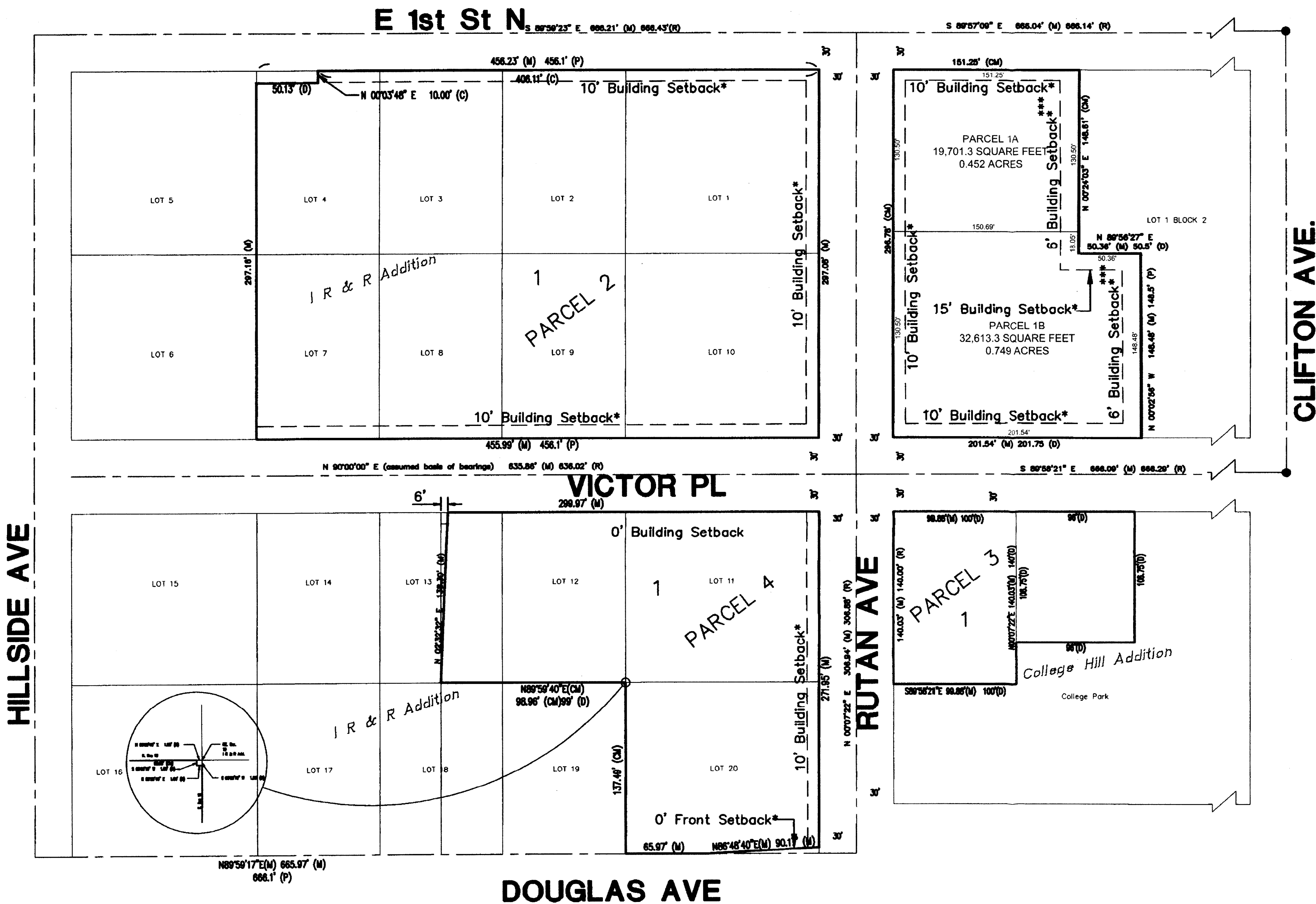


LEGEND

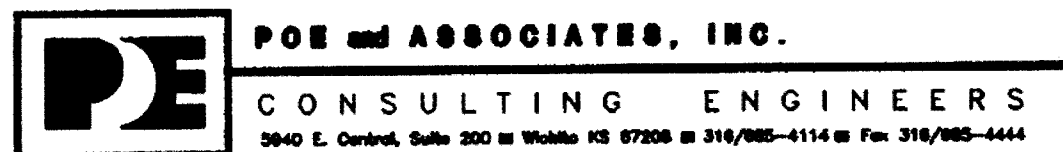
- Section corner found
○ Point found
● 5/8" bar w/POE cap set
(M) Measured distance
(CM) Calculated from Measured distance
(D) Deed distance



*NOTE: BUILDING SETBACKS ADJUSTED PER ADMINISTRATIVE ADJUSTMENT. SEE NOTE 28 AND LETTER DATED JANUARY 10, 2008.

***ADMINISTRATIVE ADJUSTMENT REDUCED SETBACK TO 6 FEET, SUBJECT TO LIMITATIONS OF GENERAL PROVISION 62E.

PARKING REQUIREMENTS	
USE	RATIO
RETAIL	1/500 SF
OFFICE	1/500 SF
RESTAURANT	1/8 OCCUPANTS
PERSONAL SERVICE	1/500 SF



PARCEL DESCRIPTIONS

PARCEL 1A (SEE ALSO NOTES 20, 21 & 26)
USES - ALL RESIDENTIAL AND COMMERCIAL USES PERMITTED BY RIGHT IN THE NR ZONING DISTRICT EXCEPT THAT THE FOLLOWING USES WILL NOT BE ALLOWED:
GROUP RESIDENCE, LIMITED, AND BROADCAST RECORDING STUDIO, AND PAY DAY LOANS OR SIMILAR BUSINESSES.
THE FOLLOWING USES SHALL BE ALLOWED:
NEIGHBORHOOD SWIMMING POOL AND UTILITY, MINOR.
GROSS LAND AREA - 19,701 s.f.
MAX. BUILDING HEIGHT - 45'
MAX. DENSITY D.U. - 21.8/ACRE

PARCEL 1B (SEE ALSO NOTES 20, 21 & 26)
USES - SAME AS PARCELS 1A & 1B
GROSS LAND AREA - 32,613 s.f.
MAX. BUILDING HEIGHT - 45'
MAX. DENSITY D.U. - 21.8/ACRE

PARCEL 2 (SEE ALSO NOTES 20 & 21)
USES - SAME AS PARCELS 1A & 1B
GROSS LAND AREA - 136,017 S.F.
MAX. BUILDING HEIGHT - 70'
MAX. DENSITY D.U. - 50/ACRE

PARCEL 3
USE - PARKING LOT
GROSS LAND AREA - 24,234 S.F.

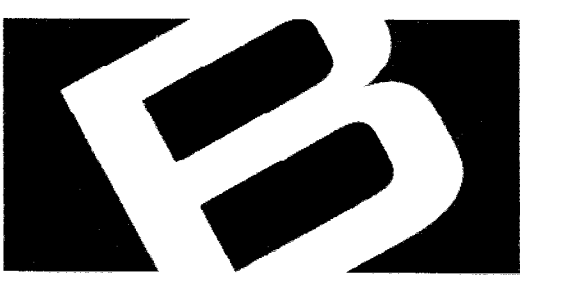
PARCEL 4 (SEE ALSO NOTES 20 & 21)
USES - SAME AS PARCELS 1A & 1B
GROSS LAND AREA - 63,322 S.F.
MAX. BUILDING HEIGHT - 70'
MAX. DENSITY D.U. - 55 DU/ACRE

GENERAL NOTES

- THIS MIXED-USE DEVELOPMENT CONTAINS 6.1± NET ACRES.
- LEGAL DESCRIPTION: LOTS 1-4, 7-12, THE EAST HALF OF LOT 13 & 20, L & R SUBDIVISION OF BLOCK 1 IN COLLEGE HILL ADDITION TO WICHITA, KANSAS; ALONG WITH THE WEST 100 FEET OF THE NORTH 140 FEET, COLLEGE PARK, COLLEGE HILL ADDITION TO WICHITA; AND ALONG WITH LOTS 2, 4, 6, 8, 10 AND 12, ROEMBACH'S ADDITION TO WICHITA, KANSAS; AND ALONG WITH THE WEST 50 FEET OF THE SOUTH HALF OF THE EAST HALF OF LOT 1, BLOCK 2, COLLEGE HILL ADDITION TO WICHITA; AND ALONG WITH THE NORTH HALF OF THE WEST HALF OF LOT 1, BLOCK 2, COLLEGE HILL ADDITION TO WICHITA. TO BE PLATTED AS LOTS 1 THRU 4, PARKSTONE ADDITION, ALONG WITH THE FOLLOWING DESCRIBED TRACT; COMMENCING AT THE NORTHWEST CORNER OF COLLEGE PARK, COLLEGE HILL ADDITION TO WICHITA, KANSAS; THENCE EAST ALONG THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 100 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 98 FEET; THENCE SOUTH PERPENDICULAR TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 106.75 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 98 FEET; THENCE NORTH PERPENDICULAR TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 106.75 FEET TO THE POINT OF BEGINNING.
- THE PROPOSED DEVELOPMENT CONTAINS 4 PARCELS WITH COMMERCIAL AND RESIDENTIAL USES. SEE PARCEL DESCRIPTIONS FOR SPECIFIC USES ON EACH PARCEL.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- FINAL DETERMINATION OF ANY PUBLIC IMPROVEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING.
- A PARKING RATIO OF 1:25 STALLS PER DU WILL BE REQUIRED WHEN RESIDENTIAL UNITS ARE PROVIDED. FOR OTHER USES, PLEASE REVIEW THE TABLE BELOW. ON-STREET PARKING IS ALLOWED AS PART OF THE OVERALL PARKING CALCULATION. ON ALL OTHER QUESTIONS OF ADMINISTRATIVE INTERPRETATION, THE STANDARDS FOR NR ZONING DISTRICT SHALL APPLY.
- THE TRANSFER OF THE TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE DEVELOPMENT DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR DEVELOPMENT AND BE BINDING UPON THE PRESENT LAND OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.
- ALL LIGHTING SHALL BE SHIELDED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL AREAS. CONSISTENT DESIGN FOR LIGHT FIXTURES SHALL BE USED THROUGHOUT THE DEVELOPMENT. SITE LIGHTING SHALL COMPLY WITH UZC SEC. IV-B.4.
- FIRE LANES SHALL BE IN ACCORDANCE WITH THE CITY FIRE CODE. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANES, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING. DURING THE SITE PLAN REVIEW, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE SHALL APPROVE THE SITE PLAN REGARDING THE DESIGN OF THE FIRE LANES.
- TRASH RECEPTACLES SHALL BE APPROPRIATELY SCREENED TO HIDE THEM FROM GROUND VIEW ON ALL PARCELS AND SCREENING SHALL BE OF SAME MATERIAL AND COLOR AS BUILDINGS.
- ROOF EQUIPMENT SCREENING SHALL BE PROVIDED PER UNIFIED ZONING CODE. ROOF TOP UNITS FOR COMMERCIAL USES SHALL BE PAINTED SAME COLOR AS ROOF.
- SIGNS - NO OFFSITE SIGNS, BILLBOARDS OR PORTABLE SIGNS ARE PERMITTED WITHIN THE PUD, AND NO SIGNS WITH ROTATING OR FLASHING LIGHTS SHALL BE PERMITTED. SIGNAGE SHALL BE IN ACCORDANCE WITH THE SIGN CODE FOR NR ZONING.
- BUILDING SIGNAGE SHALL BE PER THE SIGN CODE FOR THE NR ZONING DISTRICT.
- IF MULTIPLE OWNERSHIP IS ANTICIPATED, AN AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC., SHALL BE REQUIRED. EVIDENCE OF THE AGREEMENT SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- LANDSCAPE BUFFERS AND SCREENING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ORDINANCE OF THE CITY OF WICHITA. A LANDSCAPE PLAN PREPARED BY A LICENSED KANSAS LANDSCAPE ARCHITECT INDICATING THE LOCATION, TYPE, AND SPECIFICATION OF PLANT MATERIALS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR ITS REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S). A CONSISTENT PALETTE SHALL BE USED THROUGHOUT THE DEVELOPMENT. A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED FOR THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN INSTALLED.
- A PEDESTRIAN CIRCULATION SYSTEM, TO BE APPROVED BY THE PLANNING DIRECTOR AT THE TIME OF SITE PLAN REVIEW, SHALL BE PREPARED WHICH PROVIDES PEDESTRIAN CONNECTIONS FROM THE BUILDINGS WITHIN THE PUD TO THE SIDEWALKS ON PUBLIC RIGHT OF WAYS, AND PROVIDES CONNECTIONS BETWEEN THE BUILDINGS.
- ANY MAJOR CHANGES IN THIS PLANNED UNIT DEVELOPMENT SHALL BE SUBMITTED TO THE PLANNING COMMISSION AND TO THE GOVERNING BODY FOR THEIR CONSIDERATION.
- ALL BUILDINGS SHALL BE RESIDENTIAL IN CHARACTER EXCEPT WHEN FRONTING DOUGLAS. RESIDENTIAL ELEMENTS WILL GENERALLY CONSIST OF MULTI-LEVEL, MULTI-FAMILY BUILDINGS, LANDSCAPING, PARKING STRUCTURES AND OTHER TENANT AND GUEST AMENITIES. COMMERCIAL ELEMENTS MAY BE INTEGRATED OR MIXED WITH RESIDENTIAL USES WITHIN THE SAME STRUCTURE. ALL COMMERCIAL USES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT. THE COMPOSITION OF THE USES MAY BE MODIFIED IN CONFIGURATION OR PHASING.
- ALL BUILDINGS SHALL HAVE SIMILAR ARCHITECTURAL DESIGN AND SHARE EXTERIOR BUILDING MATERIALS AND COLORS TO CREATE A UNIFIED DEVELOPMENT.
- EXTERIOR BUILDING MATERIAL COLOR SCHEMES SHALL BE THE BUILDING ELEMENTS TOGETHER AND RELATE SEPARATE. PEDESTRIAN WITHIN THE SAME DEVELOPMENT TO EACH OTHER. EXTERIOR BUILDING COLORS ARE TO BE THE COLORS OF NATURAL BUILDING AND PLANT MATERIALS. VIVID OR INTENSE COLORS ARE TO BE USED AS ACCENT ONLY, NOT AS THE PREDOMINANT EXTERIOR COLOR FOR WALLS OR ROOFS. SIGNAGE IS EXEMPT FROM THE COLOR RESTRICTIONS.
- IF VISIBLE FROM GROUND LEVEL, ROOFING MATERIALS SHALL BE: ARCHITECTURAL COMPOSITION SHINGLES, COLORED STANDING SEAM METAL ROOF, WOOD, CONCRETE, CLAY, OR A MATERIAL WHICH SIMULATED THOSE MATERIALS. METAL AS AN EXTERIOR WALL FACADE IS PROHIBITED.
- NO BUILDING WALL THAT FACES A STREET SHALL HAVE A BLANK UNINTERRUPTED LENGTH EXCEEDING 30 FEET WITHOUT INCLUDING ARCHITECTURAL FEATURES SUCH AS COLUMNS, RISBS, PILASTER OR PIERS, CHANGES IN PLANE, CHANGES IN TEXTURE OR MASONRY PATTERN OR AN EQUIVALENT ELEMENT (ART OR MURAL) THAT SUBDIVIDES THE WALL INTO HUMAN SCALE PROPORTIONS. ANY WALL EXCEEDING 30 FEET IN LENGTH SHALL INCLUDE AT LEAST ONE CHANGE IN WALL PLANE, SUCH AS PROJECTIONS OR RECESSES, INCLUDE WINDOWS, ENTRANCE, ARCHES, ARBORS, AWNINGS, TRELLISES, LANDSCAPING OR ALTERNATE ARCHITECTURAL DETAIL ALONG NO LESS THAN 80 PERCENT OF THE FACADE.
- ALL BUILDINGS IN EXCESS OF TWO (2) STORIES SHALL PRESENT ARCHITECTURALLY A RECOGNIZABLE BASE, MIDDLE AND TOP, OR A CLEARLY DEFINED ALTERNATIVE BUILDING COMPOSITION.
 - A RECOGNIZABLE BASE MAY CONSIST OF THICKER WALLS, LEDGES OR SILLS, TEXTURED MATERIALS SUCH AS STUCCO, STONE OR MASONRY; PATTERNED MATERIALS SUCH AS SMOOTH-FINISHED STONE OR TILE; LIGHTER OR DARKER COLORED MATERIALS, MULLIONS OR PANELS.
 - A RECOGNIZABLE TOP MAY CONSIST OF CORNICE TREATMENTS WITH TEXTURED MATERIALS SUCH AS STUCCO, STONE OR OTHER MASONRY OR DIFFERENTLY COLORED MATERIALS; SLOPING ROOF WITH OVERHANGS AND BRACKETS OR STEPPED PARAPETS.
 - DUMPSTER SITES SHALL BE SCREENED PER THE ZONING CODES.
- BUILDING SETBACKS SHALL BE AS SHOWN ON THE PUD OR FOR THE NR DISTRICT IF NOT OTHERWISE SHOWN ON THE PUD. HOWEVER, WHEN PROVIDED, THE SETBACK FOR THE ENTIRE BLOCK SHALL BE UNIFORM AND EQUIDISTANT. COMPATIBILITY STANDARDS SHALL NOT BE APPLICABLE.
- NO COMMERCIAL USES SHALL BE PERMITTED TO FRONT ONTO FIRST STREET.
- RESTAURANTS LOCATED WITHIN THE PUD SHALL NOT EXCEED 6000 SQUARE FEET IN SIZE.
- ELIMINATED BY PUD AMENDMENT PUD2017-04 DATED: JULY 2017.
- ELIMINATED BY PUD AMENDMENT PUD2017-04 DATED: JULY 2017.
- WIRELESS COMMUNICATION FACILITIES SHALL BE SUBJECT TO THE STANDARDS FOR THE NR ZONING DISTRICT.
- UNLESS OTHERWISE INDICATED BY THE PUD DOCUMENT, THE USES, PROPERTY DEVELOPMENT STANDARDS, AND SPECIAL DEVELOPMENT STANDARDS SHALL BE PER THE UNIFIED ZONING CODE FOR THE NR NEIGHBORHOOD RETAIL ZONING DISTRICT, AND THE SITE DEVELOPMENT STANDARDS SHALL BE PER THE UNIFIED ZONING CODE REQUIREMENTS AS APPLICABLE TO THE NR NEIGHBORHOOD RETAIL DISTRICT.
- PARCELS 1A & 1B SHALL HAVE A MAXIMUM COMMERCIAL GROSS FLOOR AREA OF 4,000 S.F.. THE ENTIRE PROPOSED DEVELOPMENT SHALL NOT EXCEED 30,000 S.F. OF COMMERCIAL GROSS FLOOR AREA.
- A SIX FOOT TALL SCREENING WALL SHALL BE PROVIDED ON THE EAST EDGE OF PARCELS 1A & 1B.
- ANCILLARY ARCHITECTURAL FEATURES SUCH AS UNENCLOSED PORCHES, STOOPS, TURRETS, EAVES, PILLARS, BAYS, AND SIMILAR APPURTENANCES SHALL BE ALLOWED WITHIN THE BUILDING SETBACKS BUT NO CLOSER THAN 3 FEET TO THE PROPERTY LINE ON FRONT SETBACKS AND NO CLOSER THAN 8 FEET TO THE PROPERTY LINE ON SIDE YARD SETBACKS.
- PARKING STRUCTURES ON ALL PARCELS SHALL BE ALLOWED IN THE 10-FOOT BUILDING SETBACK BUT NO CLOSER THAN 3 FEET.

APPROVED PUD

MAPC 8/8/17
D.M. Clements
MAPC 7/6/17

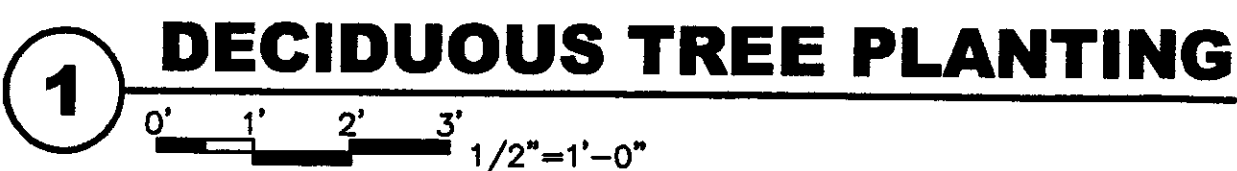


REVISED PER PUD2017-04 DATED 08/08/17

PARKSTONE

PLANNED UNIT DEVELOPMENT (PUD-26)

DATE OF PREPARATION 6/27/08 REVISED 06/23/08 REVISED PER PUD2011-04 REVISED PER PUD2016-02 DATED 04/14/16

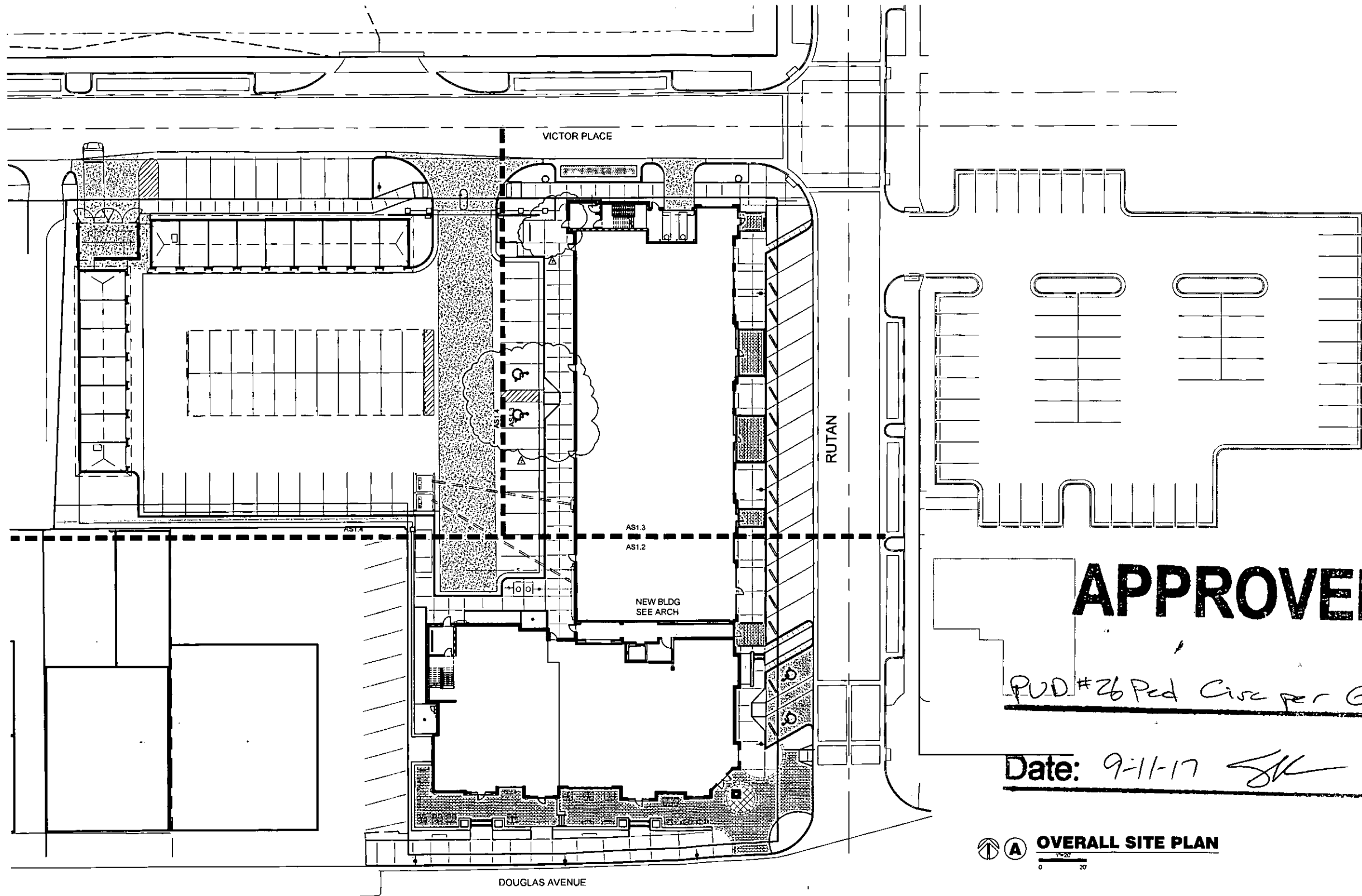


BI	14	BOSTON IVY	<i>Parthenocissus tricuspidata</i>	1 gallon	Container
EI	87	ENGLISH IVY	<i>Hedra helix</i>	4" pots ● 24" O.C.	Container
GV	22	VELVETY GERANIUMS	<i>Geranium renardii</i> 'velevety'	4" pots ● 12" O.C.	Container
HPV	189	HOMESTEAD PURPLE VERBENA	<i>Verbena canadensis</i> 'Homestead Purple'	4" pots ● 12" O.C.	Container
LF	26	LAVENDER 'FRENCH'	<i>Lavandula dentata</i> 'French'	4" pots ● 12" O.C.	Container
ML	350	MAJESTIC LIRIOPE	<i>Liriope muscari</i> 'Majestic'	1 gallon	Container
PMS	40	'MAY NIGHT' MEADOW SAGE	<i>Salvia nemorosa</i> 'May Night'	4" pots ● 24" O.C.	Container
	295 SF	ANNUALS			
	450 SY	FESCUE SOD			

**PARKSTONE
AT COLLEGE HILL**

PHASE ONE
WICHITA, KANSAS

634



APPROVED

PUD #26 Ped Circ per GP#16

Date: 9-11-17 SK

OVERALL SITE PLAN



SPANGENBERG PHILLIPS TICE
ARCHITECTURE
121 N Mead Ste 201 Wichita KS 67202
T 316.267.4002 F 316.267.1509
www.sptarchitecture.com



UPTOWN LANDING

DOUGLAS & RUTAN, WICHITA KS

CONDITL COMMENT
11 SEPT 17
PERMIT
28 JULY 17
OVERALL SITE PLAN

AS1.1



1 WEST ELEVATION - COLOR
3/32" = 1'-0"



2 SOUTH ELEVATION - COLOR
3/32" = 1'-0"



3 EAST ELEVATION - COLOR
3/32" = 1'-0"



4 GARAGE EAST ELEVATION - COLOR
3/32" = 1'-0"



5 GARAGE WEST ELEVATION - COLOR
3/32" = 1'-0"

APPROVED

PUD #26 Arch Rev per Note 1B

Date: 9-7-17 *[Signature]*

Page 1 of 3

PERMIT 28 JULY 17
COLORED ELEVATIONS

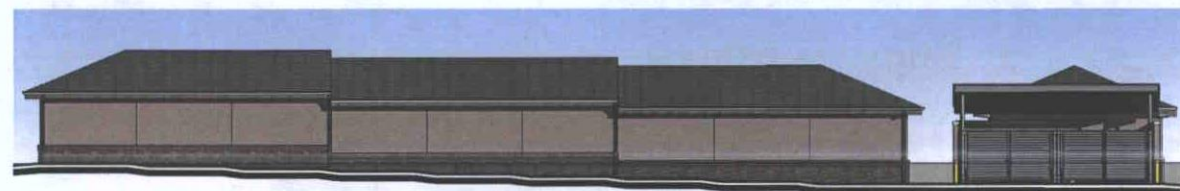
1



2 WEST ELEVATION - NORTH - COLOR
3/32" = 1'-0"



3 NORTH ELEVATION - WEST - COLOR
3/32" = 1'-0"



1 GARAGE NORTH ELEVATION - COLOR
3/32" = 1'-0"

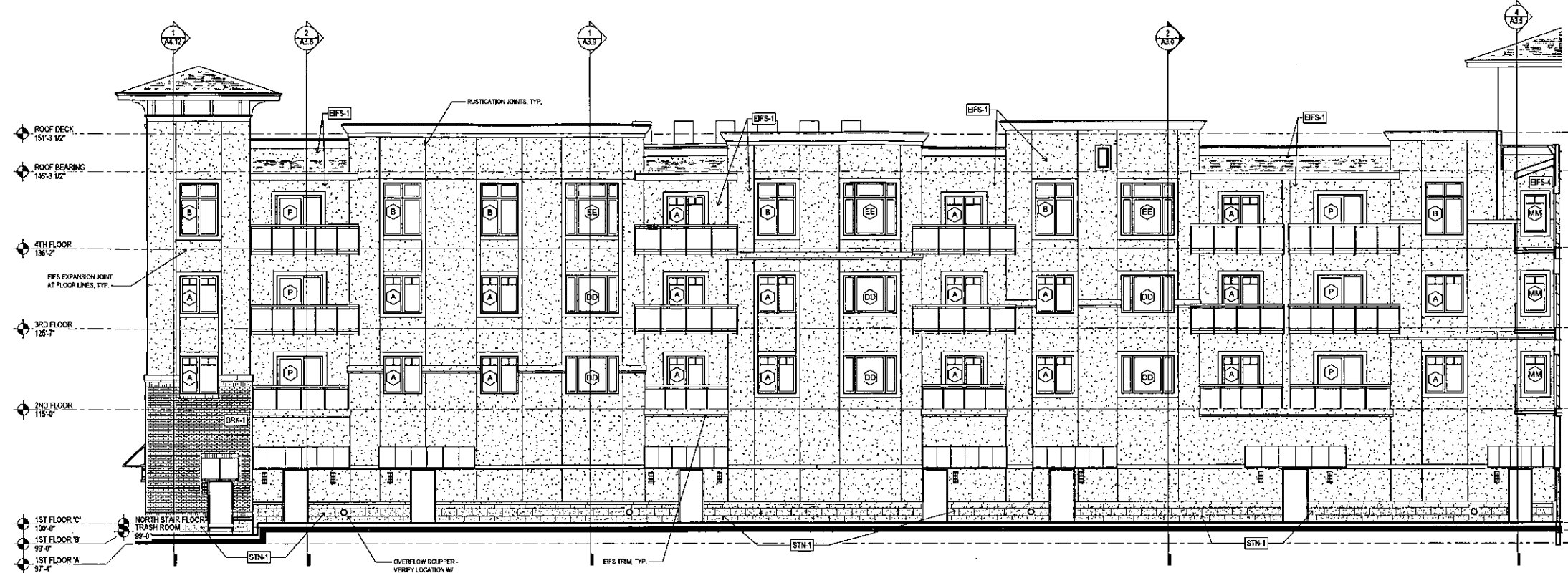


4 GARAGE SOUTH ELEVATION - COLOR
3/32" = 1'-0"

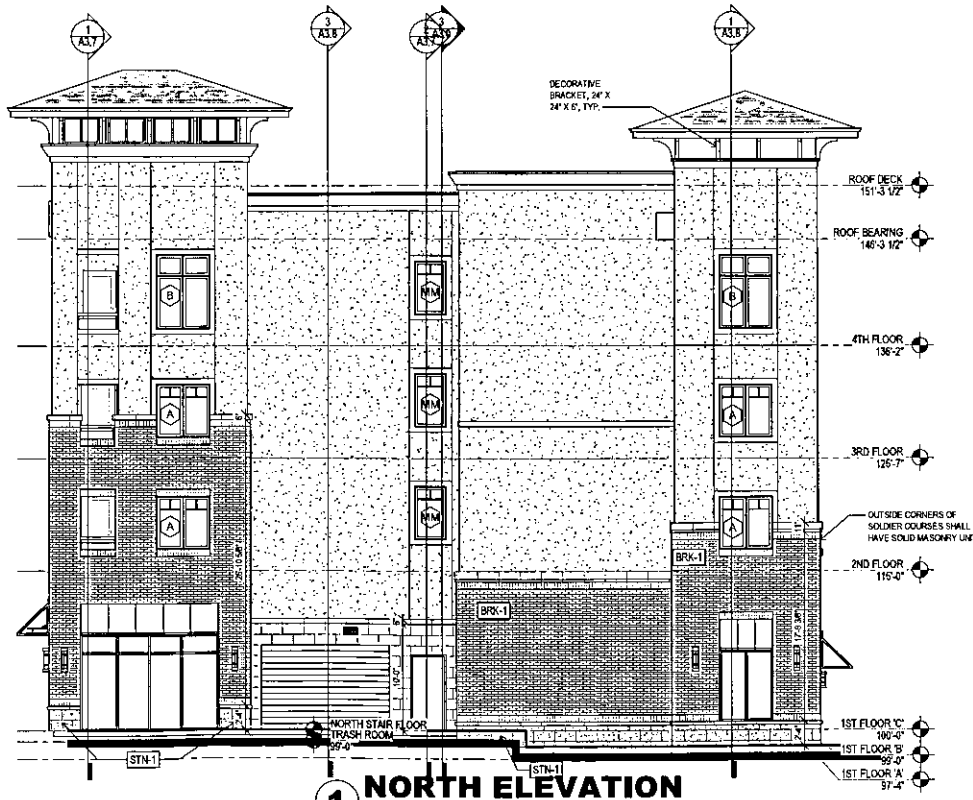
APPROVED

PUD #26 Arch Rev per Note 18

Date: 9-7-17 *JK*
Page 2 of 2



4 WEST ELEVATION - NORTH
1/8" = 1'-0"



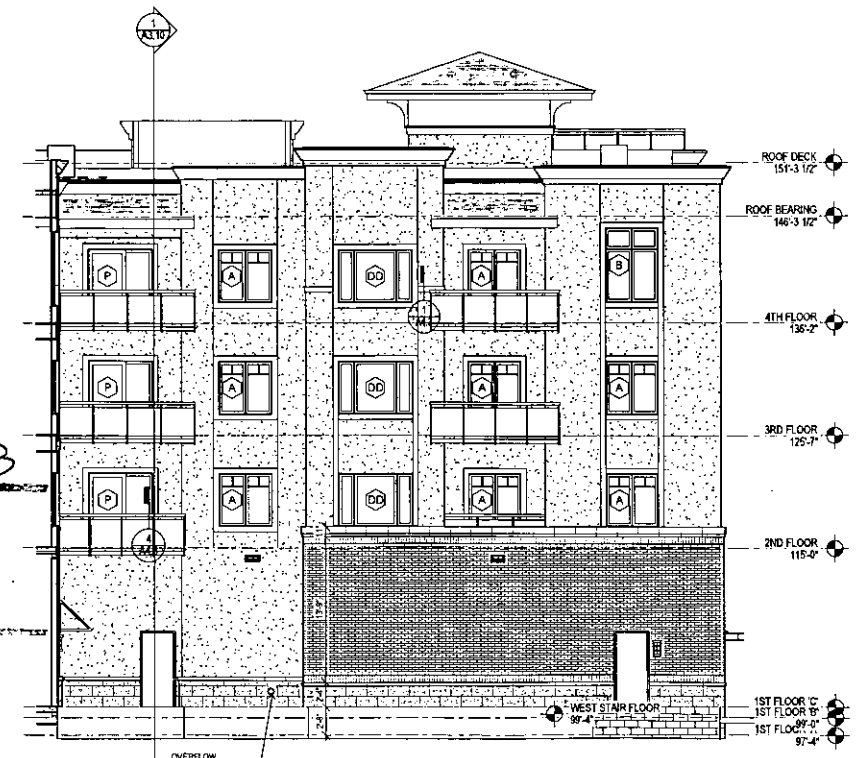
1 NORTH ELEVATION
1/8" = 1'-0"

APPROVED

PUD #26 Arch Rev per Note 1B

Date: 7-7-17

Page 2 of 2



3 NORTH ELEVATION - WEST
1/8" = 1'-0"

LEGEND

Section corner found

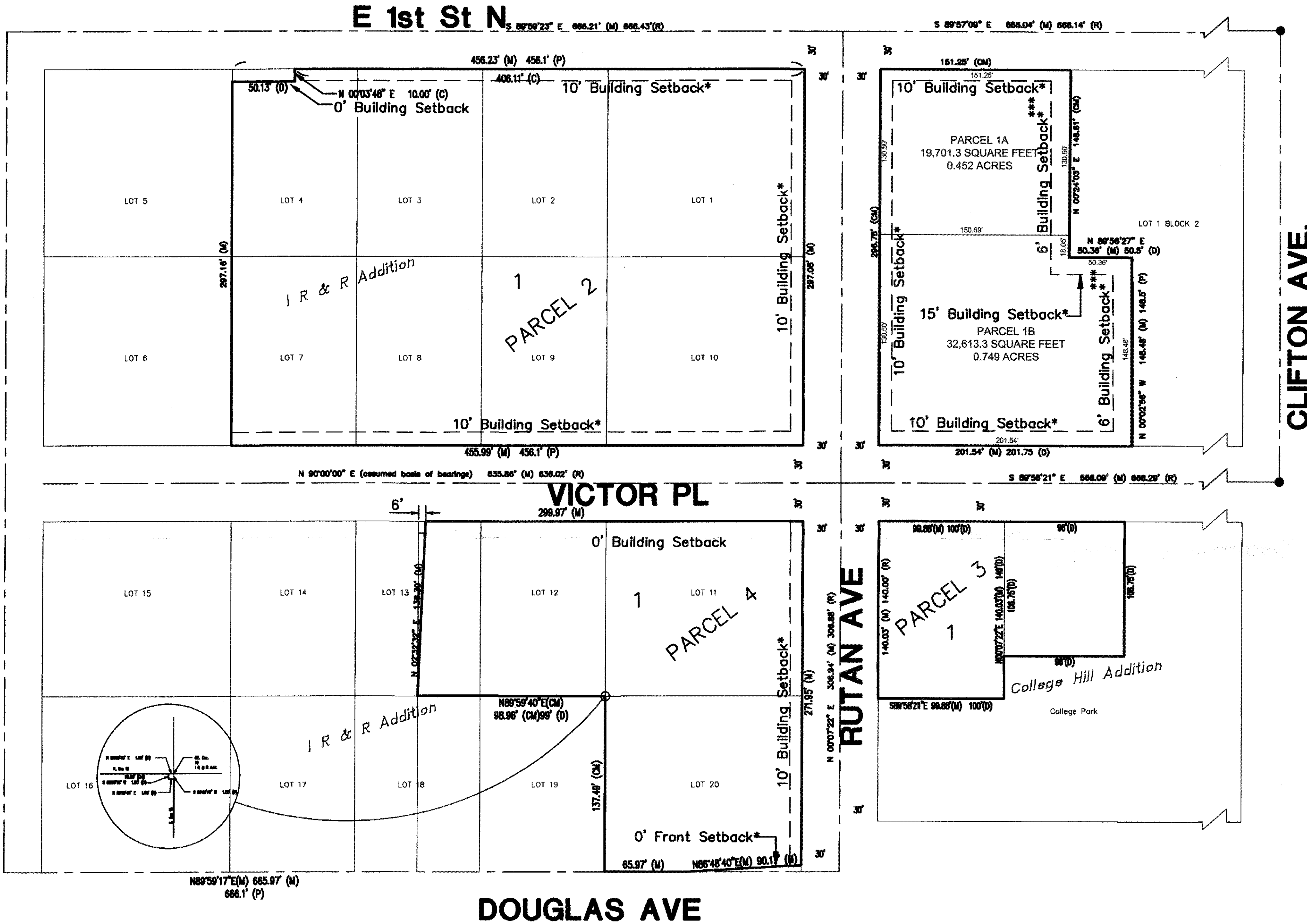
○ Point found

● 5/8" bar w/POE cap set

(M) Measured distance

(CM) Calculated from Measured distance

(D) Deed distance



GENERAL NOTES

1. THIS MIXED-USE DEVELOPMENT CONTAINS 8.1± NET ACRES.
2. LEGAL DESCRIPTION: LOTS 1-4, 7-12, THE EAST HALF OF LOT 13 & 20, I, R & R SUBDIVISION OF BLOCK 1 IN COLLEGE HILL ADDITION TO WICHITA, KANSAS, ALONG WITH THE WEST 100 FEET OF THE NORTH 140 FEET, COLLEGE PARK, COLLEGE HILL ADDITION TO WICHITA, KANSAS, AND ALONG WITH LOTS 2, 4, 6, 8, 10 AND 12, ROEMBACH'S ADDITION TO WICHITA, KANSAS, AND ALONG WITH THE WEST 50 FEET OF THE SOUTH HALF OF THE EAST HALF OF LOT 1, BLOCK 2, COLLEGE HILL ADDITION TO WICHITA, KANSAS, AND ALONG WITH THE NORTH HALF OF THE WEST HALF OF LOT 1, BLOCK 2, COLLEGE HILL ADDITION TO WICHITA, KANSAS, TO BE PLATTED AS LOTS 1 THRU 4, PARKSTONE ADDITION; ALONG WITH THE FOLLOWING DESCRIBED TRACT: COMMENCING AT THE NORTHWEST CORNER OF COLLEGE PARK, COLLEGE HILL ADDITION TO WICHITA, KANSAS; THENCE EAST ALONG THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 100 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING EAST ALONG THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 98 FEET; THENCE SOUTH PERPENDICULAR TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 106.75 FEET; THENCE WEST PARALLEL TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 98 FEET; THENCE NORTH PERPENDICULAR TO THE NORTH LINE OF SAID COLLEGE PARK FOR A DISTANCE OF 106.75 FEET TO THE POINT OF BEGINNING.
3. THE PROPOSED DEVELOPMENT CONTAINS 4 PARCELS WITH COMMERCIAL AND RESIDENTIAL USES. SEE PARCEL DESCRIPTIONS FOR SPECIFIC USES ON EACH PARCEL.
4. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
5. FINAL DETERMINATION OF ANY PUBLIC IMPROVEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING.
6. A PARKING RATIO OF 1:25 STALLS PER DU WILL BE REQUIRED WHEN RESIDENTIAL UNITS ARE PROVIDED. FOR OTHER USES, PLEASE REVIEW THE TABLE BELOW. ON-STREET PARKING IS ALLOWED AS PART OF THE OVERALL PARKING CALCULATION. ON ALL OTHER QUESTIONS OF ADMINISTRATIVE INTERPRETATION, THE STANDARDS FOR NR ZONING DISTRICT SHALL APPLY.
7. THE TRANSFER OF THE TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE DEVELOPMENT DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR DEVELOPMENT AND BE BINDING UPON THE PRESENT LAND OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.
8. ALL LIGHTING SHALL BE SHIELDED TO REFLECT LIGHT AWAY FROM ADJACENT RESIDENTIAL AREAS. CONSISTENT DESIGN FOR LIGHT FIXTURES SHALL BE USED THROUGHOUT THE DEVELOPMENT. SITE LIGHTING SHALL COMPLY WITH UZC SEC. IV-B.4.
9. FIRE LINES SHALL BE IN ACCORDANCE WITH THE CITY FIRE CODE. NO PARKING SHALL BE ALLOWED IN SAID FIRE LINES, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING. DURING THE SITE PLAN REVIEW, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE SHALL APPROVE THE SITE PLAN REGARDING THE DESIGN OF THE FIRE LINES.
10. TRASH RECEPTACLES SHALL BE APPROPRIATELY SCREENED TO HIDE THEM FROM GROUND VIEW ON ALL PARCELS AND SCREENING SHALL BE OF SAME MATERIAL AND COLOR AS BUILDINGS.
11. ROOF EQUIPMENT SCREENING SHALL BE PROVIDED PER UNIFIED ZONING CODE. ROOF TOP UNITS FOR COMMERCIAL USES SHALL BE PAINTED SAME COLOR AS ROOF.
12. SIGNS - NO OFFSITE SIGNS, BILLBOARDS OR PORTABLE SIGNS ARE PERMITTED WITHIN THE PUD, AND NO SIGNS WITH FLASHING LIGHTS SHALL BE PERMITTED. SIGNAGE SHALL BE IN ACCORDANCE WITH THE SIGN CODE FOR NR ZONING.
13. BUILDING SIGNAGE SHALL BE PER THE SIGN CODE FOR THE NR ZONING DISTRICT.
14. IF MULTIPLE OWNERSHIP IS ANTICIPATED, AN AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC., SHALL BE REQUIRED. EVIDENCE OF THE AGREEMENT SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
15. LANDSCAPE BUFFERS AND SCREENING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ORDINANCE OF THE CITY OF WICHITA. A LANDSCAPE PLAN PREPARED BY A LICENSED KANSAS LANDSCAPE ARCHITECT INDICATING THE LOCATION, TYPE, AND SPECIFICATION OF PLANT MATERIALS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR ITS REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S). A CONSISTENT PALETTE SHALL BE USED THROUGHOUT THE DEVELOPMENT. A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED FOR THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN INSTALLED.
16. A PEDESTRIAN CIRCULATION SYSTEM, TO BE APPROVED BY THE PLANNING DIRECTOR AT THE TIME OF SITE PLAN REVIEW, SHALL BE PREPARED WHICH PROVIDES PEDESTRIAN CONNECTIONS FROM THE BUILDINGS WITHIN THE PUD TO THE SIDEWALKS ON PUBLIC RIGHT OF WAYS, AND PROVIDES CONNECTIONS BETWEEN THE BUILDINGS.
17. ANY MAJOR CHANGES IN THIS PLANNED UNIT DEVELOPMENT SHALL BE SUBMITTED TO THE PLANNING COMMISSION AND TO THE GOVERNING BODY FOR THEIR CONSIDERATION.
18. ALL BUILDINGS SHALL BE RESIDENTIAL IN CHARACTER EXCEPT WHEN FRONTING DOUGLAS. RESIDENTIAL ELEMENTS WILL GENERALLY CONSIST OF MULTI-LEVEL, MULTI-FAMILY BUILDINGS, LANDSCAPING, PARKING STRUCTURES AND OTHER TENANT AND GUEST AMENITIES. COMMERCIAL ELEMENTS MAY BE INTEGRATED OR MIXED WITH RESIDENTIAL USES WITHIN THE SAME STRUCTURE. ALL COMMERCIAL USES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE RESIDENTIAL CHARACTER OF THE DEVELOPMENT. THE COMPOSITION OF THE USES MAY BE MODIFIED IN CONFIGURATION OR PHASING.
19. BUILDING SETBACKS SHALL BE AS SHOWN ON THE PUD OR FOR THE NR DISTRICT IF NOT OTHERWISE SHOWN ON THE PUD. HOWEVER, WHEN PROVIDED, THE SETBACK FOR THE ENTIRE BLOCK SHALL BE UNIFORM AND EQUITABLE. COMPATIBILITY STANDARDS SHALL NOT BE APPLICABLE.
20. NO COMMERCIAL USES SHALL BE PERMITTED TO FRONT ONTO FIRST STREET.
21. RESTAURANTS LOCATED WITHIN THE PUD SHALL NOT EXCEED 6000 SQUARE FEET IN SIZE.
22. ELIMINATED BY PUD AMENDMENT PUD2017-04 DATED: JULY 2017.
23. ELIMINATED BY PUD AMENDMENT PUD2017-04 DATED: JULY 2017.
24. WIRELESS COMMUNICATION FACILITIES SHALL BE SUBJECT TO THE STANDARDS FOR THE NR ZONING DISTRICT.
25. UNLESS OTHERWISE INDICATED BY THE PUD DOCUMENT, THE USES, PROPERTY DEVELOPMENT STANDARDS, AND SPECIAL DEVELOPMENT STANDARDS SHALL BE PER THE UNIFIED ZONING CODE FOR THE NR NEIGHBORHOOD RETAIL ZONING DISTRICT, AND THE SITE DEVELOPMENT STANDARDS SHALL BE PER THE UNIFIED ZONING CODE REQUIREMENTS AS APPLICABLE TO THE NR NEIGHBORHOOD RETAIL DISTRICT.
26. PARCELS 1A & 1B SHALL HAVE A MAXIMUM COMMERCIAL GROSS FLOOR AREA OF 4,000 S.F.. THE ENTIRE PROPOSED DEVELOPMENT SHALL NOT EXCEED 30,000 S.F. OF COMMERCIAL GROSS FLOOR AREA.
27. A SIX FOOT TALL SCREENING WALL SHALL BE PROVIDED ON THE EAST EDGE OF PARCELS 1A & 1B.
28. ANCILLARY ARCHITECTURAL FEATURES SUCH AS UNENCLOSED PORCHES, STOOPS, TURRETS, EAVES, PILLARS, BAYS, AND SIMILAR APPLIANCES, SHALL BE ALLOWED WITHIN THE BUILDING SETBACKS BUT NO CLOSER THAN 3 FEET TO THE PROPERTY LINE ON FRONT SETBACKS AND NO CLOSER THAN 6 FEET TO THE PROPERTY LINE ON SIDE YARD SETBACKS.
29. PARKING STRUCTURES ON ALL PARCELS SHALL BE ALLOWED IN THE 10-FOOT BUILDING SETBACK BUT NO CLOSER THAN 3 FEET.

Amendment #1
PUD2017-00004

As per AA PUD2021-00019
11-16-2021 *Almorga*

APPROVED PUD

MAPC 7-6-2017 *dm*

WCC 8-8-2017 *dm*

MAPC Copy 1 of 4



REVISED PER PUD2017-04 DATED 08/08/17
REVISED PER PUD2021-19 DATED 11/16/21

PARKSTONE

PLANNED UNIT DEVELOPMENT (PUD-26)

DATE OF PREPARATION 6/27/08 REVISED 09/23/08 REVISED PER PUD2011-04 REVISED PER PUD2016-02 DATED 04/14/16

*NOTE: BUILDING SETBACKS ADJUSTED PER ADMINISTRATIVE ADJUSTMENT. SEE NOTE 28 AND LETTER DATED JANUARY 10, 2008.

***ADMINISTRATIVE ADJUSTMENT REDUCED SETBACK TO 6 FEET, SUBJECT TO LIMITATIONS OF GENERAL PROVISION #28.

PARKING REQUIREMENTS	
USE	RATIO
RETAIL	1/500 SF
OFFICE	1/500 SF
RESTAURANT	1/8 OCCUPANTS
PERSONAL SERVICE	1/500 SF

PE POE and ASSOCIATES, INC.
CONSULTING ENGINEERS
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PARCEL DESCRIPTIONS

PARCEL 1A (SEE ALSO NOTES 20, 21 & 26)

USES - ALL RESIDENTIAL AND COMMERCIAL USES PERMITTED BY RIGHT IN THE NR ZONING DISTRICT EXCEPT THAT THE FOLLOWING USES WILL NOT BE ALLOWED:

GROUP RESIDENCE, LIMITED, AND BROADCAST RECORDING STUDIO, AND PAY DAY LOANS OR SIMILAR BUSINESSES.

THE FOLLOWING USES SHALL BE ALLOWED:

NEIGHBORHOOD SWIMMING POOL AND UTILITY, MINOR.

GROSS LAND AREA - 19,701 s.f.
MAX. BUILDING HEIGHT - 45'
MAX. DENSITY D.U. - 21.8/ACRE

PARCEL 1B (SEE ALSO NOTES 20, 21 & 26)

USES - ALL RESIDENTIAL AND COMMERCIAL USES PERMITTED BY RIGHT IN THE NR ZONING DISTRICT EXCEPT THAT THE FOLLOWING USES WILL NOT BE ALLOWED:

GROUP RESIDENCE, LIMITED, AND BROADCAST RECORDING STUDIO, AND PAY DAY LOANS OR SIMILAR BUSINESSES.

THE FOLLOWING USES SHALL BE ALLOWED:

NEIGHBORHOOD SWIMMING POOL AND UTILITY, MINOR.

GROSS LAND AREA - 32,613 s.f.
MAX. BUILDING HEIGHT - 45'
MAX. DENSITY D.U. - 21.8/ACRE

PARCEL 2 (SEE ALSO NOTES 20 & 21)

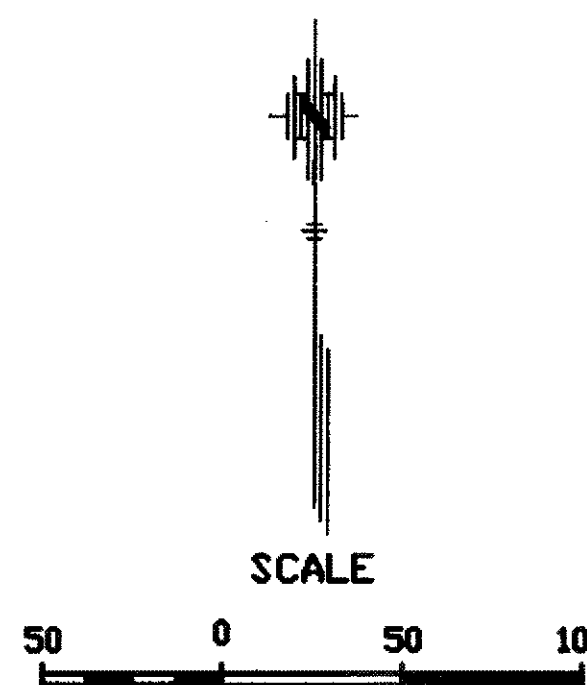
USES - SAME AS PARCELS 1A & 1B
GROSS LAND AREA - 136,017 S.F.
MAX. BUILDING HEIGHT - 70'
MAX. DENSITY D.U. - 50/ACRE

PARCEL 3

USE - PARKING LOT
GROSS LAND AREA - 24,234 S.F.

PARCEL 4 (SEE ALSO NOTES 20 & 21)

USES - SAME AS PARCELS 1A & 1B
GROSS LAND AREA - 63,322 S.F.
MAX. BUILDING HEIGHT - 70'
MAX. DENSITY D.U. - 55 DU/ACRE



PLANT SCHEDULE			
KEY	QTY	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES			
PST	4	CHINESE PISTACHE	PISTACHIA CHINENSIS
CDM	4	QADO MAPLE FLAHSFIRE	ACER SACHINAHU JFS-QADOC PP 2381
SHU	15	SHAWARD OAK	QUERCUS SHAWARD
ORNAIENTAL TREES			
WFL	3	SHAWARD MAPLE	ACER FRANKLINIUM
RRC	4	ROYAL RANDOR'S CHAUNALE	MAULUS JFS-SAWS ROYAL RANDOR'S
ERB	10	EASTERN REDBUD	CEPHEUS CAMDENIS
SRV	6	AUTUMN BRILLANCE SERRACERRY	7' CAL. / 188
EVERGREEN TREES			
TAY	57	TAYLOR JAMPER	JAMPERUS VIRGINIAN TAYLOR
			17 MIN. HT.

PLANT SCHEDULE CTD.			
KEY	QTY	COMMON NAME	BOTANICAL NAME
DECIDUOUS SHRUBS			
TES	55	TIGER EYES SUMAC	RHUS TYPHNIA TIGER EYES
CRP	27	CHERRY DAZZLE DWARF CHAUNALE	LAGERTIDEA GARD 1 CHERRY DAZZLE
DBB	27	DWARF BURNING BUSH	EUONYMUS ALATIS COMPACTUS
LTH	29	LIME LIGHT HYDRANGEA	HYDRANGEA PANICULATA LIME LIGHT
DOG	55	HANOK GRAY DOGWOOD	CORNUS RACEMOSA HANOK
EVERGREEN SHRUBS			
GSY	146	YOLDER SMOKE VIOCCA	VIOCCA FLAMMENTOSA YOLDER SMOKE
BRK	70	RED VIOCCA	HEPHERALOE PAVANORA BRKE LIGHT
TAM	34	TAM JAMPER	JAMPERUS SABINA VAE TAMJAMPER
SGJ	20	SEA GREEN JAMPER	JAMPERUS X PFTZIRIANA SEA GREEN
			15' COAT.

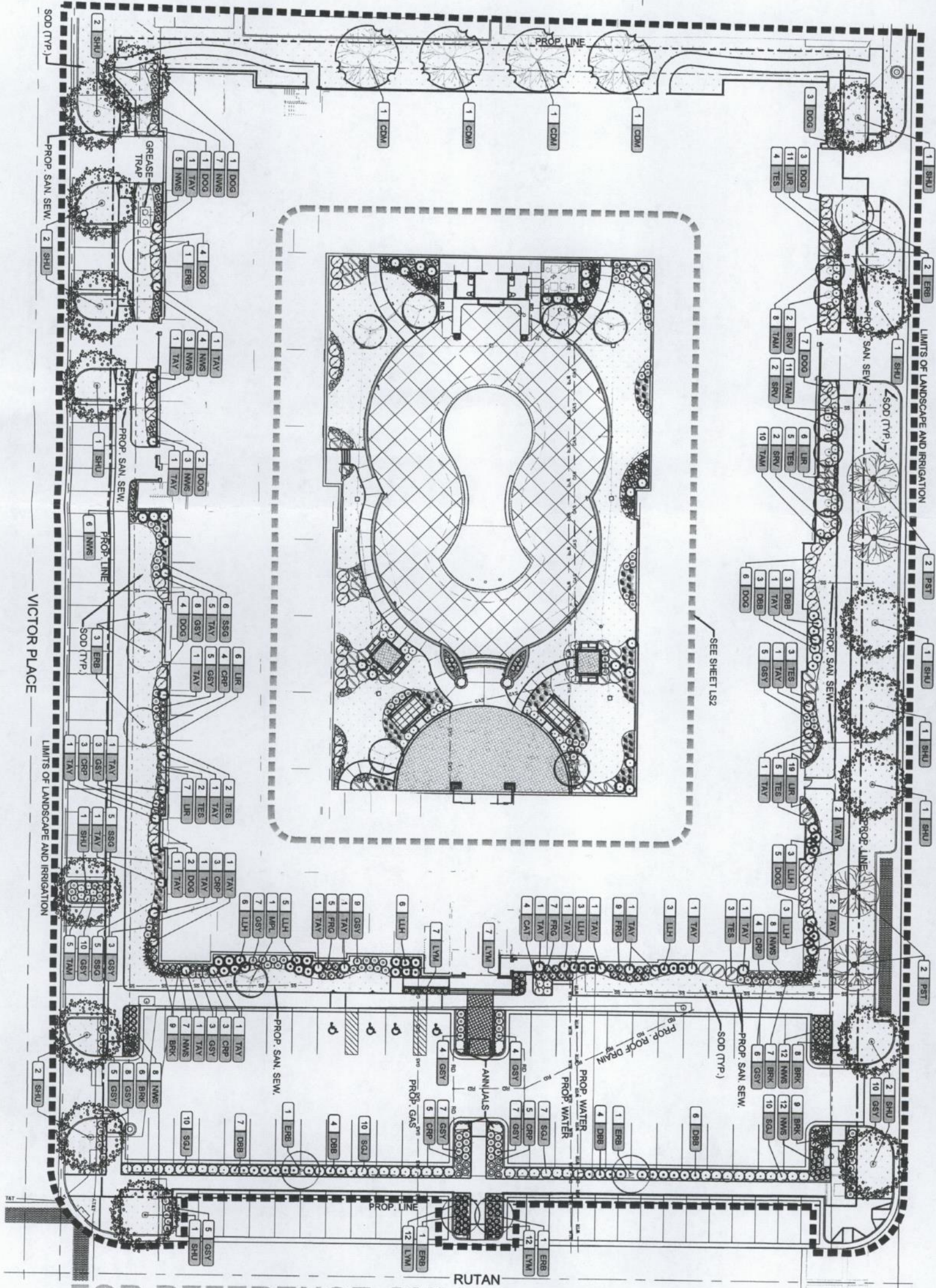
PLANT SCHEDULE CTD.			
KEY	QTY	COMMON NAME	BOTANICAL NAME
ORNAIENTAL GRASSES			
NWS	48	NORTHWARD SWITCHGRASS	PANICUM VIRGATUM NORTHWARD
LVI	38	BLUE PLANE VINE GRASS	ELYMUS ABERNATHY BLUE PLANE
SSG	66	SERENADON SWITCHGRASS	PANICUM VIRGATUM SERENADON
FRG	21	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLOA VAE LOEBSTER
LBS	57	LITTLE BLUESTEM	SCHIZACHRYM SCOPARIUM THE BLUES
PERENNIALS			
CAT	31	CATALANT	HERTIA RACEMOSA WALKERS LOW
BES	12	BLACK-EYED SUSAN	RUDOLPHIA HRTA
LR	159	BIG BLUE LARPOE	LARPOE MASCARI BIG BLUE
TUFF GRASS			
SGD	2,715 SY	FESCUE GARDON WISE FESCUEALUE	
			11' COAT.



GENERAL LANDSCAPE SPECIFICATIONS

1. Landscape contractor shall provide all labor, materials and service necessary to furnish and install plantings as specified herein and as shown on these plans.
2. No materials substitutions shall be made without Owner/Architect's approval. Alternate materials of similar size and character may be considered if specified plant materials cannot be obtained. Owner/Architect reserves the right to adjust plant list as deemed necessary.
3. Total quantities of materials shown on drawings shall take precedence over quantities shown on the plant schedule. Landscape contractor shall be responsible for verifying all quantities on the plant schedule.
4. When any soil is disturbed in the establishment of the lawn or the installation of the plant material, it shall be improved in accordance with standard trade practice.
5. Re-establish turf in all areas disturbed by grading or utility trenching in the R.O.W.
6. After planting is completed, repeat mulches to all plants as required. Limit amount of mulch to a minimum necessary to remove dead or dying leaves and branches. Prune in such a manner as not to change natural habit or shape of plant. Mulch ends flush, leaving not be removed.
7. Use triangular spacing in all ground cover and annual beds unless stated otherwise on plans.
8. Plant ground cover within one foot (1') of trunk of trees or shrubs planted within area. Planting arrangement shall be triangular, with proper on-center spacing between plants.
9. Heavy duty black plastic edging shall be used to separate all turf areas from planting beds. Place edging flush with grade (see planting details).
10. Use shredded mulch in all planting beds. Landscape contractor shall supply Owner/Architect with a sample of mulch for approval prior to starting construction.
11. Place mulch in beds and tree saucers per planting details.
12. Planting beds receiving mulch are to be free of weeds and grass. Treat beds with a pre-emergent herbicide prior to planting and mulch placement. Apply in accordance with standard trade practice. Do not apply herbicide in annual/perennial beds.
13. Seed and plant annual/perennial beds are to be planted with local materials that will offer the longest lasting, boldest color display beginning at the time of installation.
14. Landscape contractor shall remove tree stakes, tree wrap, and remove all dead wood on trees and shrubs one year after provisional acceptance.
15. Report any discrepancies in the planting plan to the architect prior to starting construction.
16. Prior to any excavation for landscaping purposes, the location of underground utilities shall be determined by calling the local utility companies. Landscape contractor shall be responsible for any damage done to existing utilities.
17. The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
18. Topsoil hauled onto the site shall be fertile, friable, natural loam topsoil of uniform quality characteristic, representing local soils which produce heavy growth of crops, grass or other vegetation. It shall be free of subsoil, clay lumps, brush, weeds, rocks, stones, trash, or other matter toxic to plant growth.
19. All grass areas called out on the plans are to be seeded/sodded with local industry standard type variety. Submit seed type to Architect prior to installation. Starter fertilizer is also to be applied using local industry standards.

OVERALL LANDSCAPE PLAN



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UPTOWN LANDING
PHASE 2
WICHITA, KANSAS

CITY COMM. 3 7 JUN 22
PERMIT SET 23 APRIL 21
OVERALL
LANDSCAPE
PLAN

LS1

GENERAL IRRIGATION NOTES.

CONTRACTOR WILL VERIFY STATIC PRESSURE AND VOLUME OF SITE WATER SUPPLY AND DESIGN ENTIRE IRRIGATION SYSTEM ACCORDINGLY. EACH ZONE OF THE SYSTEM IS TO BE DESIGNED WITH A MAXIMUM OF 35 GALLONS PER MINUTE.

ALL IRRIGATION EQUIPMENT SHALL BE SCREENED FROM VIEW OF PUBLIC AREAS.

POP-UP ROTORS AND POP-UP SPRAY HEADS SHALL BE USED TO IRRIGATE ALL TURF AREAS. IRRIGATION HEADS SHALL HAVE A MINIMUM 4" RISER.

ALL PLANTING BEDS SHALL BE IRRIGATED BY A DRIP IRRIGATION SYSTEM.

A RAIN SENSOR SHALL BE LOCATED ON TOP OF BUILDING NEAR CONTROLLER. RAIN SENSOR SHALL BE WIRED TO INTERRUPT VALVE COMMON WIRE BUT LEAVE CLOCK ACTIVATED.

ALL ANNUAL BEDS ARE TO BE IRRIGATED BY POP-UP SPRAY HEAD - 4" MINIMUM RISER.

BACKFLOW PREVENTION DEVICE SHALL BE A REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY, INSTALLED AS PER CITY, COUNTY AND STATE REGULATIONS.

WATER FOR IRRIGATION TO COME FROM MAIN WATER SUPPLY TO BLDG. (SEE SITE UTILITY PLAN)

PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT FOR APPROVAL, TO THE ARCHITECT, AN IRRIGATION LAYOUT PLAN, IRRIGATION EQUIPMENT DETAILS, AND A BOOKLET CONTAINING CATALOG CUTS, PERFORMANCE CHARTS AND TECHNICAL INFORMATION IN SUFFICIENT DETAIL TO DETERMINE SYSTEM SUITABILITY FOR THIS PROJECT.

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A MOISTURE-SENSING DEVICE OR AUTOMATIC RAIN SHUT-OFF DEVICE AS A FREEZE DETECTOR.

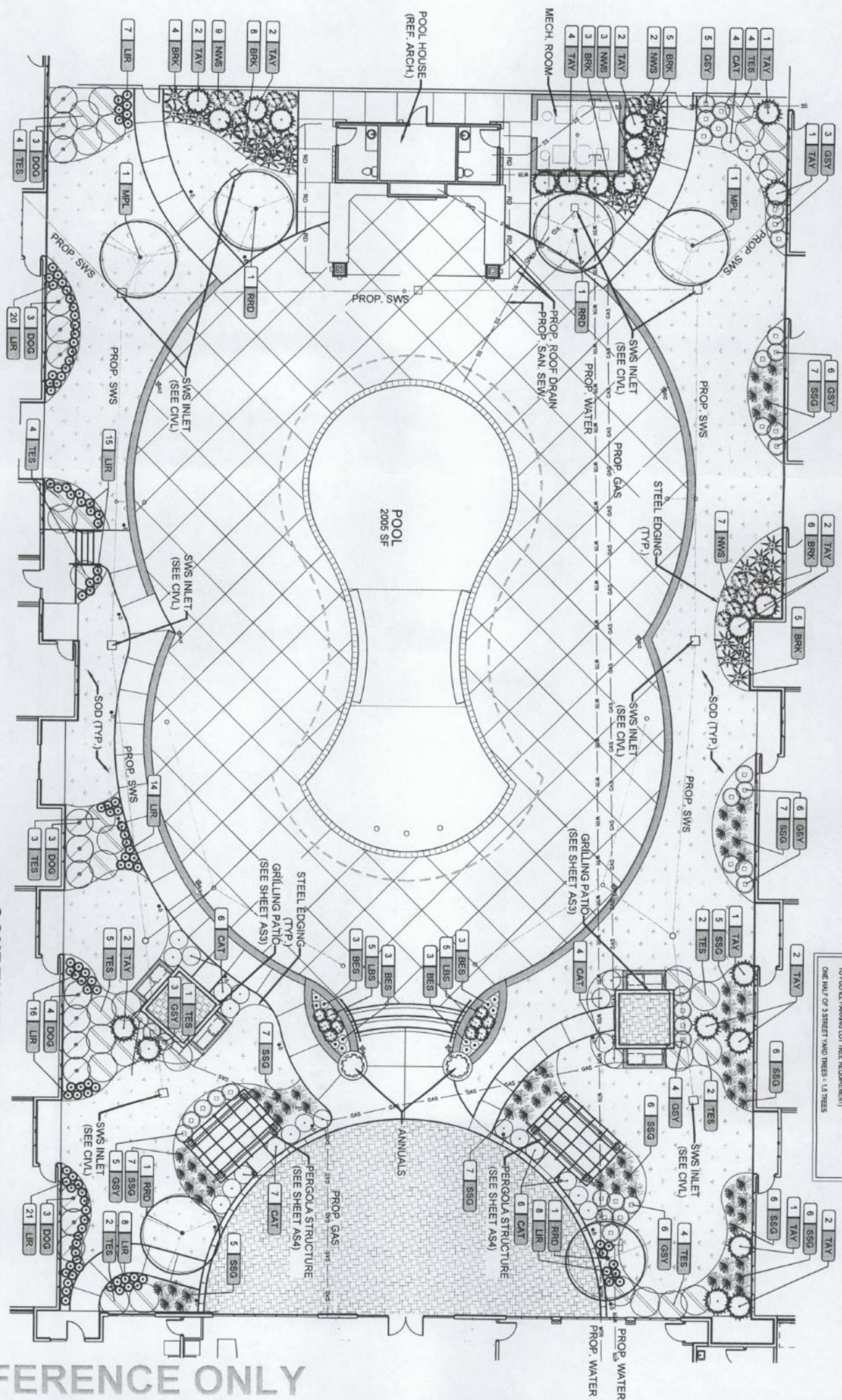
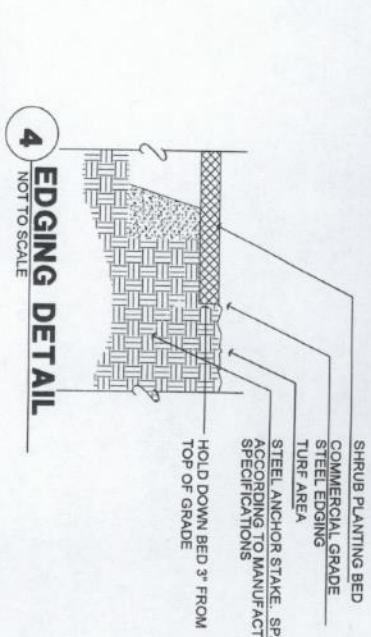
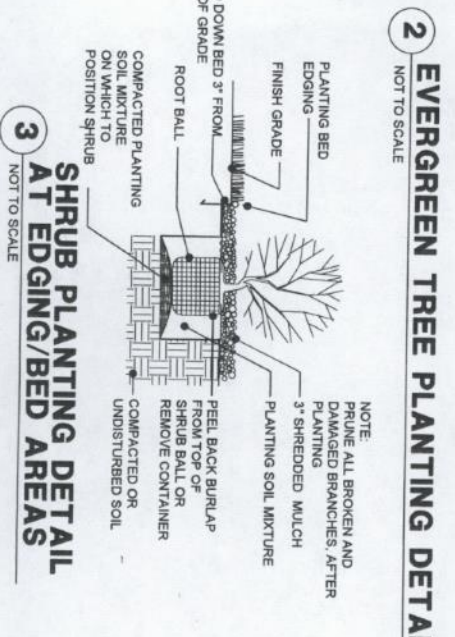
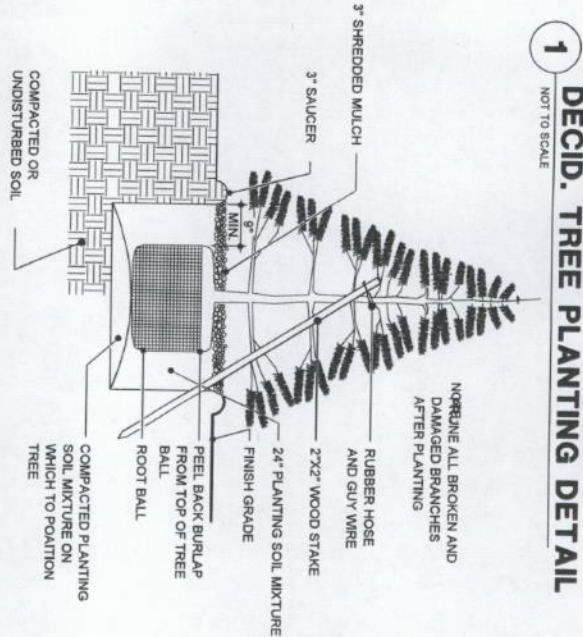
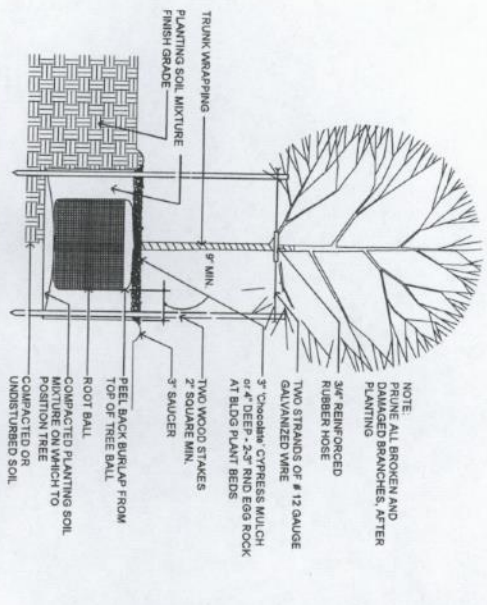
ADJUST ALL IRRIGATION EQUIPMENT SO THAT SIDEWALKS, PAVING, FENCES, BLDG. FACADES REMAIN DRY OF DIRECT SPRAY OF EXCESS WATER RUN-OFF AND SPRAY.

SYSTEM IS TO CONSIST OF SEPARATE DRIP EMITTER ZONES, SPRAY HEAD ZONES, AND TURF ROTOR ZONES. EACH WITH SEPARATE VALVES AND STATIONS ON THE CONTROLLER.

CONTROLLER(S) ARE TO BE A SOLID STATE TYPE WITH LOCKABLE CABINET. CONTROLLER MUST HAVE DUAL PROGRAMMING, DRIP STATIONS AND BE CAPABLE OF MULTIPLE VALVES PER STATION.

MANUAL DRAIN VALVES ARE TO BE LOCATED AT THE ENDS AND LOW POINTS OF THE IRRIGATION MAINLINE. PLACE MANUAL VALVES IN LATCHABLE VALVE BOXES FOR EASY ACCESS. PLACE ON CURB FOOT OF GRAVEL BELOW VALVE.

LANDSCAPE CODE CALCULATIONS	
LANDSCAPE STREET VARD REQUIRED:	
44' FERN STREET	
27' ACTON PLACE	
27' MAINWAY	
1.16' TOTAL STREET LF	
1.56' GREATER PERPENDICULAR DISTANCE FROM F.	
1.56' REQUIRED SQUARE FOOTAGE FACTOR	
27.00' LANDSCAPE STREET VARD	
17.44' 75% REDUCTION FOR PLANT MATERIAL, 80% NOISE/USE	
13.30' LANDSCAPE STREET VARD REQUIRED	
13.30' TOTAL SQ. FT. PROVIDED	
20.25' 75% REDUCTION WITHIN LANDSCAPE & RESIDUAL LIMITS	
STREET VARD TREES REQUIRED	
17' 1" MIN. DBH. TREES REQUIRED	
UP TO 1.0 CM. BE SUBSTITUTED WITH SPREADS	
TOTAL TREES PROVIDED	
12 SPREAD TREES + 10 SPREADS = 22 TREES TOTAL	
6 SPREAD TREES + 3 SPREADS = 9 TREES REQUIRED	
6 SPREAD TREES + 3 SPREADS = 9 TREES REQUIRED	
ONE HALF OF 3 STREET VARD TREES = 1.5 TREES	



A COURTYARD LANDSCAPE PLAN

PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT FOR APPROVAL, TO THE ARCHITECT, AN IRRIGATION LAYOUT PLAN, IRRIGATION EQUIPMENT DETAILS, AND A BOOKLET CONTAINING CATALOG CUTS, PERFORMANCE CHARTS AND TECHNICAL INFORMATION IN SUFFICIENT DETAIL TO DETERMINE SYSTEM SUITABILITY FOR THIS PROJECT.



FOR REFERENCE ONLY