

The map shows a property bounded by Julia Street to the west, Hendryx Avenue to the north, and Kellogg Street to the south. The property is divided into three main sections:

- Parcel 1 (Portion)** on the left, with a 35' building setback and a 35' building setback line.
- Parcel 2** in the center, measuring 182,761.60 sq. ft. (4.20 acres), with a 75' building setback and a 35' building setback line.
- Parcel 1 (Portion)** on the right, measuring 238,133 sq. ft. (5.47 acres), with a 35' building setback and a 35' building setback line.

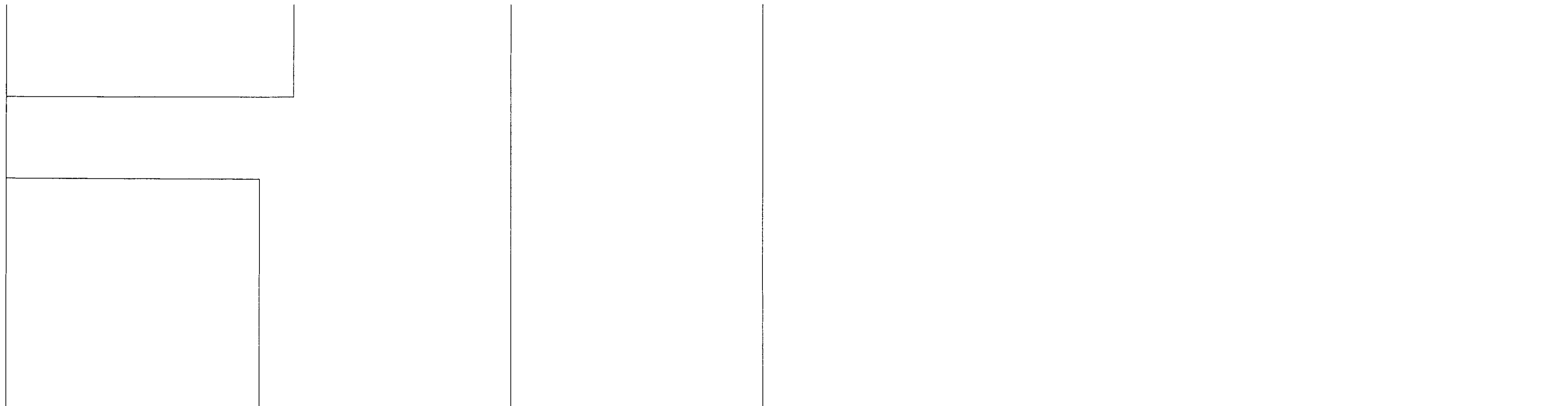
A 40' easement for a pipeline segment is shown between Parcel 1 and Parcel 2. A 10' planting strip per General Provision #5A is indicated along the north boundary. Various dimensions and setbacks are provided in feet and inches.

Baughman *Baughman Company, P.A.*
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

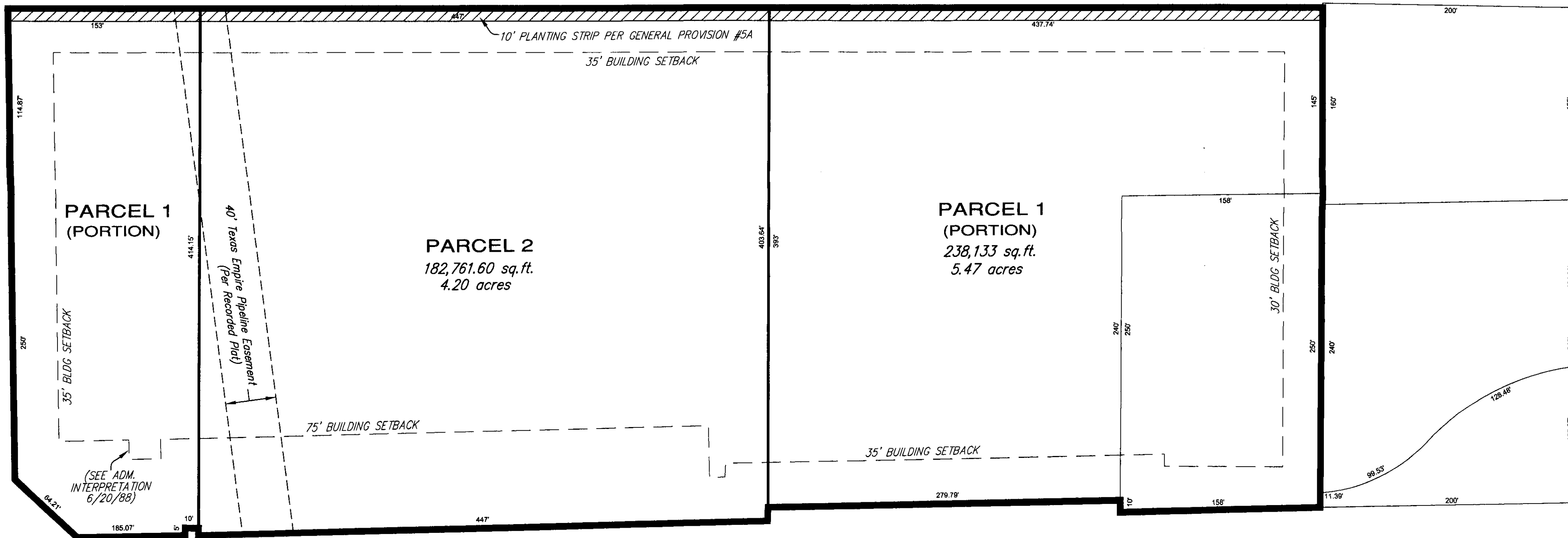


SCALE: 1" = 60'

BYRON STOUT PONTIAC
COMMUNITY UNIT PLAN
DP-34



HENDRYX AVENUE



KELLOGG STREET

GENERAL PROVSIONS:

1. Net Area 420,895 Sq. Ft. or 9.66 Acres
2. Maximum Building Coverage shall not exceed 30 of the net land area or 126,268.5 Sq. Ft. Maximum Gross Floor Area — Unlimited, except that required off street parking requirements of the zoning ordinance shall be complied with.
3. Maximum Building Heights in accordance with ordinances of the City of Wichita and subject to the approval of the Federal Aviation Administration.

4. Setbacks shall be as indicated on the plan.

Building Setback from Hendryx: 35 feet
Building Setback from Julia: 35 feet
Building Setback from Kellogg: 35 feet, except the west 550 feet which shall be 75 feet.
Building Setback from East line: 30 feet

- ### 5. Screenings:

- A. A planting strip no less than 10 feet in width, consisting of low shrubbery shall be provided for, adjacent to Hendryx Avenue as indicated on the plan.

- B. A five to eight foot solid or semi-solid wall of brick, stone, masonry, architecture stone or similar material shall be constructed along and within one foot of the south line of the ten foot planting area. Said wall to be constructed at the rear of any building constructed on the property, if the service area storage area or rear of the building faces an "AA" "A" "RS" "J" district even if separated by a street. This provision shall be complied with prior to the occupancy of the structure requiring said wall.

- ### 6. Curb Cuts:

Maximum number allowed to Kellogg Drive: 8 Points
Maximum number allowed to Hendryx Avenue: 6 Points
Maximum number allowed to Julia Street: 3 Points

7. Drainage will be handled in the manner as approved in the final plat.

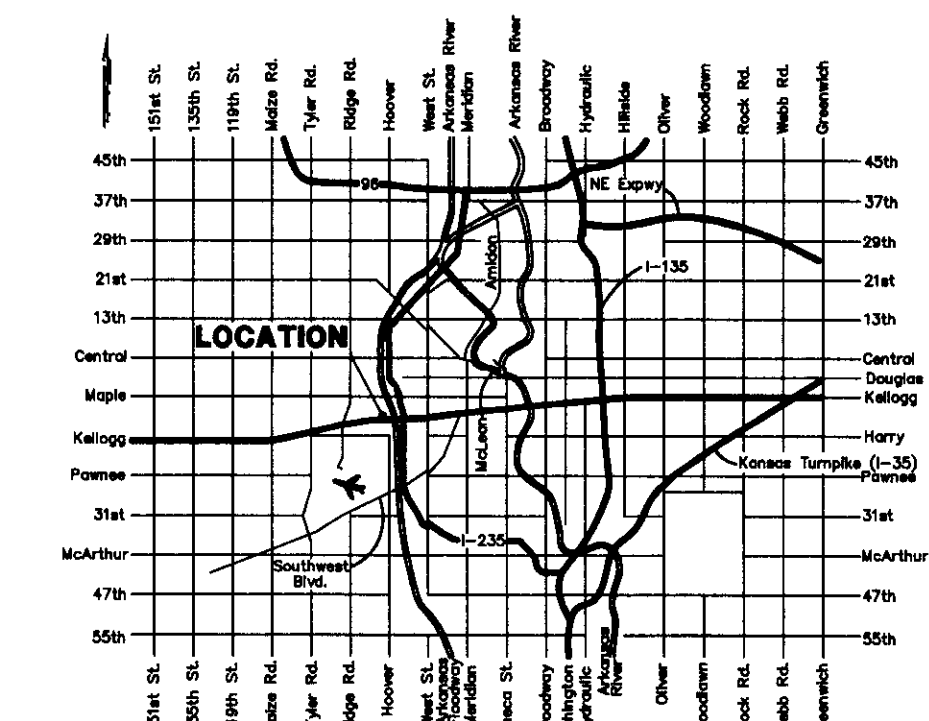
8. Sign Control: Advertising signs along Kellogg shall be limited to 30 feet in height except that one sign, to a maximum of 55 feet, may be installed adjacent to Kellogg upon the special approval by the Board of City Commissioners. No commercial advertising signs shall be located along Hendryx unless the area to the north is zoned for commercial uses. All signs shall advertise only services, articles and products offered upon the premises whereon the sign is located and shall not be placed so as to project over any public right of way. No billboards shall be permitted.

9. *Lighting: Overhead lights shall be directed downward so as to confine concentration of lights on the premises and not onto adjacent properties.*

10. *Parking Ratio:* As required per zoning ordinance.

11. *Proposed Land Use: New and used Auto Agency and related services, and Highway oriented businesses.*

12. The transfer of title of all or any portion of the land included within the community unit plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors, and assigns.



PARCEL 1

- | | |
|---|-------------------------------------|
| A. Total Land Area: | 238,133 ± sq.ft.
or 5.47 ± acres |
| B. Maximum Building Coverage:
for commercial development | 71,440 sq.ft. (30%) |
| C. Maximum Gross Floor Area:
for commercial development | No Maximum |

PARCEL 2

- | | |
|---|-------------------------------------|
| A. Total Land Area: | 182,762 ± sq.ft.
or 4.20 ± acres |
| B. Maximum Building Coverage:
for commercial development | 54,828 sq.ft. (30%) |
| C. Maximum Gross Floor Area:
for commercial development | No Maximum |

LEGAL DESCRIPTION:

Lot 1, Block 1, Byron Stout Addition, Wichita, Kansas.

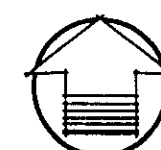
REVISIONS

Original CUP dated March 8, 1969
Approved by MAPC: April 10, 1969
Approved by City Council: April 22, 1969
Administrative Interpretation: June 20, 1988
Administrative Adjustment: October 28, 2013

AA of 10-28-13
APPROVED CUP
MAFC, 4-10-69 DM
BCC 4-22-69 DM
MAFC Com. 1 of 2

DP-34

BYRON STOUT PONTIAC COMMUNITY UNIT PLAN



SCALE: 1" = 60'



 **Baughman** *Baughman Company, P.A.*
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

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(EXIST. BUILDING)

HENDRIX AVE.

431.74'

PLANT AGAINST WALL



SCALE: 1" = 20'-0"

EROSION CONTROL SEEDING:
ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)
BY SEED AT THE RATE OF 10 POUNDS
PER 1000 SQUARE FEET. PROVIDE
TEMPORARY IRRIGATION TO ACHIEVE
GERMINATION.

EXIST. GSEMENT
EXIST. UTILITY EXCEMENT

143.35'

158.00'

EXIST. GSEMENT

DECORATIVE ROCK GROUND COVER:
ALL PLANTED AREAS SHALL BE COVERED
WITH "PERMA-BARK" PLASTIC BROWN (SHALE),
1/4" TO 2" SIZE; INSTALLATION SHALL BE
IN ACCORDANCE WITH THE LANDSCAPING
SPECIFICATIONS. PLASTIC SHALL NOT BE
USED.

[] DEEP ROOT CONTROL PLANTER REQUIRED
FOR THESE TREES REFER TO L-2 AND
SPECIFICATIONS FOR DETAIL OF INSTAL-
LATION AND SOURCE.

(EXIST. DENNY'S
RESTAURANT)

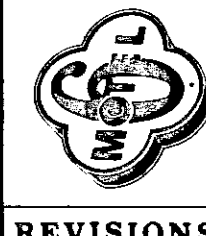
LANDSCAPE PLAN APPROVED
IN ACCORDANCE WITH CONDITION
No. 5A OF THE BYRON STOUT
E.U.P. (DP-34)

John L. Gilbreath April 17, 1978
date

DRAWN BY: K.H.
CHECKED: E.P.C.
PAGE NO.
ISSUE DATE: APR 10 1978

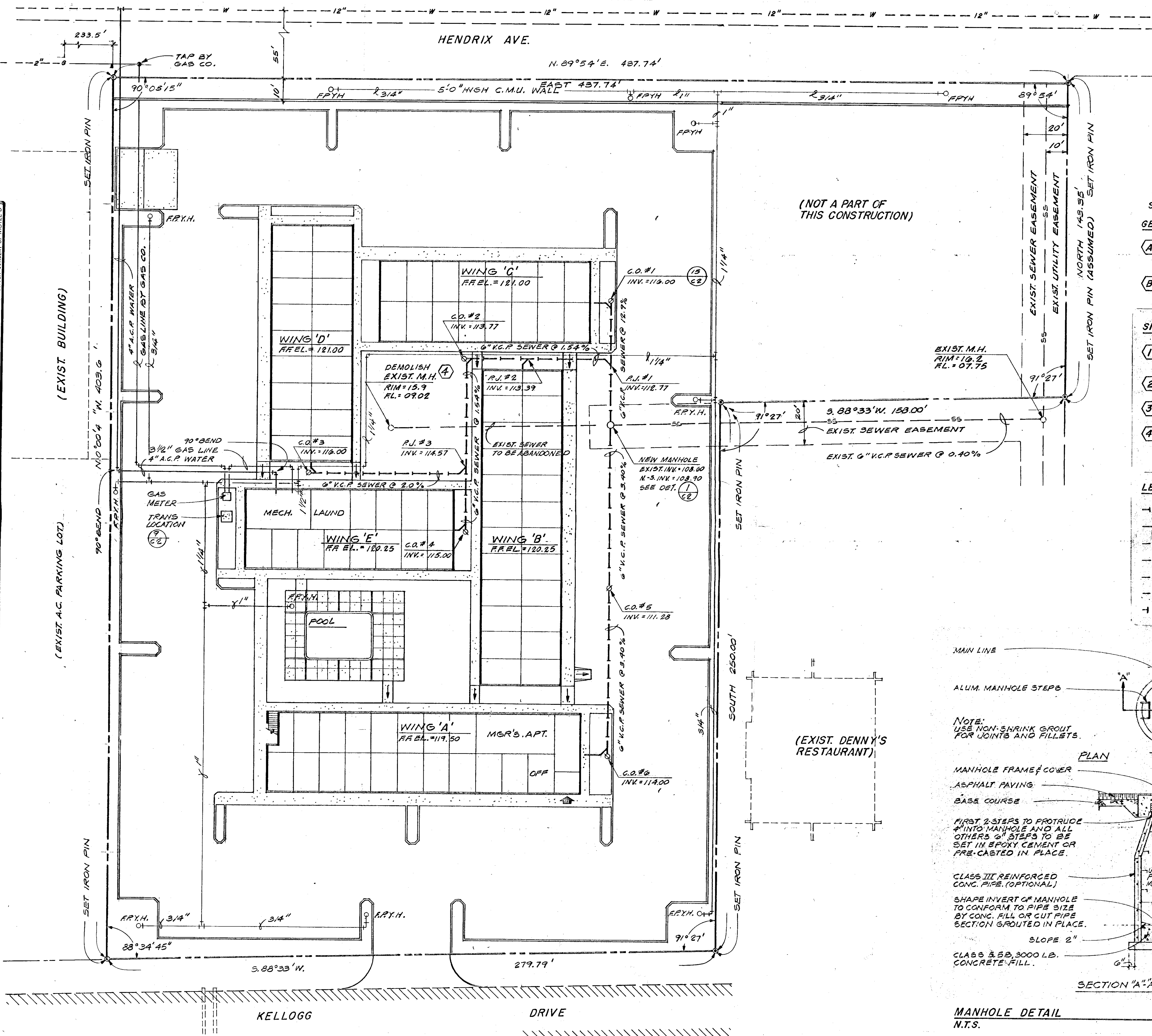
6
MOTEL
51 HITCHCOCK WAY
SANTA BARBARA, CALIFORNIA 93105
TELEPHONE (805) 682-6666

WICHITA, KANSAS



REVISIONS

GAUCHA
architects
924 Anacapa Street
Santa Barbara
California 93101
805 966-9661
Charles E. Pence, A.I.A.



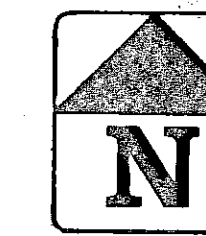
HENDRIX AVE.

N. 89°54'E. 437.74'

EAST 437.74'

(NOT A PART OF
THIS CONSTRUCTION)

TRUE NORTH



SCALE: 1"=20'-0"

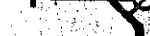
GENERAL NOTES:

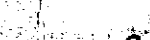
- (A)** EXIST. UTILITIES BASED ON SURVEY BY BAUGHMAN COMPANY, SURVEYORS
330 LAURA, WICHITA, KANSAS
DATED 30 AUGUST 1977
- (B)**  BENCH MARK USED: CITY STANDARD
DISC, CENTER OF U.S. HWY. 54 PAYMENT A
44' WEST OF E. OF DUGAN.
ELEV. = 121.652 (CITY DATUM)

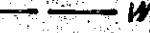
SITE PLAN NOTES:

- 1 CONTRACTOR SHALL NOTIFY & COORDINATE WITH UTILITY COMPANIES AND STATE HIGHWAY DEPARTMENT.
- 2 ALL SEWER PIPE TO BE EXTRA-STRENGTH VITRIFIED CLAY PIPE.
- 3 ALL A.C.P. WATER LINES CLASS (150).
- 4 EXIST. MANHOLE TO BE DEMOLISHED TO 3'-0" BELOW FINISH GRADE AND REFILLED IN 3" COMPACTED LAYERS.

LEGEND

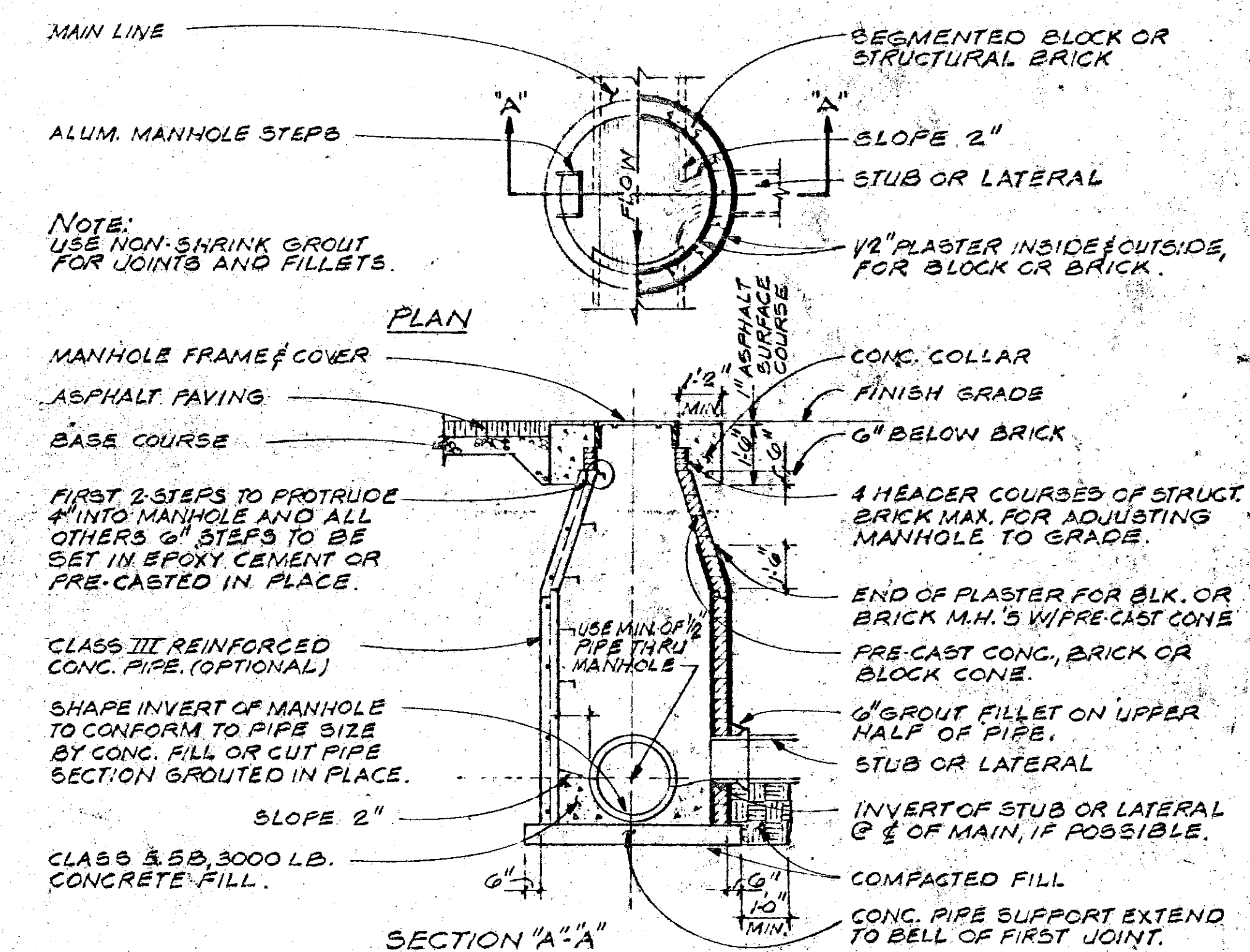
- 







- NEW CLEN-OUTS 19
62 TYP
 NEW YARD HYDRANTS
 (TO BE FREEZE-PROOF)
 EXIST. SANITARY SEWER
 EXIST. WATER LINE
 EXIST. STORM DRAIN SEWER
 EXIST. GAS LINE
 PIPE JUNCTION



DRAWN BY: *M.R.J.*
CHECKED :
PAGE NO.
ISSUE DATE

UTILITIES
SITE PLAN

10-4

MOTEL

SANTA BARBARA, CALIFORNIA 93105
TELEPHONE (805) 682-6666

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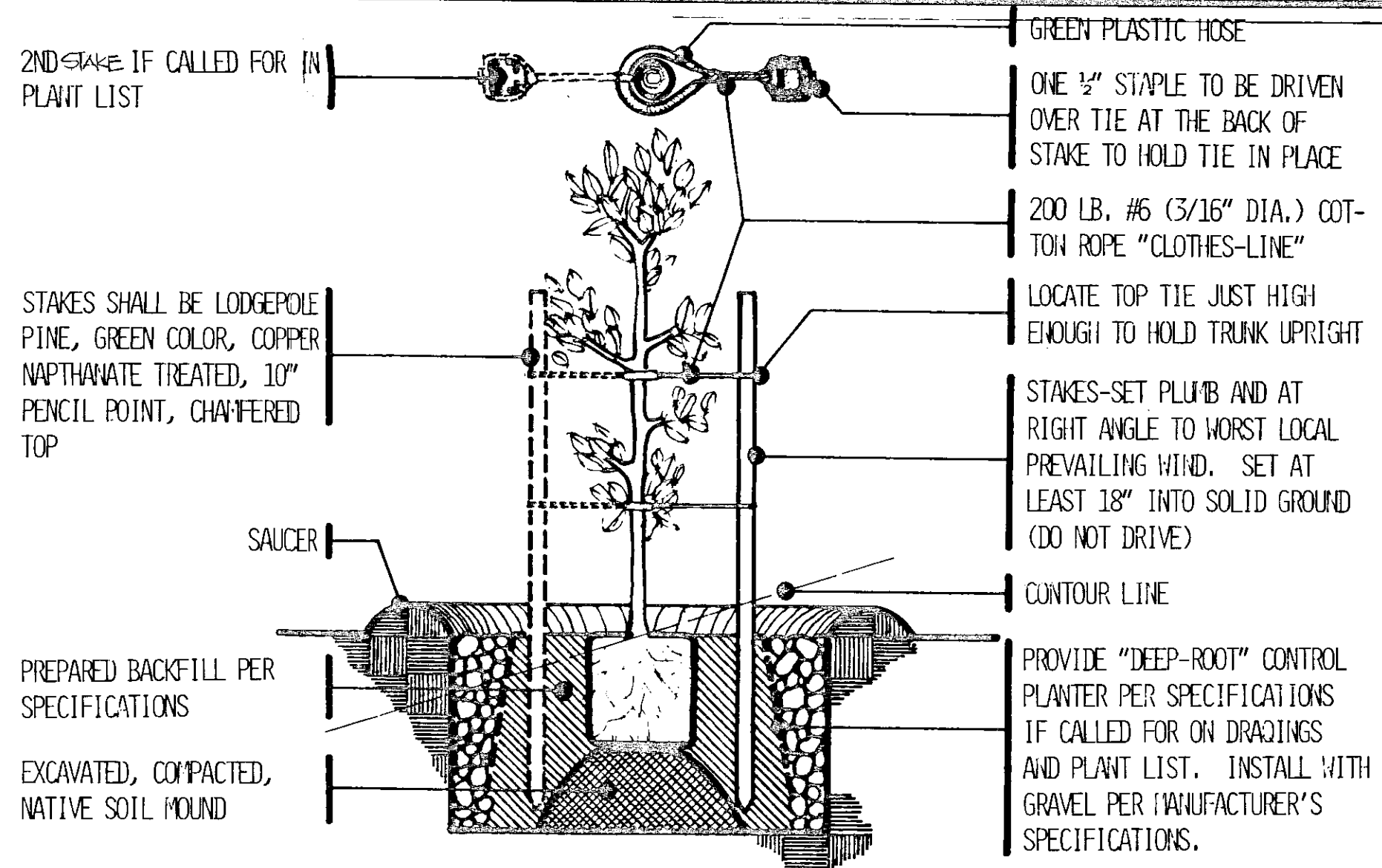
PLANT LIST					plant flag	symbol: letter = plant type, number = position on plant list
symbol	number	size	botanical name	common name	notes	number: count at plant flag
T-1	10	2' B&B	PLATANUS ACERIFOLIA 'STANDARDIZED'	LONDON PLANE TREE	COUPLE STAKE PER DETAIL #1, SHEET L-2	
T-2	60	12' B&B	NYSSA SYLVATICA	TUPLO	SINGLE STAKE PER DETAIL #1, " "	
T-3	22	6' B&B	PINUS NIGRA	AUSTRIAN PINE	COUPLE STAKE PER DETAIL #1, " "	
T-4	10	4' SHHGH	MAGNOLIA SOULANGIANA	SAUCER MAGNOLIA	NO STAKE	
T-5	32	12' B&B	CRATAEGUS VONOVNA STRICTA	ENGLISH HAWTHORN VARIETY	COUPLE STAKE PER DETAIL #1, SHEET L-2	
T-6	10	12' B&B	BETULA ALBA (MULTIPLE)	WHITE BIRCH	NO STAKE	
S-1	1	2 GAL	DEUTZIA GRACILIS	SLENDER DEUTZIA		
S-2	97	3 GAL	JUNIPERUS SABINA 'BROADMORE'	'BROADMORE' JUNIPER		
S-3	369	3 GAL	JUNIPERUS CHINENSIS 'MINT JULEP'	MINT JULEP JUNIPER		
S-4	210	1 GAL	DIKIOPE SPICATA			
S-5	94	2 GAL	BERBERIS THUNDERBOLT 'CRIMSON PYGMY'	'CRIMSON PYGMY' BARBERRY		
S-6	69	3 GAL	BERBERIS THUNDERBOLT 'KNAIGHT-BURGLUNDY'	KNAIGHT-BURGLUNDY BARBERRY		
S-7	69	2 GAL	BERBERIS THUNDERBOLT 'AUREA'	'AUREA' BARBERRY		
V-1	10	1 GAL	PARTHENOCISSUS TRICUSPIDATA 'VETCH'	DWARF CROTON VY	SEE DETAIL 2, BELOW	

planting notes:

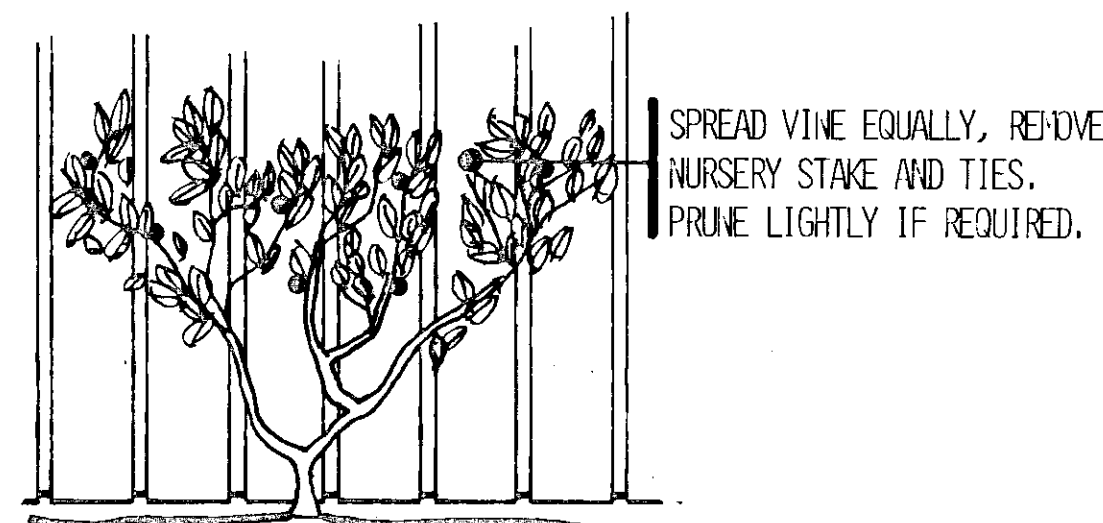
1. REFER TO SEPARATE LANDSCAPING SPECIFICATIONS CONTAINED IN ARCHITECTURAL SPECIFICATIONS BOOK
2. ALL AREAS NOT SHOWN ON DRAWINGS TO BE PLANTED GROUND COVER SHALL RECEIVE GRAVEL GROUND COVER PER SPECIFICATIONS.
3. HERBICIDE: UPON COMPLETION OF ALL PLANTING OPERATIONS, BROADCAST "DACTHAL" 5% GRANULAR ONTO ALL PLANTED AND GRAVEL GROUND COVER AREAS AT THE RATE OF 4 LBS. PER 1000 SQ. FT. AVOID APPLICATION ONTO SEEDED AREAS. WATER IN THOROUGHLY. USE AND APPLICATION SHALL CONFORM WITH LOCAL REGULATIONS.
4. CONTACT THE PROJECT ENGINEER (HOTEL 6, TEL. 1-805-682-6666) OR THE PROJECT LANDSCAPE ARCHITECT (EARTHPLAN, TEL. 1-805-687-7769) FOR QUESTIONS RELATING TO THE PLANTING AND IRRIGATION WORK FOR THIS PROJECT.

EARTHPLAN

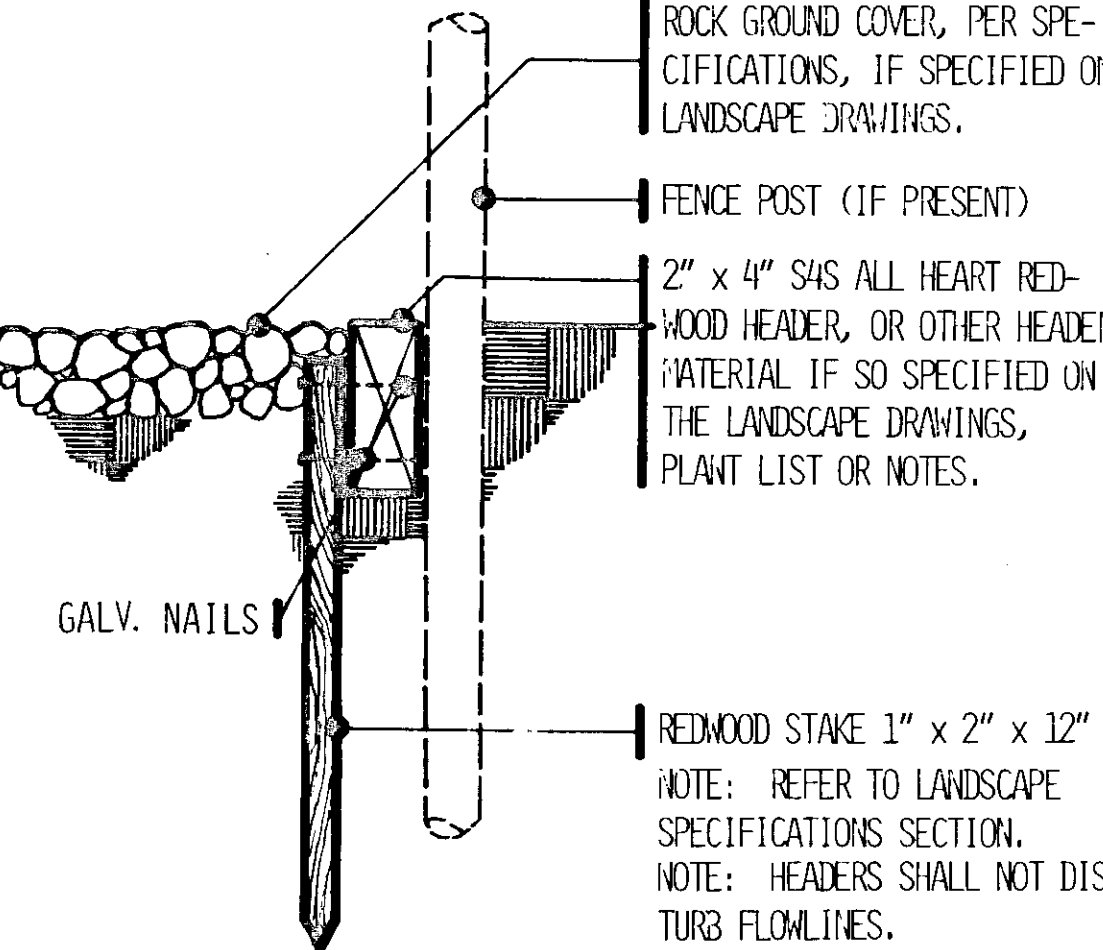
landscape architecture •
planning • 3938 state street
santa barbara, ca 93105



1 TREE PLANTING AND STAKING no scale



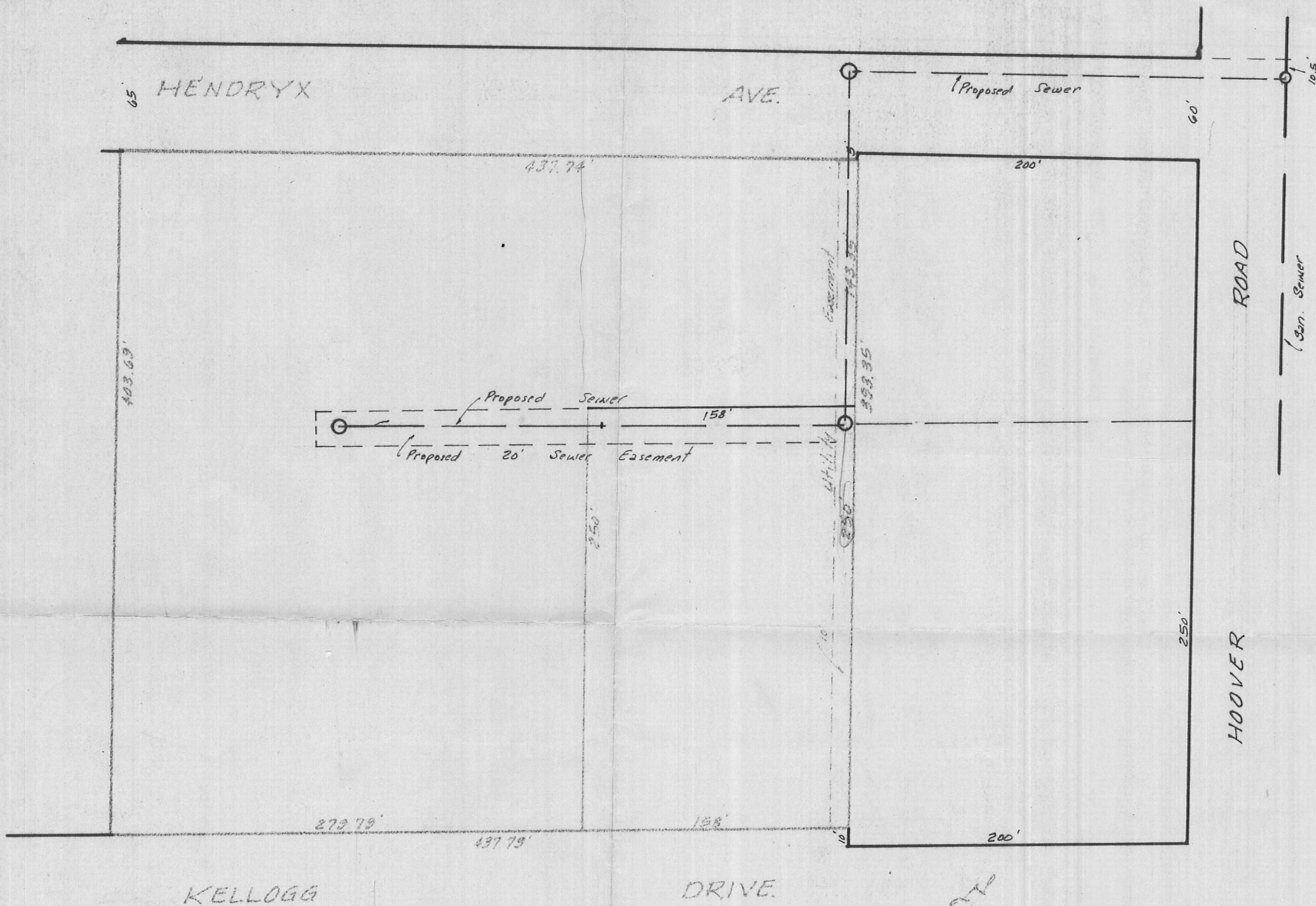
2 VINE TYING no scale



4 REDWOOD HEADER no scale

DRAWN BY: KA
CHECKED: ERU
PAGE NO.
ISSUE DATE

REVISIONS
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51 HITCHCOCK WAY
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TELEPHONE (805) 682-6666



LOT SPLIT

LOT 2, BYRON STOUT ADDITION, WICHITA, KANSAS.