

STREET IMPROVEMENTS ON YELLOWSTONE COURT - from the northwesterly line of Yellowstone to and including cul-de-sac. THE PARK 2ND ADDITION

PROJECT NO.

472-76-245-81657-000-000-001

INDEX NO. 608349

INDEX TO DRAWINGS

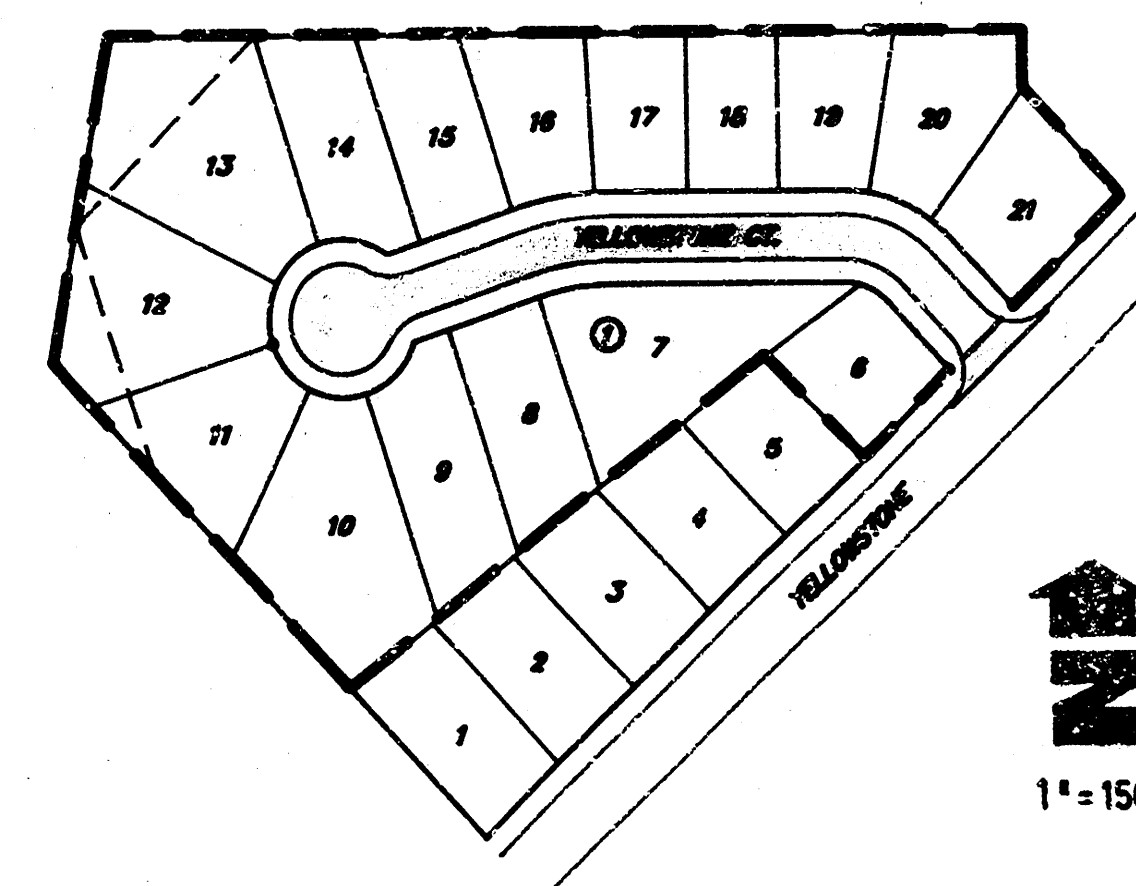
SH. NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION
3	PAVEMENT PLAN
4	EARTHWORK SECTIONS
5	FINAL PLAT

CITY OF WICHITA, KANSAS

MICHAEL E. LINDEBAK CITY ENGINEER

BENCHMARKS

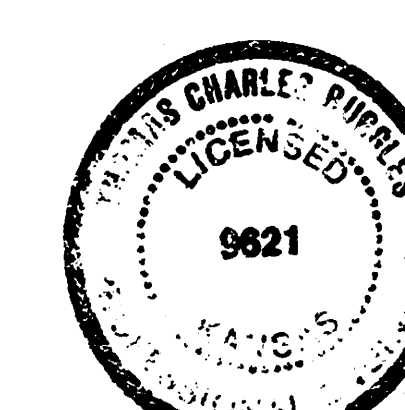
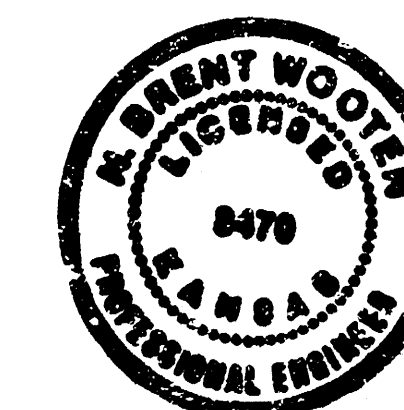
- "X" CUT T.C., So.S. YELLOWSTONE 50' N. N.L. YOSEMITE, E.S. YELLOWSTONE. ELEV.=139.19 CITY DATUM
- "X" CUT T.C. 44' SW. E. YELLOWSTONE CT., SW. SIDE CONST. JOINT ON NW. CURBLN. YELLOWSTONE. ELEV.=133.91 CITY DATUM
- "V" NOTCH N.E. RIM M.H., 54.5' SW-ly & 3.8' SE-ly, SW. Cor. LOT 1, THE PARK SECOND ADDITION. ELEV.=136.75 CITY DATUM



GENERAL NOTES

- Utility service lines, poles, valve boxes, meters, and structures are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- A saw cut of at least one-half the depth of existing surface courses or one-fourth the depth of the existing total pavement thickness shall be provided at locations where proposed construction abuts an existing surface course or pavement for which partial removal of that surface or pavement is required. Sawed joint to facilitate removal within three (3) feet of existing joints will not be permitted and for such instances the limits of removal shall extend to the existing joint. Such saw cuts will not be paid for directly and this cost shall be considered as subsidiary to the removal of the surface or pavement.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be varied shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved.
- This project includes a certain amount of roll type curb construction. Roll Curb shall be depressed through all driveway openings when such drives are constructed as a part of the project. No more than 12" drives 16" feet in width, or equivalent combinations thereof, are to be constructed with this project.
- Widened gutter section of combined curb and gutter at intersections will not be paid for directly, and this cost shall be considered as subsidiary to the other contract pay items of work.
- Limits of earthwork shall match existing ground elevations at the right-of-way line unless otherwise noted on the plans with a new finished grade elevation. When a new finished grade elevation is shown, the earthwork shall extend one foot beyond the right-of-way line and then sloped up or down using permissible slopes to match the existing ground surface.
- Contractor shall give property owners abutting this project, whose yards will be lower than the new finished grade elevations at the right-of-way line, an opportunity to utilize excess excavated material from the project to regrade their yards to drain to the new pavement. Contractor will be required to dump and spread the excess material as required by the specification when requested by the property owner. The Contractor shall ascertain that a dirt order form has been properly executed by the property owner before any such excess material is delivered to such properties.
- The Contractor will be permitted to bid only one of the alternate types of subgrade treatment. The type bid by the successful bidder will be the type of subgrade treatment used to construct the project.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

IMPROVEMENT DISTRICT -----

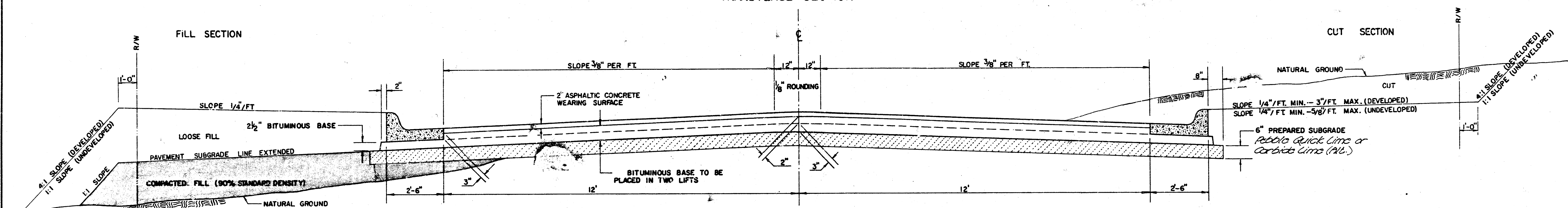


BAUCHMAN COMPANY P. A.
SURVEYING & ENGINEERING
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

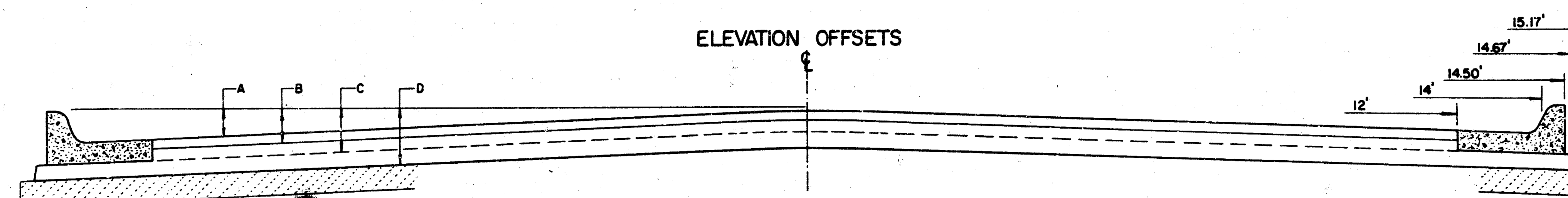
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TYPICAL 29' PAVEMENT DETAILS

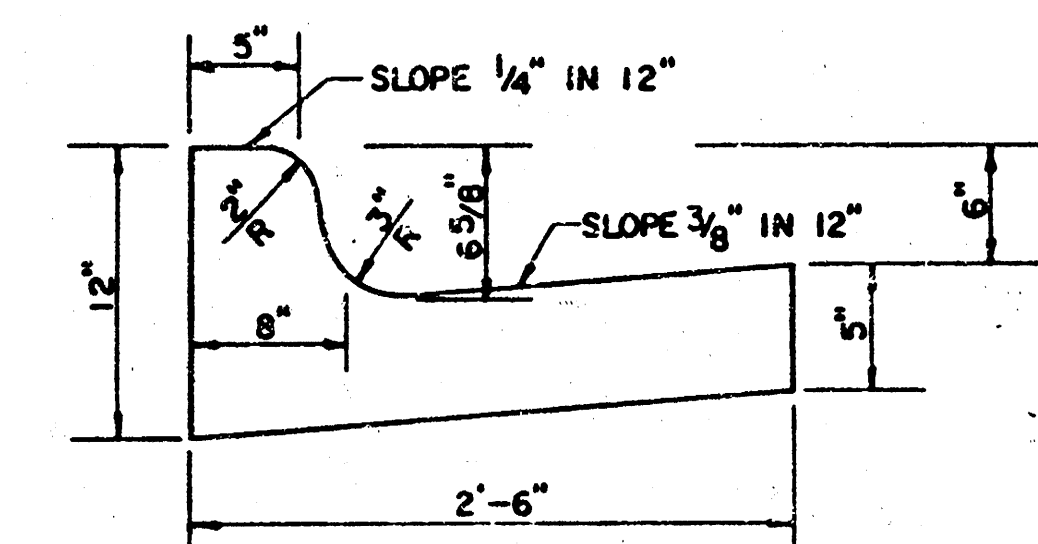
TRANSVERSE SECTION



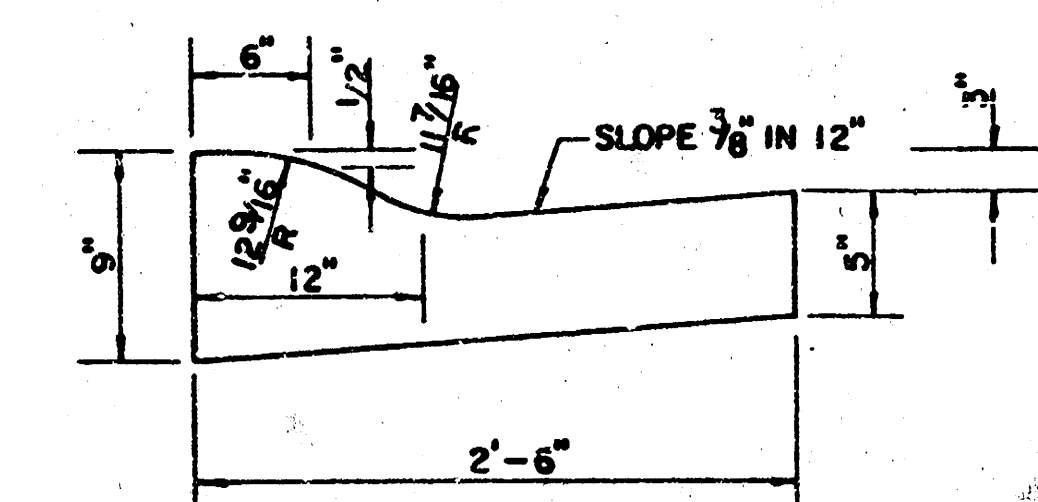
ELEVATION OFFSETS



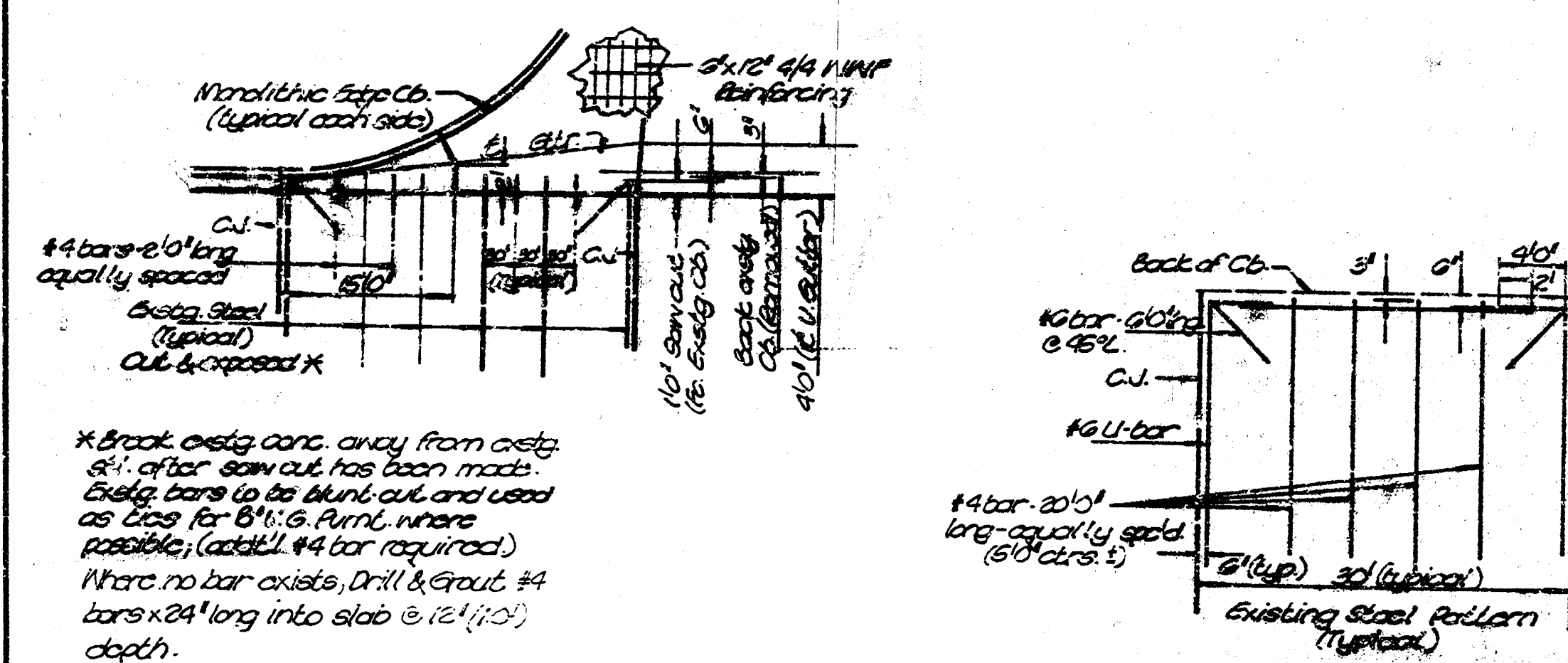
COMBINED CURB & GUTTER



ROLL TYPE COMBINED CURB & GUTTER

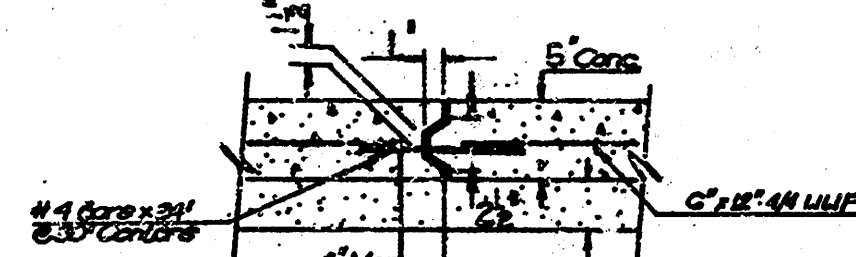


VALLEY GUTTER DETAILS

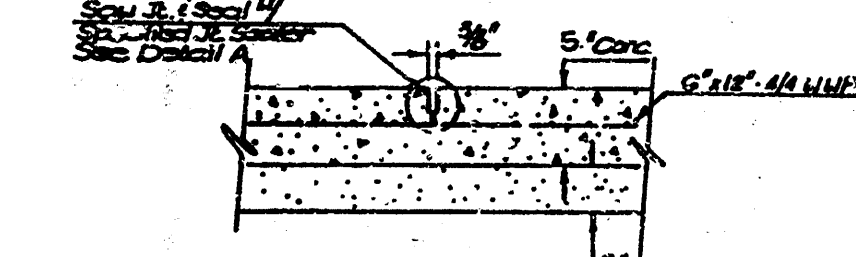


	DISTANCE FROM CENTERLINE (LT. & RT.)												
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'	
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—	
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.67	—	—	—	—	
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—	
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23	

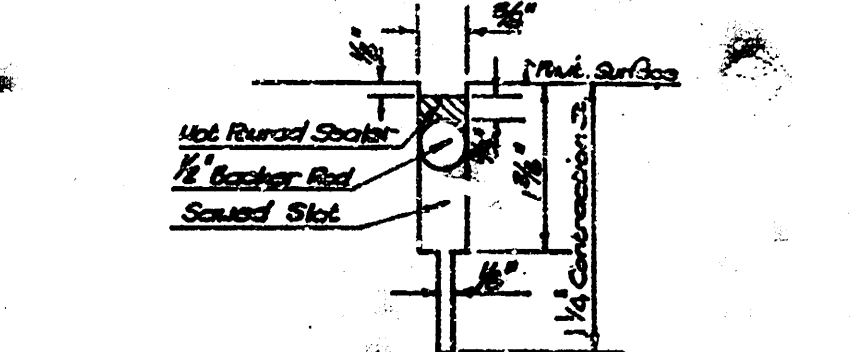
LONGITUDINAL JOINT DETAIL



CONTRACTION JOINT DETAIL



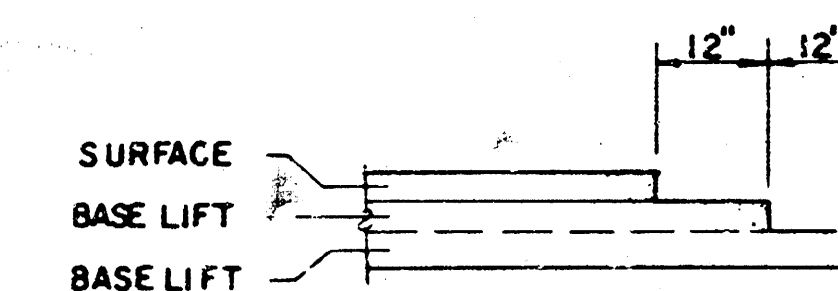
DETAIL A



GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2" BITUMINOUS BASE.
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

TRANSVERSE CONSTRUCTION JOINTS



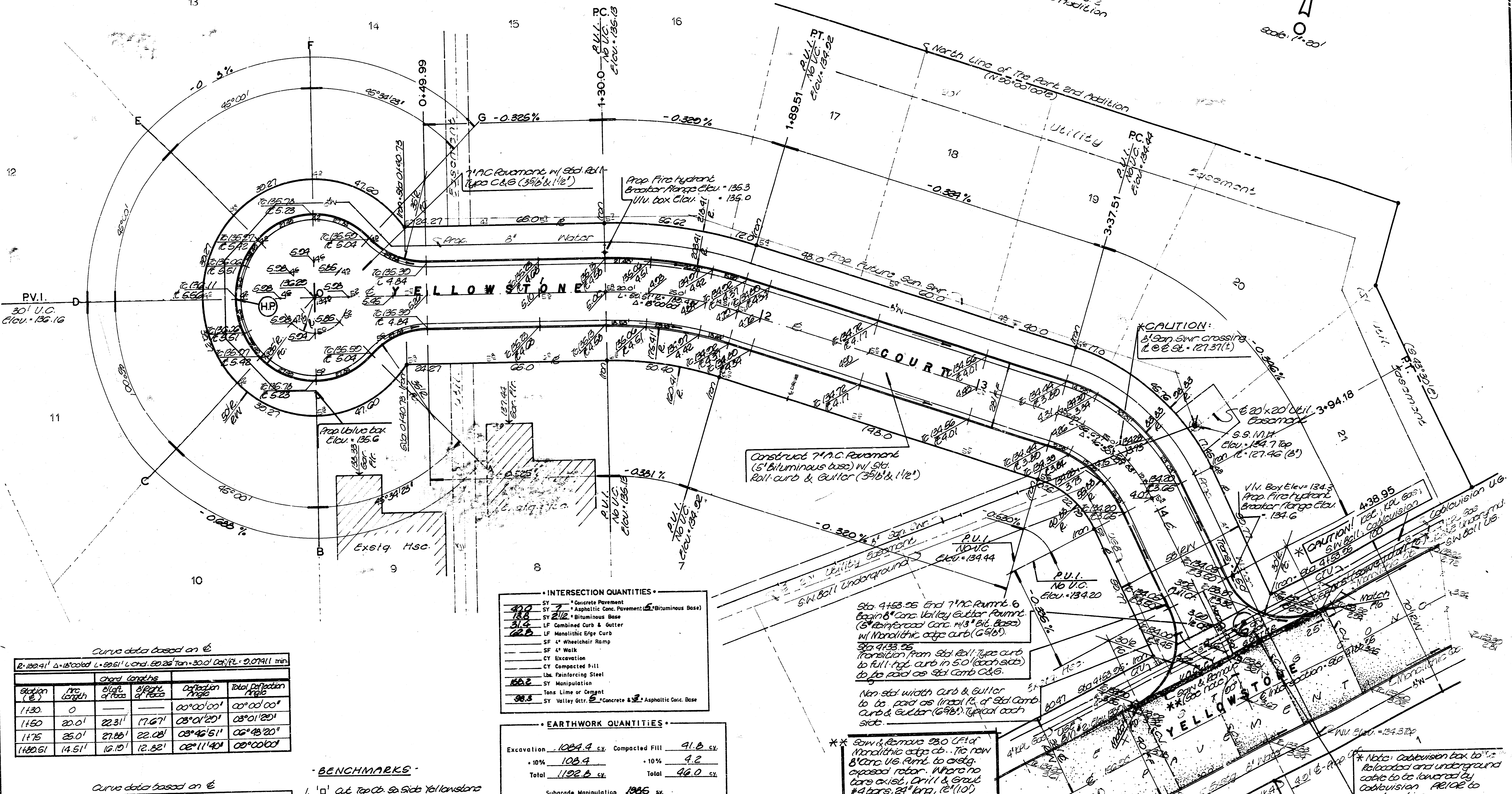
TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).

7 INCH RESIDENTIAL ASPHALTIC CONCRETE
PAVEMENT WITH 5 INCH BITUMINOUS BASE
CITY OF WICHITA, KANSAS

PROJECT NUMBER
972 76 245 81667 000 000 001

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VALVE BOX / BREAKER FLANGE ADJUSTMENT TABLE			
Station	Direction	Breaker Flange Elev.	Valve Box Elev.
0+00	Rt.	N/A	135.6
1+30	Lt.	135.3	135.0
4+38.95	Lt.	134.6	134.3



Curve data based on E

Station	PC	Pt. of Tangency	PT	Length of Curve	Chord Length	Offset	Deflection Angle	Total Deflection Angle
1+30	0	22.31	17.67	03°01'20"	00°00'00"	00°00'00"	03°01'20"	03°01'20"
1+75	20.0	27.85	22.08	03°46'51"	00°48'20"	00°48'20"	03°46'51"	03°46'51"
1+80.51	14.51	16.10	12.82	02°11'40"	00°00'00"	00°00'00"	02°11'40"	02°11'40"

Curve data based on E

Station	PC	Pt. of Tangency	PT	Length of Curve	Chord Length	Offset	Deflection Angle	Total Deflection Angle
3+37.61	0	12.40	5.84	05°01'27"	00°01'27"	00°01'27"	05°01'27"	05°01'27"
3+75	25.0	32.70	17.03	10°16'25"	00°16'25"	00°16'25"	10°16'25"	10°16'25"
3+94.18	19.18	25.14	13.10	07°52'00"	00°15'00"	00°15'00"	07°52'00"	07°52'00"

- BENCHMARKS**
1. 1' 0" Curb Top, 30' Side Yellowstone Ave. N. NE. Corner, 135.0' City datum
 2. 1' 0" Curb Top, 44' SW Side Yellowstone Ave. N. NE. Corner, 135.0' City datum
 3. 1' 0" Curb Top, 44' SW Side Yellowstone Ave. N. NE. Corner, 135.0' City datum

INTERSECTION QUANTITIES

SY	Concrete Pavement	470
SY	Asphaltic Conc. Pavement (2" Bituminous Base)	188
SY	2" Bituminous Base	314
LF	Combined Curb & Gutter	662
LF	Manhole Edge Curb	36.3
SF	4" Wheelchair Ramp	
SF	4" Walk	
CY	Excavation	
CY	Compacted Fill	
Lbs.	Reinforcing Steel	
SY	Manhole	
Tons	Line or Curb	
SY	Valley Gutter	

EARTHWORK QUANTITIES

Excavation	1084.9	Compacted Fill	41.6
+ 10%	1084.9	+ 10%	41.6
Total	1126.5	Total	46.0
Subgrade Manipulation	1906		
Borrow Material			

NOTE:
 Having Contractor to coordinate paving with utility(s) installation/construction/relocation on this project. DO NOT construct prior to completion of utility installation/relocation.
 Sta. 4+157: Water Main (C&N Proj. # 446 to 245 2456.000 000 001)
 Sta. 4+160: Cable Vision Band Line - Relocation

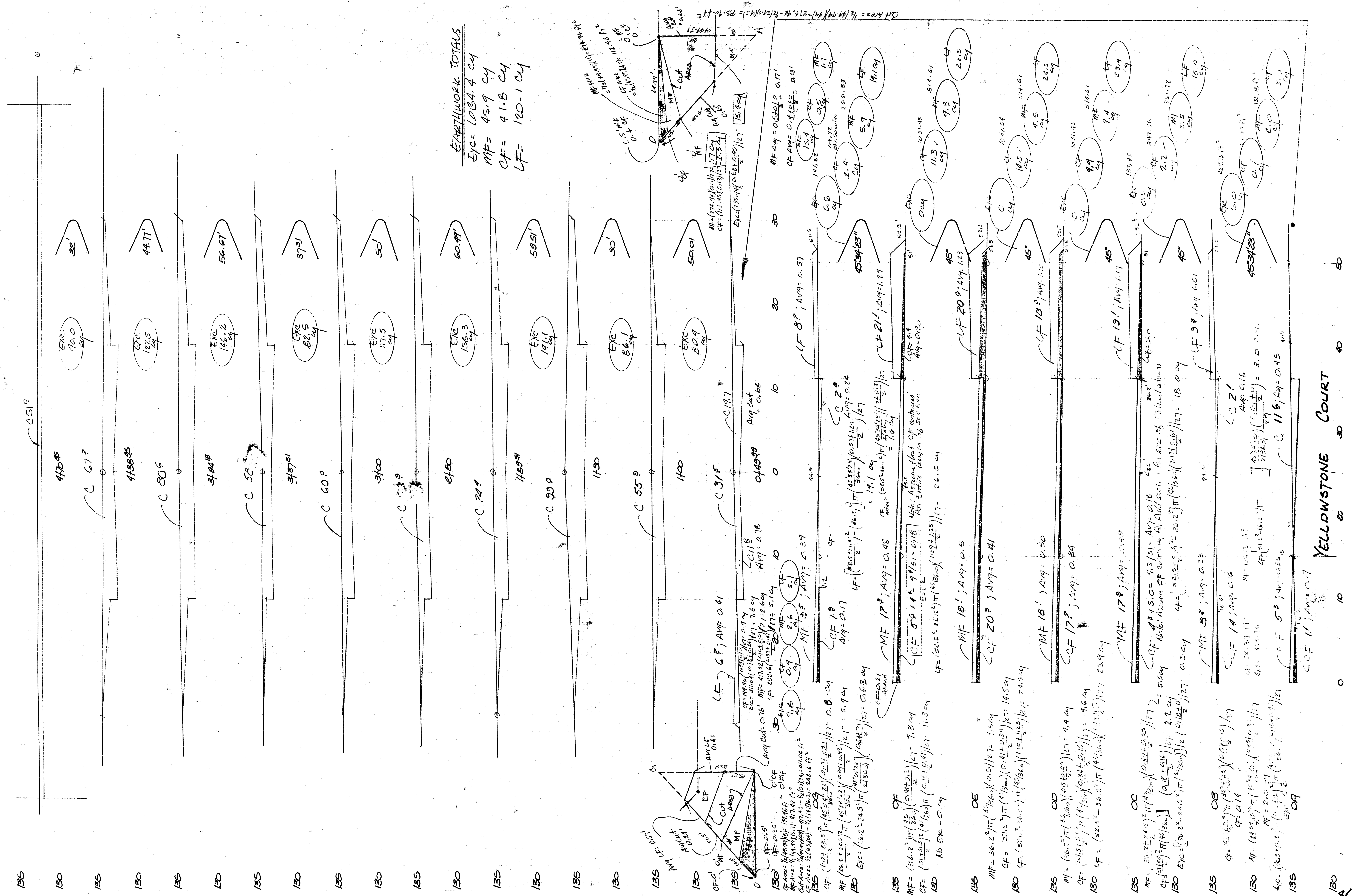
YELLOWSTONE COURT
 Lots 6 thru 21, Block 1, The Park Addition

BAUGHMAN COMPANY, P.A.
 SURVEYING & ENGINEERING
 31025-7211 • 310 ELLIS • WYOMING, KANSAS 67211

Project Number: 47676 245 2456 000 000 001

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EARTHWORK SECTIONS



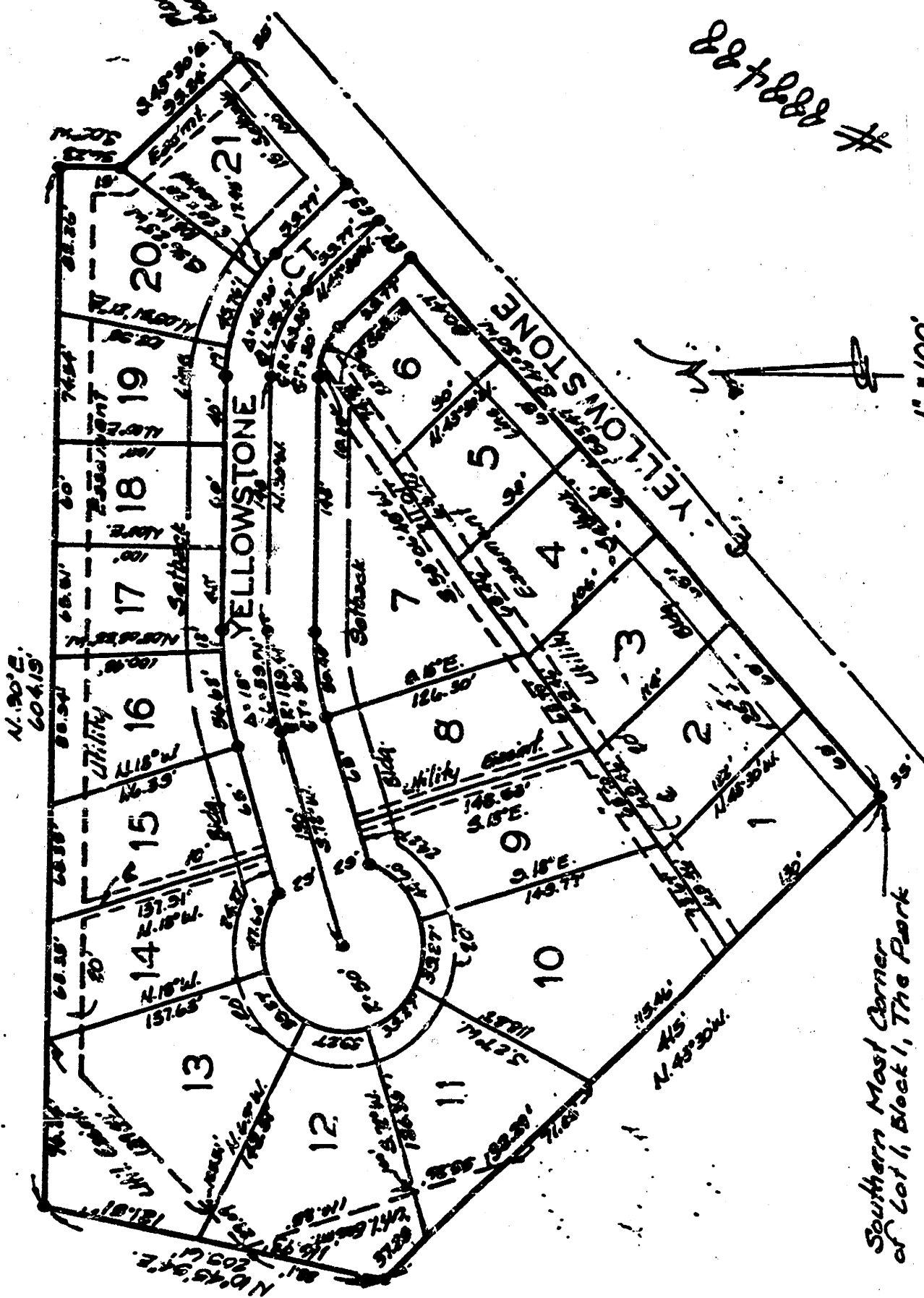
EARTHWORK TOTALS
Exc = 1084.4 cy
MF = 45.9 cy
CF = 41.8 cy
LF = 120.1 cy

YELLOWSTONE COURT



THE PARK 2ND ADDITION

WICHITA, KANSAS



State of Kansas, ss. We, Baughman Company, P.A. Surveyors in Sedgewick County and State do hereby certify that we have surveyed and platted "THE PARK 2ND ADDITION" in Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as and being a replat of the part of Lot 1, Block 1, The Park, an addition to Wichita, Sedgewick County, Kansas, described as commencing at the N.E. corner of said Lot 1; thence 800' E., along the east line of said Lot 1, 1111 feet to the P.C. of a curve; thence southwesterly along the east line of said Lot 1 and on a curve to the right having a radius of 420 feet a distance of 540.23 feet to the P.T. of said curve; thence S 44° 50' 44" E., along the southeasterly line of said Lot 1, 191 feet to a place of beginning; thence N 43° 50' 44" E., 35.24 feet to the west line of said Lot 1; thence S 10° 45' 54" W., along the west line of said Lot 1, 103.61 feet to the S.W. corner of said Lot 1; thence S 43° 50' E., along the southeasterly line of said Lot 1, 415 feet to the S.E. corner of said Lot 1; thence N 44° 50' E., along the southeasterly line of said Lot 1, 533.47 feet to the place of beginning. Being situated in the NW 1/4 of Sec. 5, Twp. 28-S., R. 1-W. of the 6th P.M., Sedgewick County, Kansas.

This plat of "THE PARK 2ND ADDITION," Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgewick County Metropolitan Area Planning Commission. Dated this 15th day of February, 1987.

Wichita-Sedgewick County Metropolitan Area Planning Commission
[Signature] Chairman
[Signature] Secretary

This plat approved and all dedications shown herein accepted by the City Council of the City of Wichita, Kansas, this 15th day of February, 1987.

[Signature] Mayor
[Signature] City Clerk

Entered on transfer record this 15th day of February, 1987.
[Signature] County Clerk

State of Kansas, ss. This is to certify that this plat has been filed for record in the office of the Register of Deeds this 15th day of February, 1987, and is duly recorded.

[Signature] Register of Deeds
[Signature] Deputy

We, the undersigned, holders of a mortgage on the above described property, do hereby consent to this plat of "THE PARK 2ND ADDITION," Wichita, Kansas.

[Signature] Attorney
[Signature] Nobony Public

State of Kansas, ss. The foregoing instrument acknowledged before me this 20th day of May, 1987, by Steven B. Baughman, Assistant Vice President of Prairie State Bank, on behalf of the corporation.

[Signature] Nobony Public

2 Jan 1987
Baughman Company, P.A.
[Signature] Surveyor

Know all men by these presents that the undersigned, have caused the land described in this survey certificate to be platted into lots and a street to be known as "THE PARK 2ND ADDITION," Wichita, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The street is hereby dedicated to and for the use of the public.

A. J. Scerries Real Estate, Inc. [Signature] President
A. J. Scerries

[Signature] Carmen M. Cornejo
Carmen M. Cornejo
Bruce G. Hansberry
Bruce G. Hansberry

State of Kansas, ss. The foregoing instrument acknowledged before me this 14th day of April, 1987, by A. J. Scerries, President of A. J. Scerries Real Estate, Inc., on behalf of the corporation.

[Signature] Nobony Public

State of Kansas, ss. The foregoing instrument acknowledged before me this 14th day of April, 1987, by Dario M. Cornejo and Carmen M. Cornejo, his wife.

[Signature] Nobony Public

State of Kansas, ss. The foregoing instrument acknowledged before me this 14th day of April, 1987, by Bruce G. Hansberry and Sherry L. Hansberry, his wife.

[Signature] Nobony Public

[Signature] Nobony Public