

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS. ALL CONSTRUCTION SHALL BE COMPLETED FOLLOWING CURRENT CITY STANDARD SPECIFICATIONS AND SPECIAL PROVISIONS.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE NOTICE TO UTILITY COMPANIES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION, AS FOLLOWS:

KANSAS ONE-CALL 1-316-687-2470

THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:

AT&T	1-800-246-8464
BLACK HILLS ENERGY	1-800-694-8989
CITY OF WICHITA WATER & SEWER	1-316-219-8921
CITY OF WICHITA STORMWATER	1-316-268-4498
CITY OF WICHITA TRAFFIC	1-316-268-4501
COX COMMUNICATIONS	1-888-249-3530
KANSAS GAS SERVICE	1-888-462-4950
EVERGY	1-800-544-4857

- UTILITY SERVICE LINES, POLES, ETC., ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION.
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS, IN THE OPINION OF THE ENGINEER, THAT WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR DISPOSED OF IN A FLOOD PLAIN WILL REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPUS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WILL REQUIRE ADDITIONAL ARCHEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
- TREES AND SHRUBS IN PUBLIC RIGHT-ON-WAY WHICH ARE IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE REMOVED BY THE CONTRACTOR WITH THE CITY ENGINEER'S APPROVAL. TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH PROPOSED NEW CONSTRUCTION SHALL BE SAVED AND PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS NOTICE PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO REESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE REESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- THE ENGINEERING DIVISION SHALL FIELD LOCATE WATER VALVES ONE TIME DURING CONSTRUCTION WHEN REQUESTED BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE SUCH FIELD LOCATIONS DURING THE CONSTRUCTION PROCESS. WATER VALVES, VALVE BOXES OR FIRE HYDRANTS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE. VALVE BOXES AND WATER METERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO MATCH FINAL GRADES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE INSPECTING ENGINEER AND DAWNITA REINHARDT AT 316-650-0740 WITH THE CITY OF WICHITA WITH THE ANTICIPATED CONSTRUCTION START DATE AND NOTIFY THEM OF PROJECT COMPLETION. STAKING AND INSPECTION FOR THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF TRAFFIC WILL BE IMPACTED BY CONSTRUCTION, A TRAFFIC CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY TRAFFIC ENGINEER AT traffic@wichita.gov BEFORE CONSTRUCTION CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES TO FACILITATE CONSTRUCTION. ALL CONSTRUCTION ZONE MARKINGS AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE US DEPT. OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION. ALL COSTS ASSOCIATED WITH CONSTRUCTION MARKINGS AND SIGNAGE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL ELEVATIONS SHOWN ARE NAVD 88.
- ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL NOT BE UNDER PROPOSED PAVEMENT SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.
- ANY SIDEWALK, DRIVE APPROACH, CURB, OR STREET PAVEMENT REMOVED TO CONSTRUCT PROJECT MUST HAVE A PAVEMENT CUT PERMIT AND BE REPLACED BY THE CITY CONTRACTOR. PERMITS CAN BE OBTAINED BY CALLING 316-268-4501 OR 316-268-4480.
- ALL APPLICABLE FEES (TAP, EQUITY, IN LIEU OF & MAIN BENEFIT) MUST BE PAID BEFORE ANY CONNECTIONS CAN BE MADE ON THIS PROJECT. QUOTES CAN BE OBTAINED ON FEES BY CALLING CHRIS STONE AT 316-268-4641.
- CITY MAINTENANCE OF WATER MAINS ENDS AT RIGHT-OF-WAY OR EASEMENT LINE OR WITHIN TWO FEET OF VAULT.
- OPENING AND CLOSING OF WATER VALVES SHALL BE DONE SLOWLY TO PREVENT DAMAGE TO THE WATER DISTRIBUTION SYSTEM FROM WATER HAMMER. ALL VALVES CLOSED BY THE CONTRACTOR MUST BE REOPENED AS NEW CONSTRUCTION PERMITS. THE PROJECT INSPECTOR MUST ASCERTAIN THAT ANY VALVE CLOSED BY THE CONTRACTOR IS REOPENED. THE CONTRACTOR WILL BE PERMITTED TO OPERATE WATER VALVES ONLY WHEN THE PROJECT INSPECTOR ASSIGNED TO THE PROJECT IS PRESENT.
- THE CONTRACTOR SHALL LAY A TRACER WIRE AND SET TEST STATIONS ALONG ALL WATER PIPE INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS AND TRACER WIRE DETAIL ON DETAIL SHEET WL-101, COST IS SUBSIDIARY TO PIPE INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE MATERIALS FOR TEMPORARY BLOWOFF OF WATERLINES. CONNECTIONS TO THE EXISTING WATERLINE(S) SHALL BE MADE WITH CLEAN, SWABBED PIPE AND FLUSHED UPON COMPLETION OF TIE-INS.
- REQUESTS FOR SHORT TERM WATER INTERRUPTIONS SHALL BE MADE TO THE CITY WATER DISTRIBUTION DIVISION AND WILL BE SUBJECT TO THEIR APPROVAL. THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO ANY PROPERTY OWNER, BUSINESS, AND/OR TENANTS THAT WILL HAVE WATER SERVICE INTERRUPTED AT LEAST 5 DAYS IN ADVANCE. SUCH NOTIFICATIONS SHOULD INDICATE THE TIME AND DATE THAT THE WATER WILL BE TURNED OFF AND WHEN THE SERVICE WILL BE RESTORED. NO BUSINESS, PROPERTY OWNER, AND/OR TENANTS SHALL BE WITHOUT WATER SERVICE FOR MORE THAN 8 HOURS. PROPOSED TIE-IN LOCATIONS WHICH WILL AFFECT WATER SERVICE TO PROPERTY OWNERS SHALL BE PERFORMED DURING NON-PEAK HOURS.
- THE CONTRACTOR MUST SCHEDULE THE CONNECTIONS TO THE EXISTING MAIN WITH THE CITY SUCH THAT THERE IS A MINIMUM DISRUPTION OF SERVICE. CONNECTIONS SHALL BE MADE DURING PERIODS OF LOW WATER USAGE. THE CONTRACTOR SHALL SUBMIT HIS PROPOSED SCHEDULE FOR COMPLETING WORK FOR CITY APPROVAL AT LEAST 10 DAYS PRIOR TO BEGINNING CONSTRUCTION.
- DEFLECTIONS AT PIPE JOINT OR COUPLINGS SHALL NOT EXCEED THE PIPE MANUFACTURER'S RECOMMENDED MAXIMUM. WHERE DEFLECTIONS ARE GREATER THAN THE MAXIMUM ALLOWED, THE CONTRACTOR SHALL UTILIZE FITTINGS.
- ANY EXISTING JOINT EXPOSED DURING EXCAVATION SHALL BE REPLACED IF WITHIN FOUR FEET OF PROPOSED JOINT.
- VALVES 12 INCHES AND LARGER ARE TO BE OPERATED BY THE CITY WATER DISTRIBUTION DIVISION, 48 HOURS OF ADVANCE NOTICE IS REQUIRED WITH THE WATER DISPATCH AT 316-291-8921.
- ALL WET TAPS SHALL BE INSTALLED BY THE CITY OF WICHITA. THE CONTRACTOR WILL REIMBURSE THE CITY FOR TAPPING FEES PRIOR TO TAP BEING MADE. UNLESS NOTED ON PLANS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE AND SUPPORT EXISTING UTILITIES THROUGH CONSTRUCTION AS APPROVED BY THE UTILITY OWNER AND THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL LIMIT THE EXTENT OF TRENCH OPENINGS OVERNIGHT AND WEEKENDS TO LESS THAN 50 FEET.
- WICHITA FIRE DEPARTMENT INSPECTIONS MAY BE SCHEDULED BY CALLING DAWNITA REINHARDT AT 316-268-4574.
- MAINTAIN A MINIMUM 10-FOOT HORIZONTAL SEPARATION BETWEEN ALL WATER LINES (MANS, SERVICES, AND FIRE HYDRANTS) AND ALL SANITARY SEWER LINES (MANS, SERVICES, AND MANHOLES). ALL SEPARATION DISTANCES ARE TO BE MEASURED FROM EDGE-TO-EDGE, AT THE CLOSEST POINT.
- MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MANS AND SERVICES) AND ALL GRAVITY SANITARY SEWER LINES (MANS, SERVICES, AND MANHOLES) AT CROSSINGS. ALL SEPARATION DISTANCES ARE TO BE MEASURED EDGE-TO-EDGE, AT THE CLOSEST POINT. IF THE WATER PIPE IS BELOW THE SANITARY SEWER, REGARDLESS OF CLEAR SPACE, THE SANITARY SEWER SHALL BE REINFORCED CONCRETE ENCASED FOR A DISTANCE OF TEN FEET (10') EACH WAY FROM THE WATER LINE CROSSING.
- MAINTAIN A MINIMUM OF 2-FOOT VERTICAL SEPARATION BETWEEN ALL WATER LINES (MANS AND SERVICES) AND ALL PRESSURIZED SANITARY SEWER LINES (FORCE MAINS AND SERVICES) AT CROSSINGS. WATER LINES MUST ALWAYS BE PLACED ABOVE PRESSURIZED SANITARY SEWER LINES WHERE THEY CROSS. ALL SEPARATION DISTANCES ARE TO BE MEASURED EDGE-TO-EDGE, AT THE CLOSEST POINT.

PRIVATE WATER DISTRIBUTION SYSTEM

TO SERVE

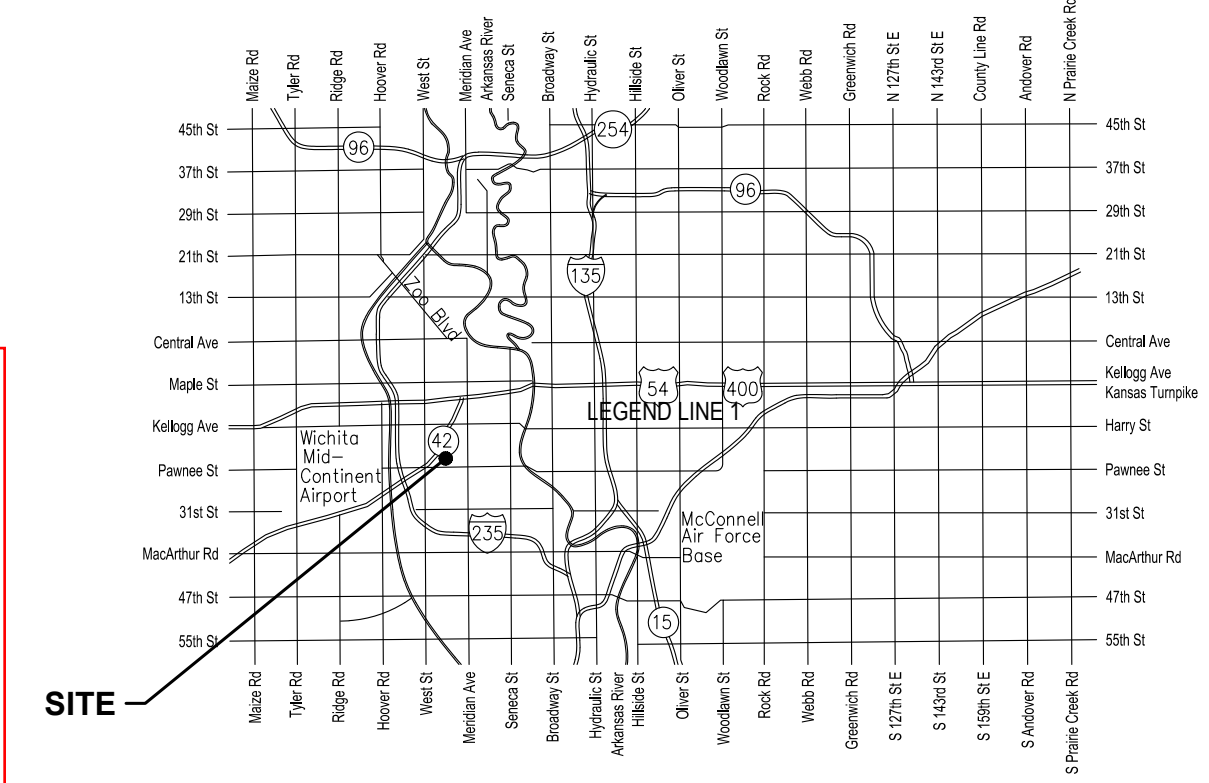
**RAILWAY SUPPLY GROUP
OFFICE AND WAREHOUSE BUILDING**

2250 S. SHERIDAN ST.,
WICHITA, KS 67213

THE CITY OF WICHITA, KANSAS
PAUL GUNZELMAN, P.E. - CITY ENGINEER

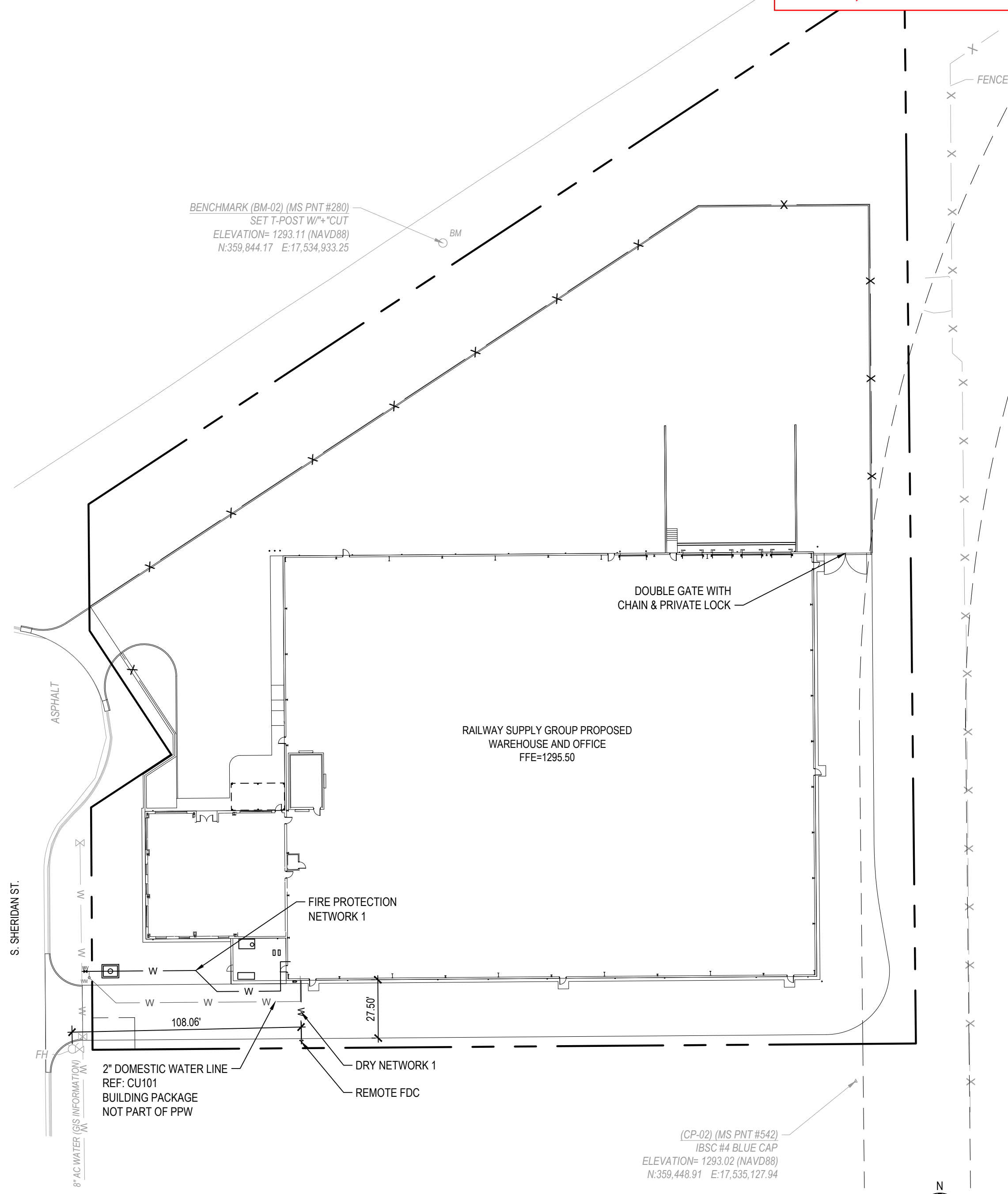
PROJECT NUMBER
2025-011784PPW (54030980)

**AS BUILT PLANS
CONTRACTOR; MIES CONSTRUCTION
SUPERINTENDENT; DALLAS MIES
FOREMAN; JUAN PERALTA
CLIENT; CITY OF WICHITA
INSPECTOR; ROSS POWERS
INSPECTION FIRM; SCHWAB-EATON, PA.
PDF BY; RJP 10/08/2025**



Vicinity Map

INDEX OF DRAWINGS	
SHEET NO.	SHEET NAME
CU130	PPW COVER SHEET
CU230	WATER PLAN & PROFILE
CU530	WATER DETAILS
CU531	WATER DETAILS
CU532	WATER DETAILS
CU533	WATER DETAILS
CU534	WATER DETAILS
CE501	EROSION CONTROL DETAILS
CE502	EROSION CONTROL DETAILS
CE503	EROSION CONTROL DETAILS
CE504	EROSION CONTROL DETAILS
CE505	EROSION CONTROL DETAILS
GS001	SITE SURVEY



BENCHMARKS/ CONTROL POINTS

<p>BM-01 (MS PNT #3) SQUARE CUT SET IN N SIDE OF CURB INLET ON WEST SIDE OF BUILDING. N: 359,343.44 E: 17,534,703.83 ELEV = 1291.51 (NAVD88)</p>	<p>CP-01 (MS PNT #1) IBSC #4 BLUE CAP. N: 359,378.32 E: 17,534,701.83 ELEV = 1291.75 (NAVD88)</p>
<p>BM-02 (MS PNT #280) SET T-POST W/\"/> </p>	<p>CP-02 (MS PNT #542) IBSC #4 BLUE CAP. N: 359,448.91 E: 17,535,127.94 ELEV = 1293.02 (NAVD88)</p>



APPROVED AS NOTED
BY WICHITA PUBLIC WORKS
ENGINEERING DIVISION
& BY WICHITA FIRE DEPARTMENT

Engineering SHAWN MELLIES, 2025-06-23

Utilities GREG LOLLEY, 2025-06-23

Fire Department JOSE OCADIZ, 2025-06-23

NOTE TO CONTRACTORS

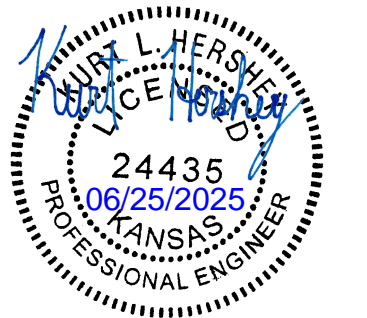
Public Property:
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public rights-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provision (on file and available in the City Engineer's office) or on the City's Website.

Private Property:
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

An approved copy of these plans signed by City staff is required on-site.



TESSERE
www.tessere.com
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OFFICE AND WAREHOUSE BLDG
RAILWAY SUPPLY GROUP
2250 S. SHERIDAN STREET, WICHITA, KS 67213

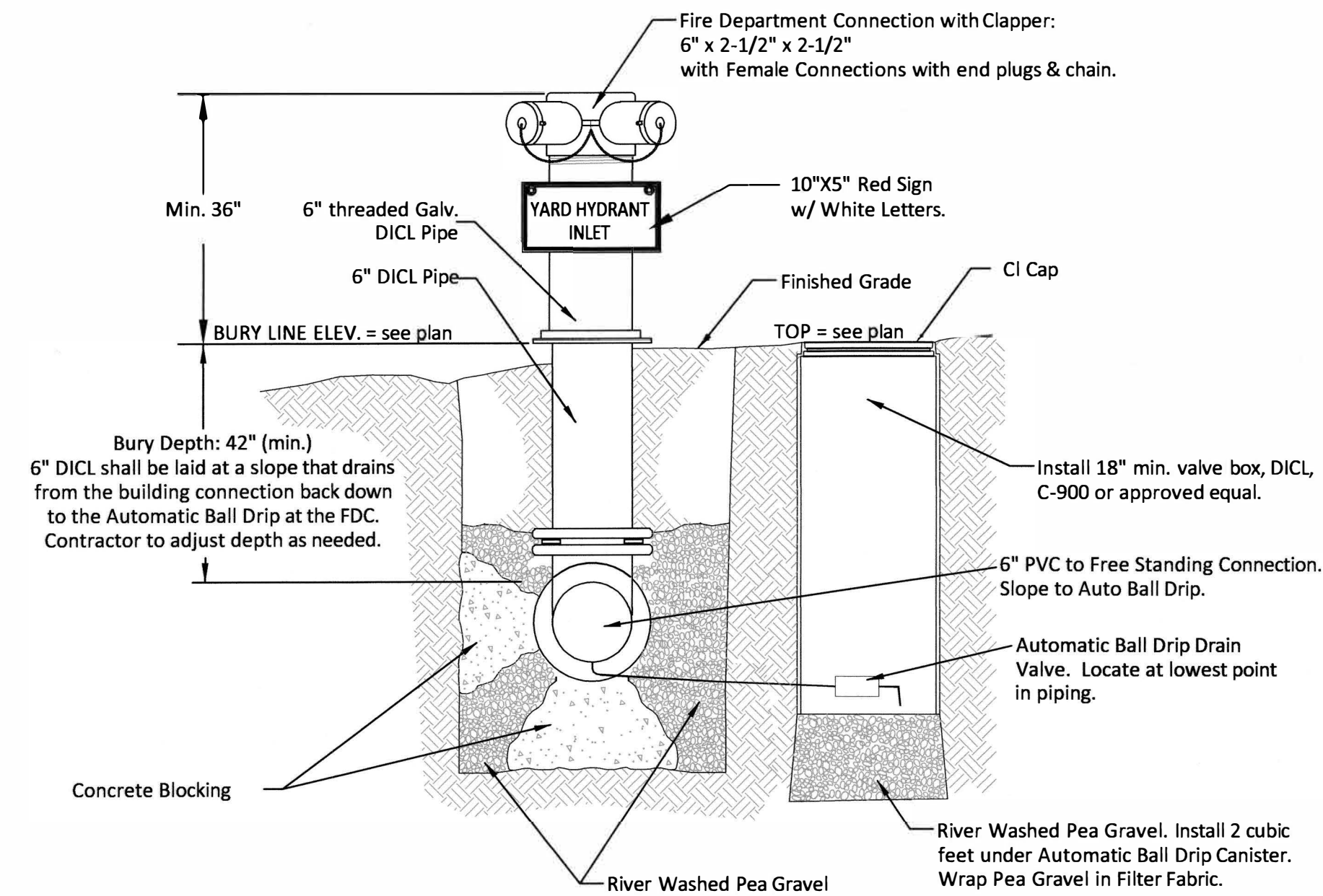
DESCRIPTION	DATE
PROJECT NO:	2025-011784PPW
STATUS:	ISSUED FOR PERMIT
DATE:	06/25/2025
DRAWN BY:	LM
CHECKED BY:	KLH

PPW COVER SHEET

CU130

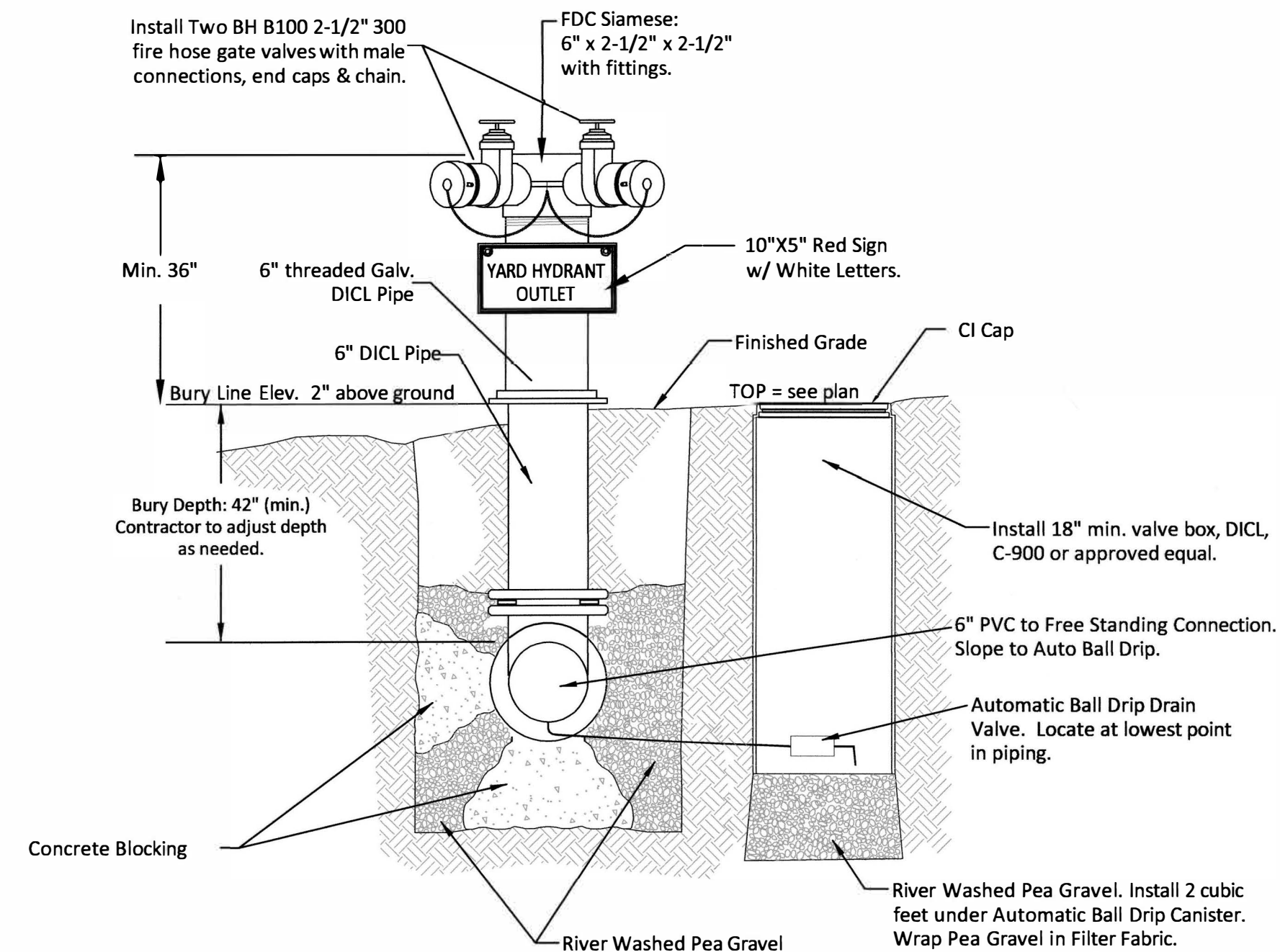
FREE STANDING YARD HYDRANT (also called Dry Fire Line)

Inlet and Outlet to be used together to provide fire hydrant coverage on the far side of a building.



1 FREE STANDING YARD HYDRANT INLET
NOT TO SCALE

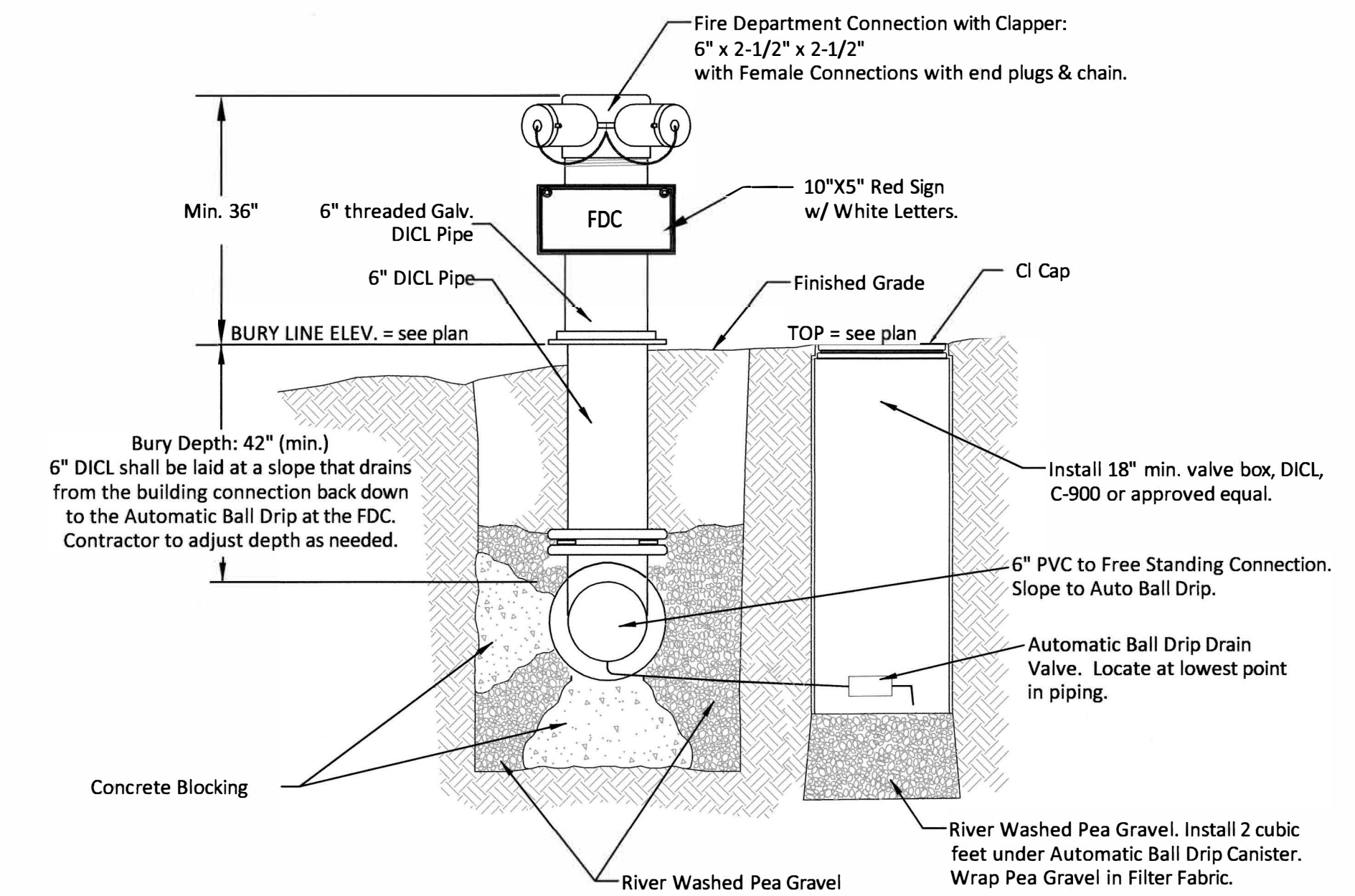
To be located within 150' of a Fire Hydrant



2 FREE STANDING YARD HYDRANT OUTLET
NOT TO SCALE

REMOTE FIRE DEPARTMENT CONNECTION

Same construction as Free Standing Yard Hydrant Inlet, with different sign. Used to boost interior sprinkler systems.



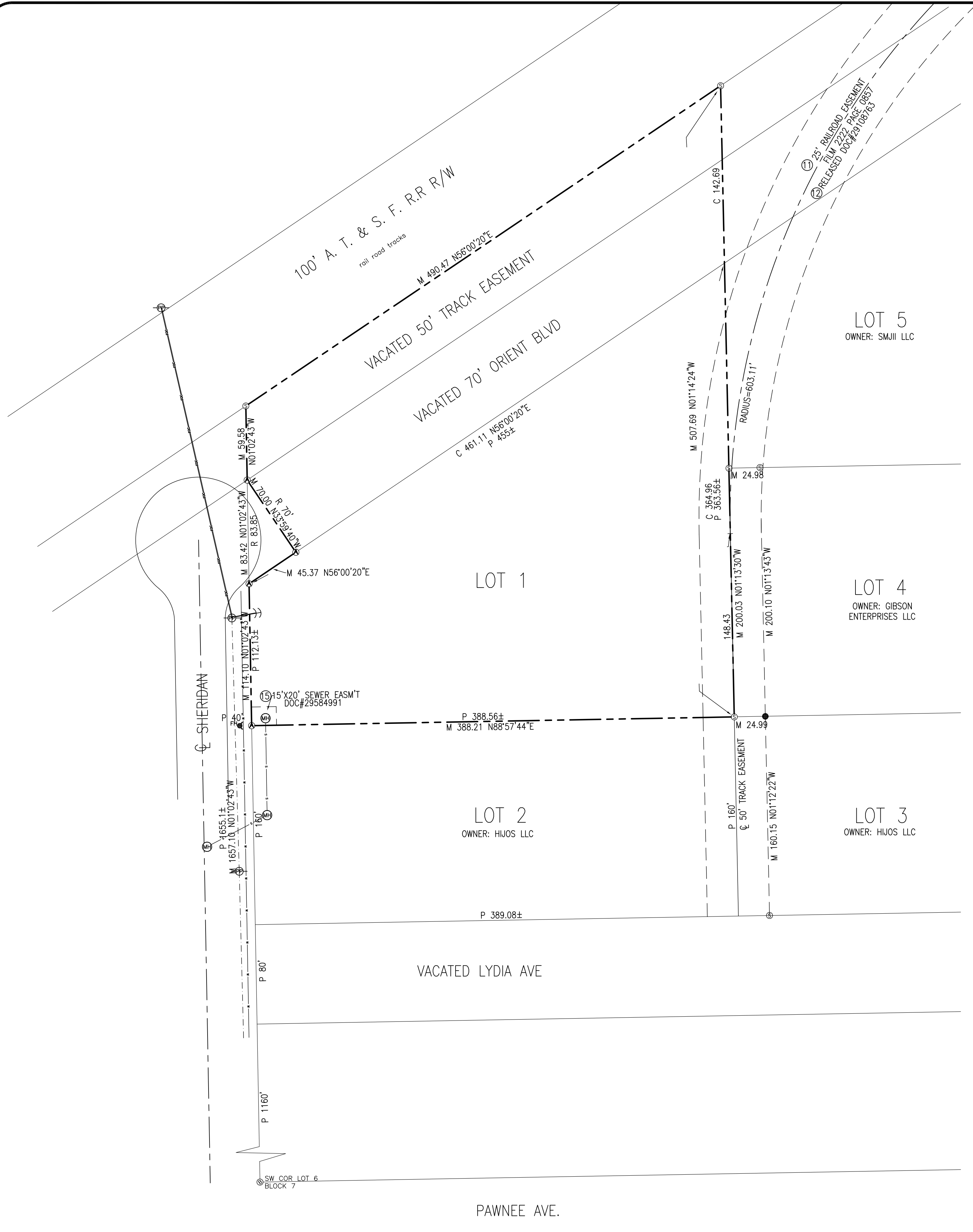
REMOTE FIRE DEPARTMENT CONNECTION
NOT TO SCALE

To be located within 150' of a Fire Hydrant



FREE STANDING YARD HYDRANT AND REMOTE FDC DETAIL

CITY ENGINEER GARY JANZEN, P.E.		
PROJECT NUMBER	OCA NUMBER	DATE SEPTEMBER 2019
CITY ENGINEER'S OFFICE CITY HALL - SEVENTH FLOOR 455 NORTH MAIN STREET WICHITA, KANSAS 67202-1620 (316) 268-4501		SHEET CU534



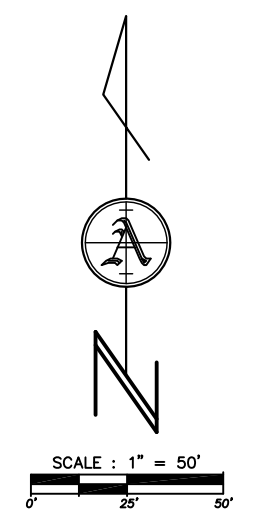
A.L.T.A. SURVEY

GENERAL NOTES:

- The utility locations represented on this survey were compiled by both field observations and information from the various utility companies. If any construction or relocation is planned for this site the various utility companies should be requested to verify their locations in the field prior to final design or construction. Any utilities not shown are due to no response to KANSAS ONE CALL "1-800-DIG-SAGE" ticket No. 24093384 Dated March 20, 2024.
- Based on the US Department of Housing and Urban Development, Federal Flood Insurance Administration Flood Hazard Boundary Map, Community Number 200328, Panel Number 20173003446, effective December 22, 2016, the surveyed property IS NOT located in a special flood hazard area according to the map. The flood zone classification for the surveyed property is X. Furthermore, if the surveyed property resides in two or more zones, then the survey clearly displays the limits of each zone by graphically transposing each zone line from the map to the survey.
- The property has an area of 70,950 sq. ft. or 1.629 acres more or less.

NOTES CORRESPONDING TO ZONING:

- Subject property is presently zoned "LI" (Limited Industrial) according to the Wichita/Sedgwick County Unified Zoning Code (UZC).
- Property development standards. Each Site in the LI District shall be subject to the following minimum property development standards. Setbacks and heights are for Principal Structures. See Sec. III-D.7.e for Setbacks and heights for Accessory Structures. See also Secs. III-E.2.e(2) and III-E.2.e(3) for Front Setbacks on unplatted tracts or major roadways. Compatibility standards in Secs. IV-C.4 and IV-C.5 may take precedence.
 - Minimum Lot Area: No minimum
 - Minimum Lot Width: No minimum
 - Minimum Front Setback: 20 feet, provided that the minimum required Front Setback may be reduced pursuant to Sec. III-E.2.e(5)
 - Minimum Rear Setback: No minimum
 - Minimum Interior Side Setback: zero feet, but if an interior side setback is provided it shall be at least five feet in width
 - Minimum Street Side Setback: No minimum
 - Maximum Height: 80 feet, plus two feet of additional height for each foot of Setback beyond the minimum required Setbacks

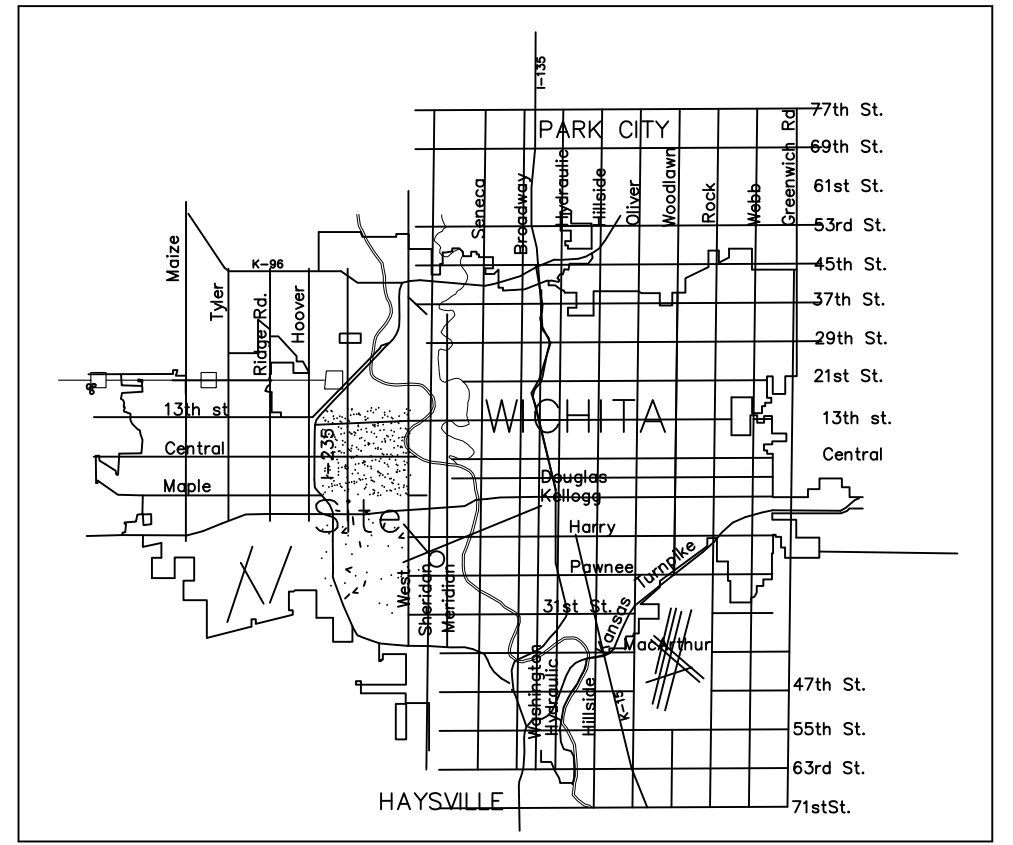


- ARMSTRONG capped rebar set
- Savoy capped rebar found
- #4 rebar found
- Baughman capped rebar found
- measured distance
- calculated distance
- plat distance
- record distance

LEGEND

- subject property line
- adjacent property line
- center line
- easement line
- setback line
- iron fence
- cable line
- fiber optic line
- buried electric line
- overhead electric line
- water line
- sanitary sewer line
- gas line
- telephone riser
- ATT vault
- electric transformer
- electric meter
- gas meter
- water valve
- water meter
- manhole
- sewer clean out
- guy wire
- power pole
- light pole
- guard post
- fire hydrant

LOCATION MAP



ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S CERTIFICATE

To RSG KS Properties, LLC, MBK Properties, LLC, a Kansas limited liability company, and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA, ACSM and NSPS and includes Items 1, 2, 3, 4, 6a, 7a, 7b1, 7c, 8, 9, 11b, 13, and 16 of Table A thereof; The fieldwork was completed on March 7, 2024.

(i) a fixed and determinable position and location of the land described thereon (including the position of the point of beginning); (ii) the location of all buildings, structures and other improvements situated on the land; and (iii) all driveways or other cuts in the curbs along any street upon which the land abuts. Except as shown on said print of survey there are no visible easements or rights of way affecting the land or other easements or rights of way of which the undersigned has been advised or which are of record nor, except as shown, are there any building restriction or set back lines, party walls, encroachments or overhangs of any improvements upon easements, rights of way or adjacent land, or encroachments by improvements located on adjacent land upon the described land. The print of survey reflects boundary lines of the described land which "close" by engineering calculation.

Date of Plat or Map: April 16, 2024

Donald C. Armstrong P.S. #780

LEGAL DESCRIPTION

Lot 1, Block 6, Southwest Industrial Addition to Wichita, Sedgwick County, Kansas, TOGETHER WITH that part of vacated Orient Boulevard lying North of and adjacent to said Lot 1; AND TOGETHER WITH a 50 foot strip adjacent to said vacated Orient Boulevard on the North, and designated as Track Easement on the plat of said Southwest Industrial Addition to Wichita, Sedgwick County, Kansas; EXCEPT that portion dedicated for street right-of-way purposes in Dedication filed January 26, 2016 as Doc#/Flm-Pg: 29584992.

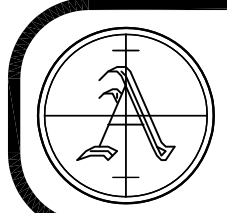
NOTE: The legal description above describes the same property in Schedule A of Title Commitment No. C-SB3064958-DB of First American Title Insurance Company with an effective date of March 01, 2024.

NOTES CORRESPONDING TO SCHEDULE BII

EXCEPTIONS RELATED TO SURVEY:

- Easements, or claims of easements, not shown by the Public Records. NONE WERE OBSERVED
- Any encumbrance, violation, variation, or adverse circumstance, boundary lines overlap, or encroachment that would be disclosed by an accurate and complete land title survey of the Land. SHOWN HEREON IF ANY
- Special easements are hereby provided for the construction, maintenance and operation of railroad service to said addition as established by and shown on the recorded plat of said subdivision. NOT SHOWN
- Easements, if any, for public utilities installed in, under, or upon the vacated Orient Boulevard prior to the vacation thereof, and for which no notice appears in the Official Records. NONE WERE OBSERVED.
- Easement for railroad retained in Corrected Vacation Order filed June 18, 2001 on Film 2222, Page 856. SHOWN HEREON.
- Release of Track Easement filed December 4, 2009 as Doc#/Flm-Pg: 29108762 SHOWN HEREON.
- Covenants, conditions, restrictions, easements and assessments contained in/on Misc. Book 307, Page 600 and Film 1666, Page 1853. NOT SHOWN
- An easement for sewer and all other utilities, recorded November 1, 2001 as Film 2315, Page 279. in favor of: City of Wichita. THIS DOES NOT AFFECT PROPERTY
- An easement for sewer and all other utilities, recorded January 26, 2016 as Doc#/Flm-Pg: 29584991. in favor of City of Wichita. SHOWN HEREON.

NOTE: Items 1, 2, 5, 6, 7, 8, 16, and 17 of Schedule B-Section II are not survey matters.



ARMSTRONG
LAND SURVEY, P.A.

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WICHITA, KS 67216
PH. (316) 263-0082
info@armstrongsurvey.com