an off-site drainage easement are required. A covenant needs to be submitted restricting development until a FEMA map amendment is obtained.**
- D. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning department for recording.
- E. **City Engineering** needs to comment on the status of the applicant's drainage plan. **The minimum building pads need to be revised.**
- F. This property is within a zone identified by the City Engineers' office as likely to have groundwater at some or all times within 10 feet of the ground surface elevation. Building with specially engineered foundations or with the lowest floor opening above groundwater is recommended, and owners seeking building permits on this property will be similarly advised. More detailed information on recorded groundwater elevations in the vicinity of this property is available in the City Engineers' office.
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