

EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

State of Kansas) SS We, Baughman Company, P.A., Surveyors in aforesaid
Sedgwick County) county and state do hereby certify that we have surveyed and platted "EDGE
WATER ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying
plat is a true and correct exhibit of the property surveyed, described as follows:
That part of Government Lot 1 and that part of the SE1/4 of the NE1/4 of Sec.
27, Twp. 26-S, R-1-W of the 6th P. M., Sedgwick County, Kansas, described as
beginning at the SE corner of said NE1/4; thence North along the East line of
said NE1/4, 300 feet; thence West parallel with the South line of said NE1/4, 130
feet; thence North parallel with the East line of said NE1/4, 150 feet; thence
East parallel with the South line of said NE1/4, 130 feet; thence North along the
East line of said NE1/4, 650 feet; thence West parallel with the South line of
said NE1/4, 208 feet; thence North parallel with the East line of said NE1/4, 208
feet; thence East parallel with the South line of said NE1/4, 208 feet; thence
North along the East line of said NE1/4, 325.99 feet, more or less, to a point
700 feet South of the NE corner of said Government Lot 1; thence West parallel
with the North line of said Government Lot 1, 311.14 feet; thence North parallel
with the East line of said NE1/4, 420 feet; thence East parallel with the North
line of said Government Lot 1, 311.14 feet; thence North along the East line of
said NE1/4, 280 feet to the NE corner of said Government Lot 1; thence West
along the North line of said Government Lot 1, 893.93 feet, more or less, to a
point 417.42 feet East of the NW corner of said Government Lot 1; thence South
parallel with the West line of said Government Lot 1, 208.71 feet; thence West
parallel with the North line of said Government Lot 1, 417.41 feet to a point on
the West line of said Government Lot 1; thence South along the West line of said
Government Lot 1 and the West line of the SE1/4 of said NE1/4 to the SW corner
of the SE1/4 of said NE1/4; thence East to the place of beginning, EXCEPT that
part taken for highway purposes in Deed Book 1377, Page 307, and EXCEPT that
part described as beginning at the SE corner of said NE1/4; thence North along
the East line of said NE1/4, 300 feet; thence West parallel with the South line of
said NE1/4, 130 feet; thence North parallel with the east line of said NE1/4, 150
feet; thence West parallel with the South line of said NE1/4, 78 feet; thence
South parallel with the East line of said NE1/4, 450 feet to the South line of
said NE1/4; thence East along the South line of said NE1/4, 208 feet to the
place of beginning, and EXCEPT that part taken for highway purposes in Deed
Book 1377, Page 307, TOGETHER with Government Lot 2 and the SW1/4 of the
NE1/4 of Sec. 27, Twp. 26-S, R-1-W of the 6th P.M., Sedgwick County, Kansas,
EXCEPT that part taken for State Highway purposes in District Court Case No.
C-8172-66 along the south, TOGETHER with that part of Government Lots 3 and
6 and that part of the SE1/4 of the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of the
6th P.M., Sedgwick County, Kansas lying within the following described tract of
land: The E1/2 of the E1/2 of the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of the
6th P.M., Sedgwick County, Kansas, EXCEPTING as it may affect the above
described tract, the following described property: A tract of land in the SE1/4 of
the NW1/4 of Sec. 27, Twp. 26-S, R-1-W described as follows: Beginning at the
SE corner of said Quarter Section; thence North along the East line of said
Quarter Section, 227.3 feet, said East line having a bearing of N00°18'W; thence
S89°46'W, 514.4 feet; thence N87°22'W, 300.4 feet; thence S89°46'W to a point
on the west line, 237.7 feet North of the SW corner of the SE1/4 of the NW1/4;
thence S00°24'E, 237.7 feet along said West line to the south line of said Quarter
Section; thence N89°58'E along said South line to the place of beginning, and
EXCEPT that part of said Government Lots 3 and 6 lying within the following
described tract of land: A tract in the NW1/4 of Sec. 27, Twp. 26-S, R-1-W of
the 6th P.M., Sedgwick County, Kansas described as beginning at the NW corner
of the E1/2 of the E1/2 of said NW1/4; thence south along the West line of said
E1/2 of the E1/2 of said NW1/4, 386.25 feet; thence east parallel with the North
line of said NW1/4, 244.55 feet; thence north parallel with the West line of the
E1/2 of the E1/2 of said NW1/4, 386.25 feet to a point on the North line of
said NW1/4; thence west, 244.55 feet to the point of beginning, TOGETHER with
that part of Government Lot 5, Sec. 27, Twp. 26-S, R-1-W of the 6th P.M.,
Sedgwick County, Kansas described as follows: Beginning at the SW corner of
said Government Lot 5; thence N01°18'49"W along the west line of said
Government Lot 5, 257.48 feet; thence S52°42'55"E, 239.48 feet to the P.C. of a
curve to the left; thence southeasterly and easterly along said curve, having a
central angle of 37°51'14" and a radius of 240.00 feet, an arc distance of 158.56
feet, (having a chord length of 155.69 feet bearing S71°38'32"E), to the P.T. of
said curve, said P.T. also being 60.00 feet normally distant north of the south line
of said Government Lot 5; thence N89°25'51"E parallel with the south line of said
Government Lot 5, 978.82 feet; thence N89°06'08"E parallel with the south line of
said Government Lot 5, 1000.28 feet to a point 311.00 feet normally distant west
of the east line of said Government Lot 5; thence S00°41'04"E parallel with the
east line of said Government Lot 5, 60.00 feet to a point on the south line of
said Government Lot 5; thence S89°06'08"W along the south line of said
Government Lot 5, 1000.23 feet to a deflection corner in said south line; thence
S89°25'51"W along the south line of said Government Lot 5, 1312.02 feet to the
point of beginning, all being subject to road rights-of-way of record.

Existing public easements and dedications
being vacated by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael D. Conrey, Surveyor
Michael G. Conrey

Know all men by these presents that we, the
undersigned, have caused the land in the surveyors certificate to be platted into
Lots, Blocks, Streets, and Reserves to be known as "EDGE WATER ADDITION",
Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as
indicated for the construction and maintenance of all public utilities. The drainage
easements are hereby granted as indicated for drainage purposes. The drainage
and utility easements are hereby granted as indicated for drainage purposes and
for the construction and maintenance of all public utilities. The pedestrian access
easements are hereby granted as indicated for pedestrian access purposes and no
fences or other obstructions shall be constructed or placed on or within these
easements. The utility and pedestrian access easement is hereby granted as
indicated for the construction and maintenance of all public utilities and for
pedestrian access purposes and no fences or other obstructions shall be
constructed or placed on or within this easement. The wall easements are hereby
granted as indicated for the construction and maintenance of private screening
walls and utility main lines and service lines shall be allowed to cross these
easements. The streets are hereby dedicated to and for the use of the public.
The contingent street dedication within Reserve "J" shall become effective in the
event that the City of Wichita determines a need for the right-of-way for any
street related purposes. The contingent street dedication within said Reserve "J"
shall be a covenant running with the land and shall be binding on all heirs and
subsequent owners of all parts of said property covered by said contingent street
dedication. Reserves "A", "B", and "C" are hereby reserved for entry monuments,
landscaping, drainage purposes, open space, utilities, and streets. The public shall
not bear the cost of any repair or replacement of improvements within said
Reserves "A", "B", and "C" adversely affected by street construction, repair, or
maintenance. Reserve "D" is hereby reserved for entry monuments, open space,
landscaping, drainage purposes, screening walls, and sidewalks. Reserve "E" is
hereby reserved for entry monuments, open space, landscaping, drainage purposes,
screening walls, sidewalks, and pipelines as confined to easement. Reserve "F" is
hereby reserved for open space, landscaping, drainage purposes, gazebos, entry
monuments, lakes, screening walls, and sidewalks. Reserve "G" is hereby reserved
for open space, landscaping, drainage purposes, gazebos, entry monuments, lakes,
screening walls, utilities as confined to easements, sidewalks, and pipelines as
confined to easement. Reserve "H" is hereby reserved for open space, landscaping,
gazebos, lakes, sidewalks, utilities as confined to easements, and drainage
purposes. Reserve "I" is hereby reserved for open space, landscaping, sidewalks,
drainage purposes, utilities as confined to easements, playgrounds, swimming
pools and related facilities, recreational areas, gazebos, and parking. Reserve "J"
is hereby reserved for open space, landscaping, sidewalks, berms, drainage
purposes, and a contingent street dedication. Reserve "K" is hereby reserved for
open space, landscaping, drainage purposes, screening walls, and pipelines as
confined to easement. Reserves "A", "B", "C", "D", "E", "F", "G", "H", "I", "J",
and "K" shall be owned and maintained by the homeowners association for the
addition. Access controls shall be as depicted on the face of the plat and are
hereby granted to the City of Wichita, Kansas. The Minimum Building Pad
Elevations for the lowest opening to the structures shall be as indicated on the
face of the plat.

R & R Realty, LLC,
a Kansas limited liability company

Jay W. Russell, Manager
Ritchie Associates, Inc., Manager
Kevin M. Mullen, President

State of Kansas) SS The foregoing instrument acknowledged before me,
Sedgwick County) this 8TH day of MAY, 2007, by Jay W. Russell, Manager of
R & R Realty, LLC, a Kansas limited liability company, on behalf of the
limited liability company.

JUDITH M. TERHUNE
Notary Public - State of Kansas
My Appt. Expires 11-7-09

Judith M. Terhune, Notary Public
JUDITH M. TERHUNE

My App't. Exp. 11-7-09

State of Kansas) SS The foregoing instrument acknowledged before me,
Sedgwick County) this 11TH day of May, 2007, by Kevin M. Mullen, President of
Ritchie Associates, Inc., as Manager of R & R Realty, LLC, a Kansas limited
liability company, on behalf of the limited liability company.

ANGIE M. SIZEMORE
Notary Public - State of Kansas
My Appt. Expires 7-25-07

Angie M. Sizemore, Notary Public
ANGIE M. SIZEMORE

My App't. Exp. 7-25-07

We, the undersigned holders of a mortgage on the
above described property, do hereby consent to this plat of "EDGE WATER
ADDITION", Wichita, Sedgwick County, Kansas.

Legacy Bank

BRICE MALLOY, (Title)

State of Kansas) SS The foregoing instrument acknowledged be-
fore me, this 15TH day of May, 2007, by Brice Malloy,
J.P. of Legacy Bank, on behalf of the bank.

LISA A. PISKA
NOTARY PUBLIC
STATE OF KANSAS
My App. Exp. 12-31-2009

My App't. Exp. 01-12-2009

LISA A. PISKA, Notary Public

This plat of "EDGE WATER ADDITION", Wichita,
Sedgwick County, Kansas has been submitted to and approved by the
Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita,
Kansas.

Dated this _____ day of _____, 2007.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Darrell A. Downing, Chair

John L. Schlegel, Secretary

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Wichita,
Kansas, this _____ day of _____, 2007.

Carl Brewer, Mayor

Karen Sublett, City Clerk

Reviewed in accordance with K.S.A. 58-2005
on this _____ day of _____, 2007.

Tricia L. Robello, L.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

Entered on transfer record this _____ day
of _____, 2007.

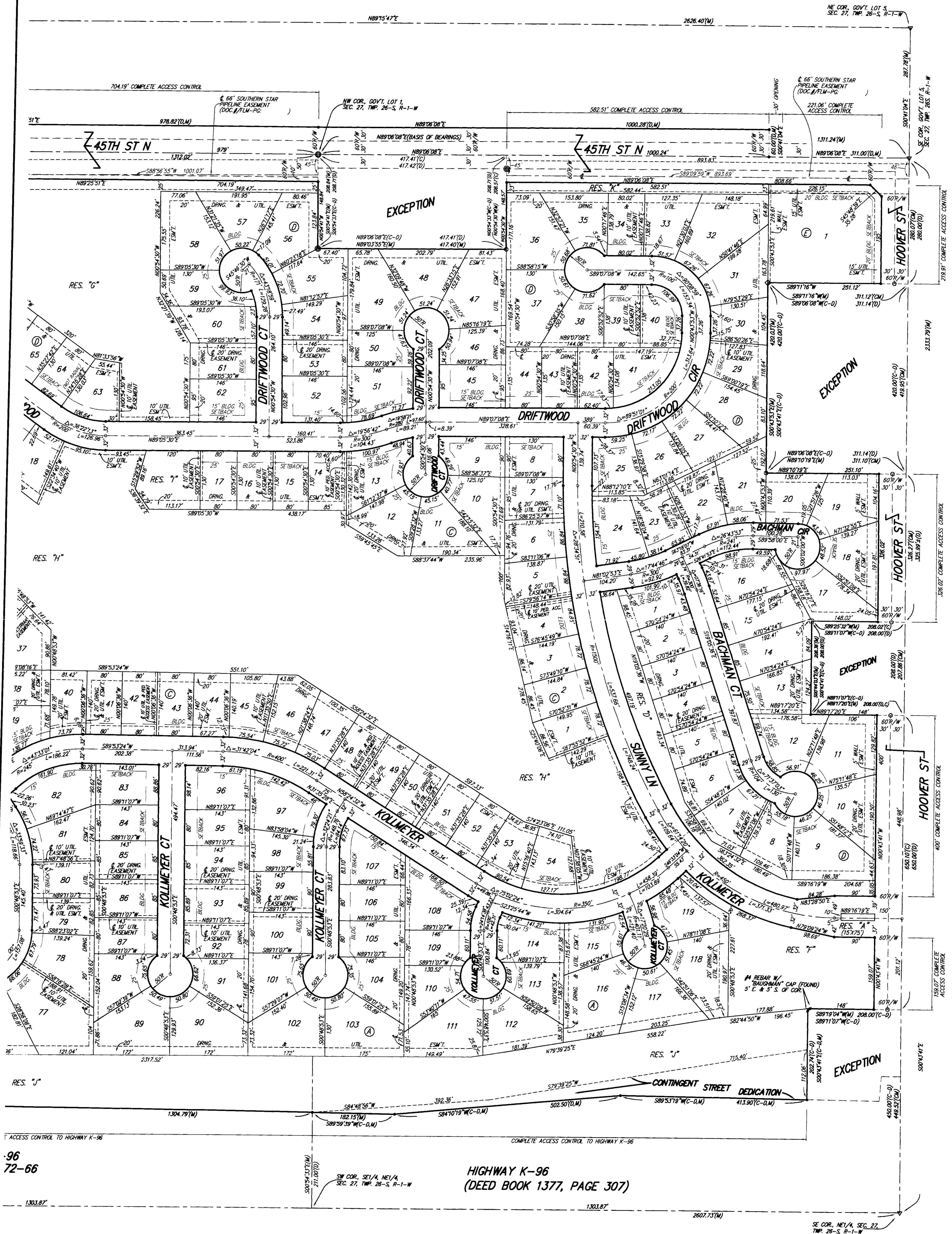
Don Brace, County Clerk

State of Kansas) SS This is to certify that this plat has been
Sedgwick County) filed for record in the office of the Register of Deeds, this _____ day
of _____, 2007 at _____ o'clock _____ M., and is duly recorded.

Bill Meek, Register of Deeds

Tonya Buckingham, Deputy

EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



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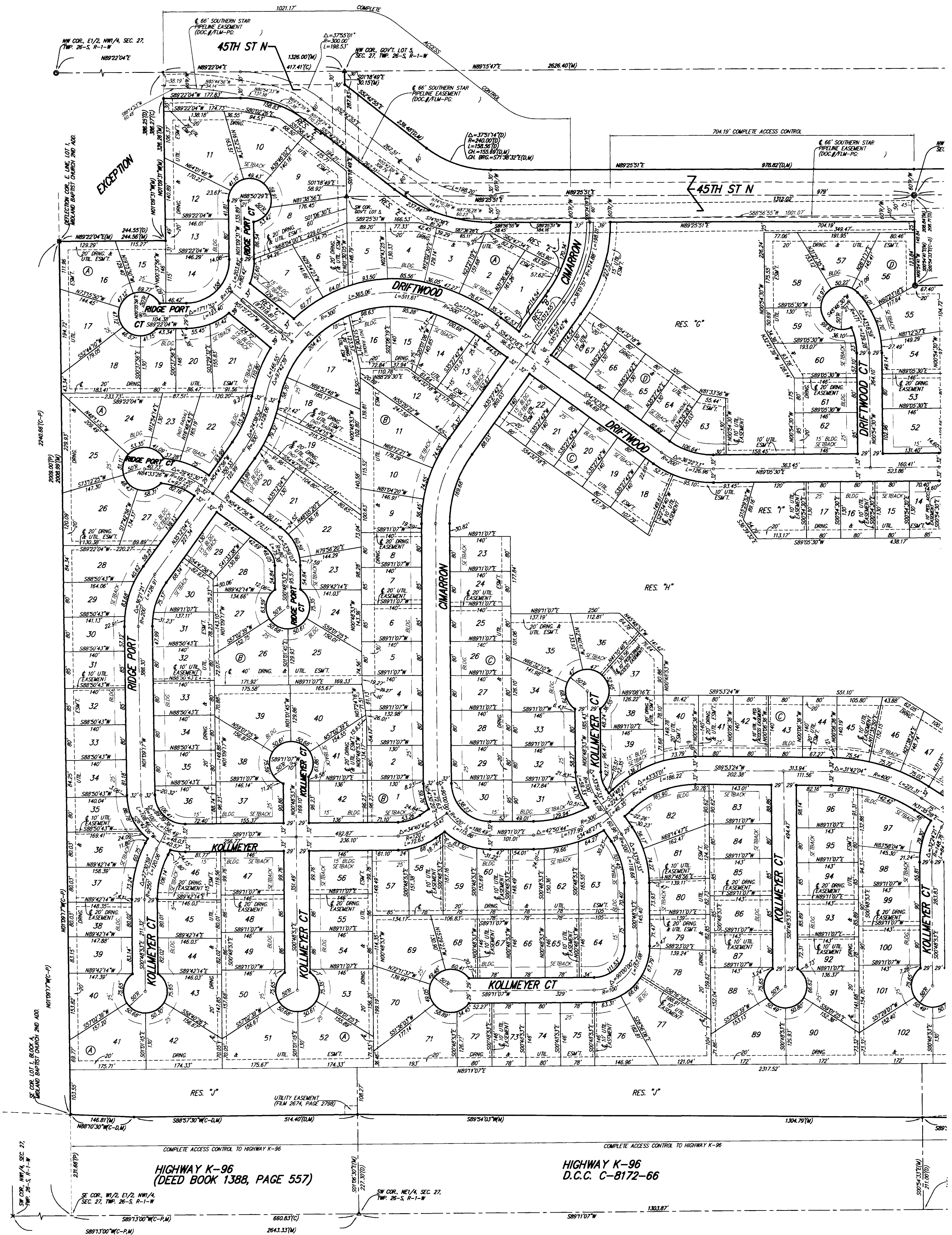
- #4 REBAR W/ "BAUGHMAN" CAP (SET)
- △ = STONE (FOUND)
- = 3/4" IRON (FOUND)
- = 1/2" IRON (FOUND)
- = #5 REBAR W/ "MUNICIPAL ENG." CAP (FOUND)
- ◇ = #4 REBAR W/ "SAVOY" CAP (FOUND)
- ▽ = #4 REBAR W/ "TILTS" CAP (FOUND)
- × = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- × = CROSS (FOUND)
- ▽ = #4 REBAR W/ "GARBER" CAP (FOUND)
- △ = #5 REBAR IN STONE (FOUND)

- (M) = MEASURED
- (D) = DESCRIBED
- (P) = PLATTED
- (C) = CALCULATED
- (CM) = CALCULATED PER MEASURED INFO
- (C-D) = CALCULATED PER DESCRIBED INFO
- (C-P) = CALCULATED PER PLATTED INFO

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION
118-119	A	1336.0
1-6, 10-25	C	1333.1
35-38, 40-54	C	1333.1
56-67	D	1333.1

BENCHMARK:
HOOPER AND 45TH ST. NORTH
COW BENCHMARK NE CORNER OF INTERSECTION
10.20 FT SSE OF PP
58.80 FT ESE OF PP ON NW CORNER
63.50 FT NE OF GAS LINE MARKER
28.50 FT EAST OF CENTERLINE
14.50 FT NORTH OF CENTERLINE
ELEVATION 1335.29 (NGVD 29)

EDGE WATER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- = #1 REBAR W/ "BAUGHMAN" CAP (SET)
- △ = STONE (FOUND)
- = 3/4" IRON (FOUND)
- = 1/2" IRON (FOUND)
- ◇ = #5 REBAR W/ MUNICIPAL ENG. CAP (FOUND)
- ◇ = #4 REBAR W/ "SAVOY" CAP (FOUND)
- = #4 REBAR W/ "TILES" CAP (FOUND)
- = #4 REBAR W/ "BAUGHMAN" CAP (FOUND)
- × = CROSS (FOUND)
- ▽ = #4 REBAR W/ "BARBER" CAP (FOUND)
- = #5 REBAR IN STONE (FOUND)

- (M) = MEASURED
- (D) = DESCRIBED
- (P) = PLATTED
- (C) = CALCULATED
- (CM) = CALCULATED PER MEASURED INFO
- (C-D) = CALCULATED PER DESCRIBED INFO
- (C-P) = CALCULATED PER PLATTED INFO

LOT	BLOCK	ELEVATION
118-119	A	1336.0
1-6, 10-25	C	1333.1
35-38, 40-54	C	1333.1
56-67	D	1333.1

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COW BENCHMARK NE CORNER OF INTERSECTION
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58.80 FT ESE OF PP ON NW CORNER
85.50 FT NE OF GAS LINE MARKER
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ELEVATION 1335.29 (NGVD 29)