

PAVING STREETS AT
MEDDITERANEAN PLAZA

AN ADDITION TO THE CITY OF WICHITA
 SEDGWICK COUNTY, KANSAS

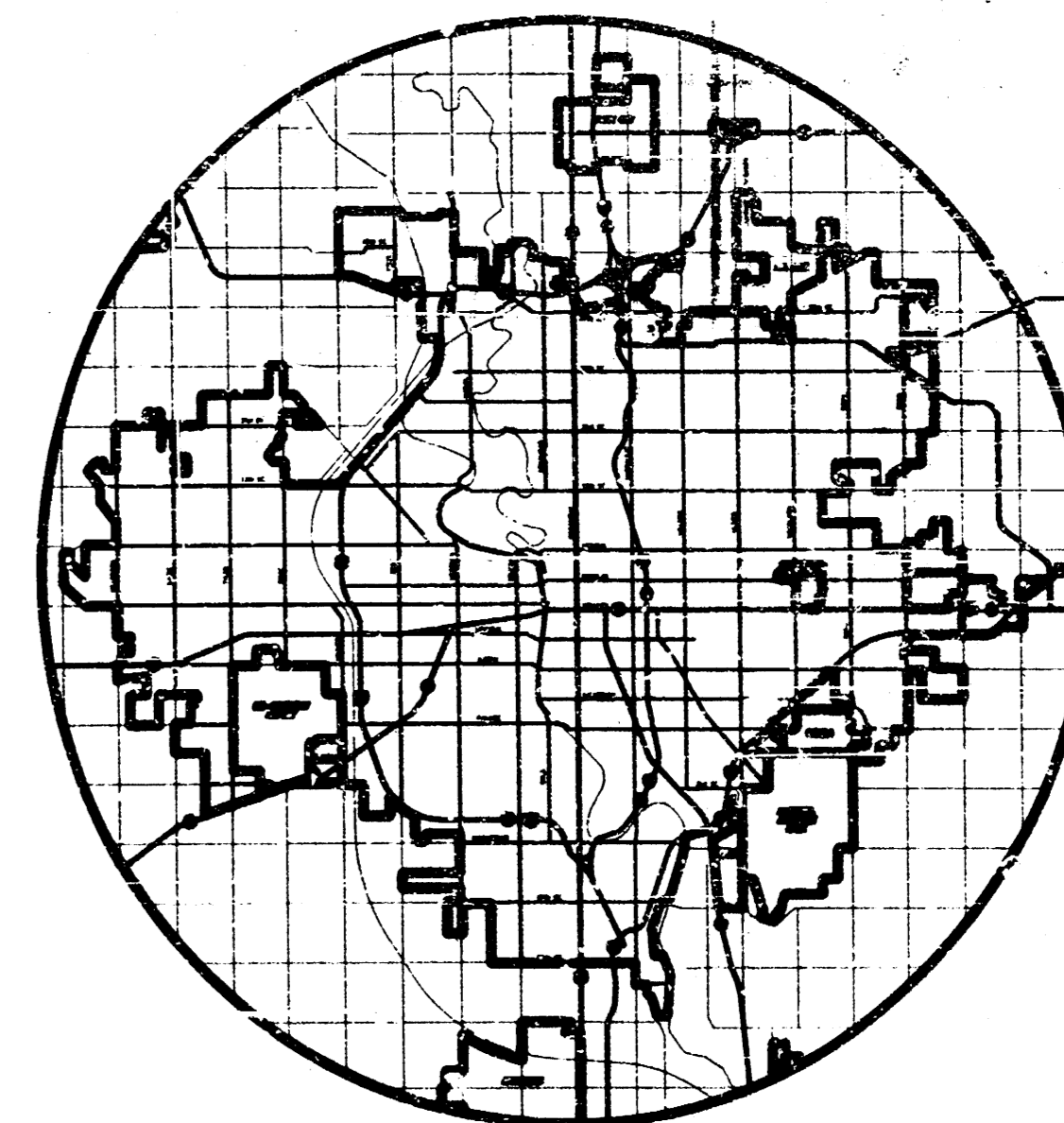
PROJECT NO. 472-82803

MICHAEL E. LINDEBAK, CITY ENGINEER

INDEX CODE

764209

31ST STREET: FROM THE CENTER LINE OF WEBB ROAD
 WEST 366 FEET



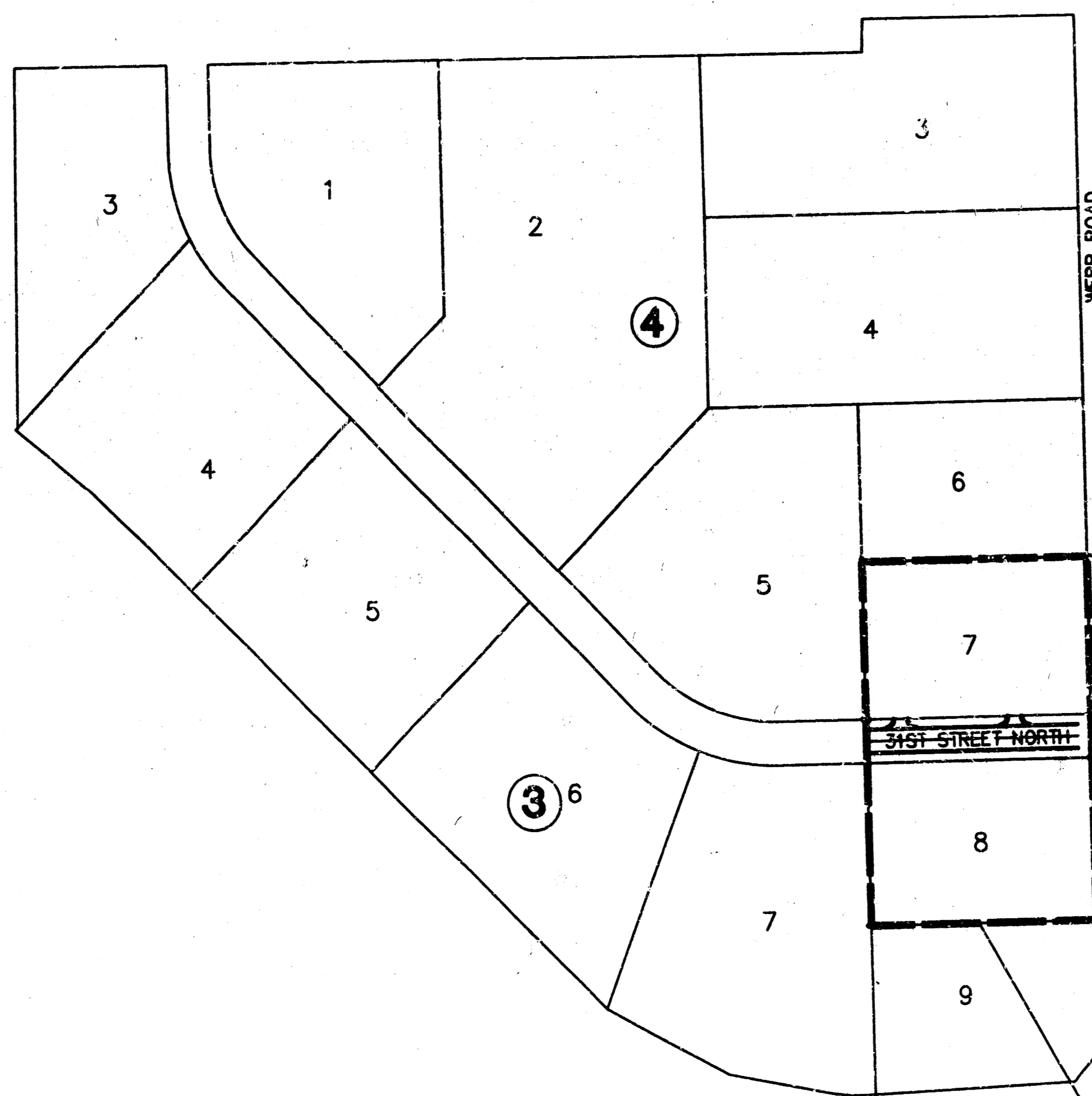
LOCATION MAP

INDEX TO DRAWINGS

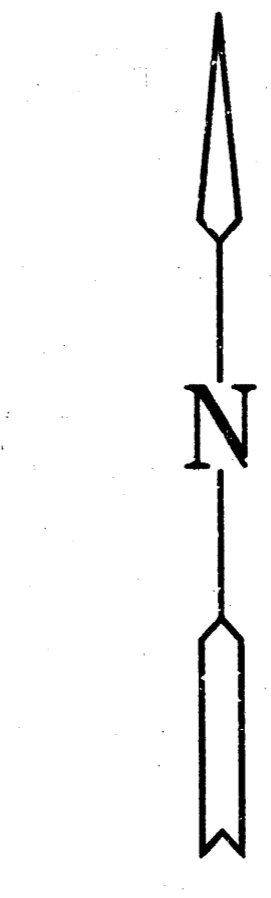
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	TYP. PAVING SECTIONS
3	INLET DETAILS
4	SIGNING DETAILS
5	31ST STREET NORTH
6	CROSS SECTIONS
7	FINAL PLAN

GENERAL NOTES

- UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA CONCRETE PAVEMENT AND ASPHALTIC CONCRETE PAVEMENT SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
 - EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
 - CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT (48) HOURS TO UTILITY COMPANIES TO STARTING ANY EXCAVATION AS FOLLOWS:
 KANSAS ONE-CALL 687-2470
 OR 687-2470 (LOCAL WICHITA)
- THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF EMERGENCY:
- | | |
|--------------------------------------|----------------|
| CABLEVISION | 263-2061 |
| KG&E (GAS & ELECTRIC) | 383-8600 |
| SOUTHWESTERN BELL TELEPHONE COMPANY | 1-800-734-7590 |
| CITY OF WICHITA WATER & SEWER MAINT. | 268-4908 |
| WILLIAMS NATURAL GAS | 524-0491 |
- OR 1-800-321-9696 (AFTER 4 PM)
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED. ALL DISPOSAL SITES MUST BE APPROVED BY THE KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT. MATERIAL EITHER STOCKPILED OR T-SPOSED OF IN A FLOOD PLAIN WOULD REQUIRE A KANSAS STATE BOARD OF AGRICULTURE PERMIT. ANY MATERIAL DUMPED IN WATERS OF THE UNITED STATES OR WETLANDS IS SUBJECT TO U.S. CORPS OF ENGINEERS PERMITTING REGULATIONS. ANY MATERIAL BURIED OR STOCKPILED BEYOND APPROVED CONSTRUCTION LIMITS WOULD REQUIRE ADDITIONAL ARCHAEOLOGICAL INVESTIGATIONS UNLESS BURIED IN A PREVIOUSLY APPROVED BORROW LOCATION.
 - ALL DISTURBED AREAS SHALL BE MULCHED AND SEEDED WITH RYE GRASS AT A RATE OF 200#/ACRE WITHIN 10 DAYS OF CONSTRUCTION. COST SHALL BE SUBSIDIARY TO CONSTRUCTION.



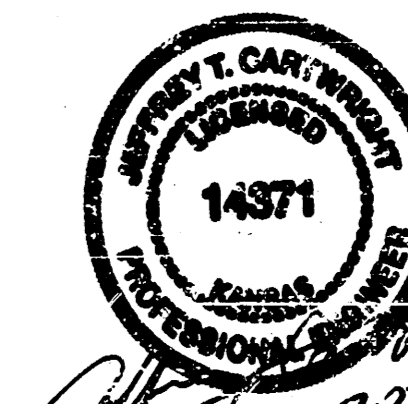
*DRAWINGS
 BOOKED
 2/5/98
 MCG
 D-37B*



SCALE: 1" = 200'

BENCHMARKS

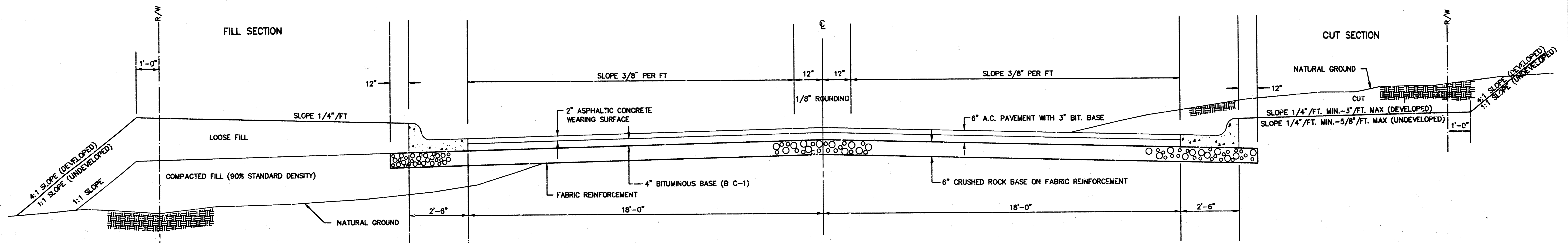
SPIKE STEP IN NE FACE OF POWER POLW @ SW CORNER OF 31ST ST. NO. AND WEBB RD. EL=233.44
 "□" CUT IN CENTER OF INLET ON W. SIDE OF WEBB RD @ NW CORNER OF 31ST N & WEBB RD. EL=231.80
 CITY DATUM = NGVD-1187.4



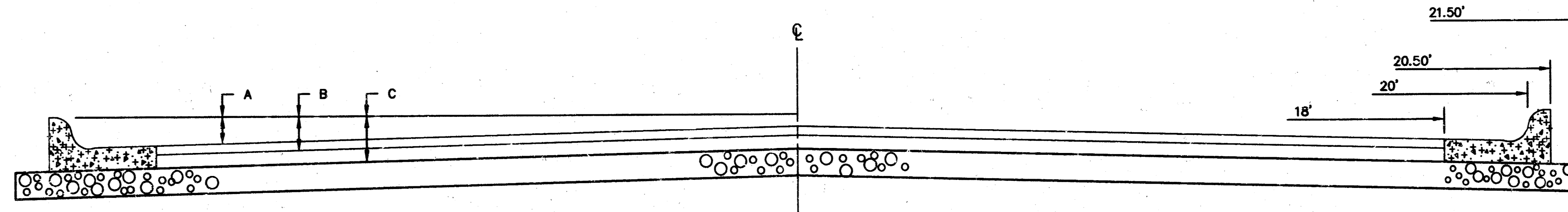
<p>MID-KANSAS ENGINEERING CONSULTANTS, INC. 411 N. WEBB ROAD WICHITA, KS. 67206 316-684-9600</p>	31ST STREET NORTH AT MEDDITERANEAN PLAZA PROJECT NAME		
	TITLE SHEET SHEET TITLE		
	GJA DESIGN BY:	TLT DRAWN BY:	GJA CHECKED BY:
	MARCH 1997 DATE	27045ET JOB NO.	1 / 7 SHEET OF

TYPICAL 4' PAVEMENT DETAILS

TRANSVERSE SECTION

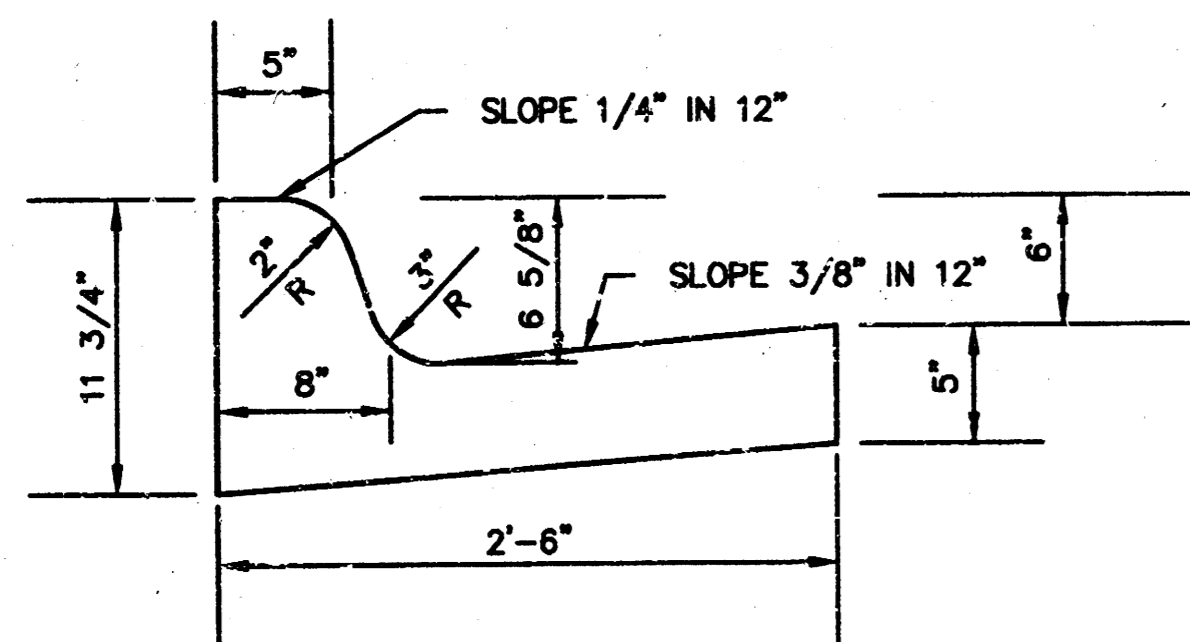


ELEVATION OFFSETS

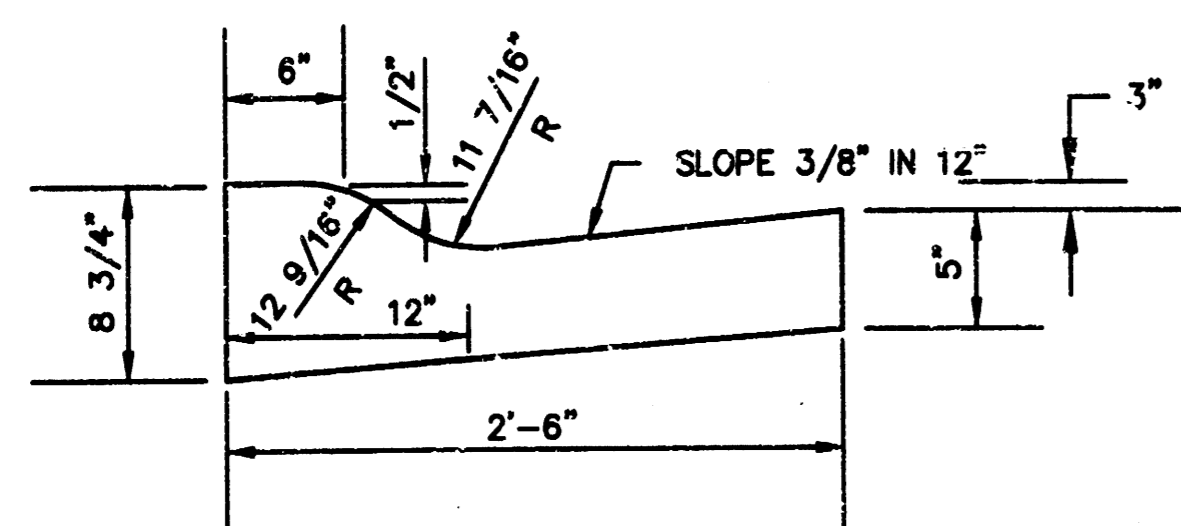


	DISTANCE FROM CENTERLINE (LT. & RT.)													
	0'	2'	4'	6'	8'	10'	12'	14'	16'	18'	20'	20.50'	20.67'	21.17'
A: TOP OF STD. CURBS TO TOP OF SURFACE LIFT	-0.05	-0.01	0.05	0.11	0.18	0.24	0.30	0.36	0.43	0.49	---	---	---	---
B: TOP OF STD. CURBS TO TOP OF UPPER BASE LIFT	0.11	0.16	0.22	0.28	0.34	0.40	0.47	0.53	0.59	0.65	---	---	---	---
C: TOP OF STD. CURBS TO TOP OF LOWER BASE LIFT	0.36	0.41	0.47	0.53	0.59	0.65	0.72	0.78	0.84	0.90	0.97	0.98	0.99	---
D: TOP OF STD. CURBS TO TOP OF SUBGRADE	0.61	0.66	0.72	0.78	0.84	0.90	0.97	1.03	1.09	1.15	1.22	1.23	1.24	1.25

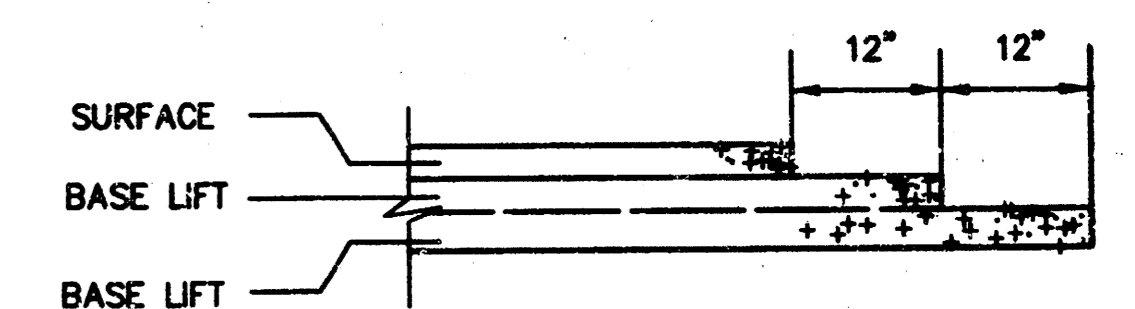
COMBINED CURB & GUTTER



ROLL TYPE COMBINED CURB & GUTTER



TRANSVERSE CONSTRUCTION JOINTS



TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS OF ASPHALTIC CONCRETE (6" BITUMINOUS BASE).

GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 8" ASPHALTIC CONCRETE (6" BITUMINOUS BASE).
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 3" BITUMINOUS BASE.
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

CRUSHED ROCK OR RECYCLED ASPHALT PAVEMENT (RAP) GRADATION REQUIREMENTS

PERCENT OF AGGREGATE RETAINED

2-1/2"	0
3/4"	20-60
#4	50-80
#40	80-94
#200	90-98

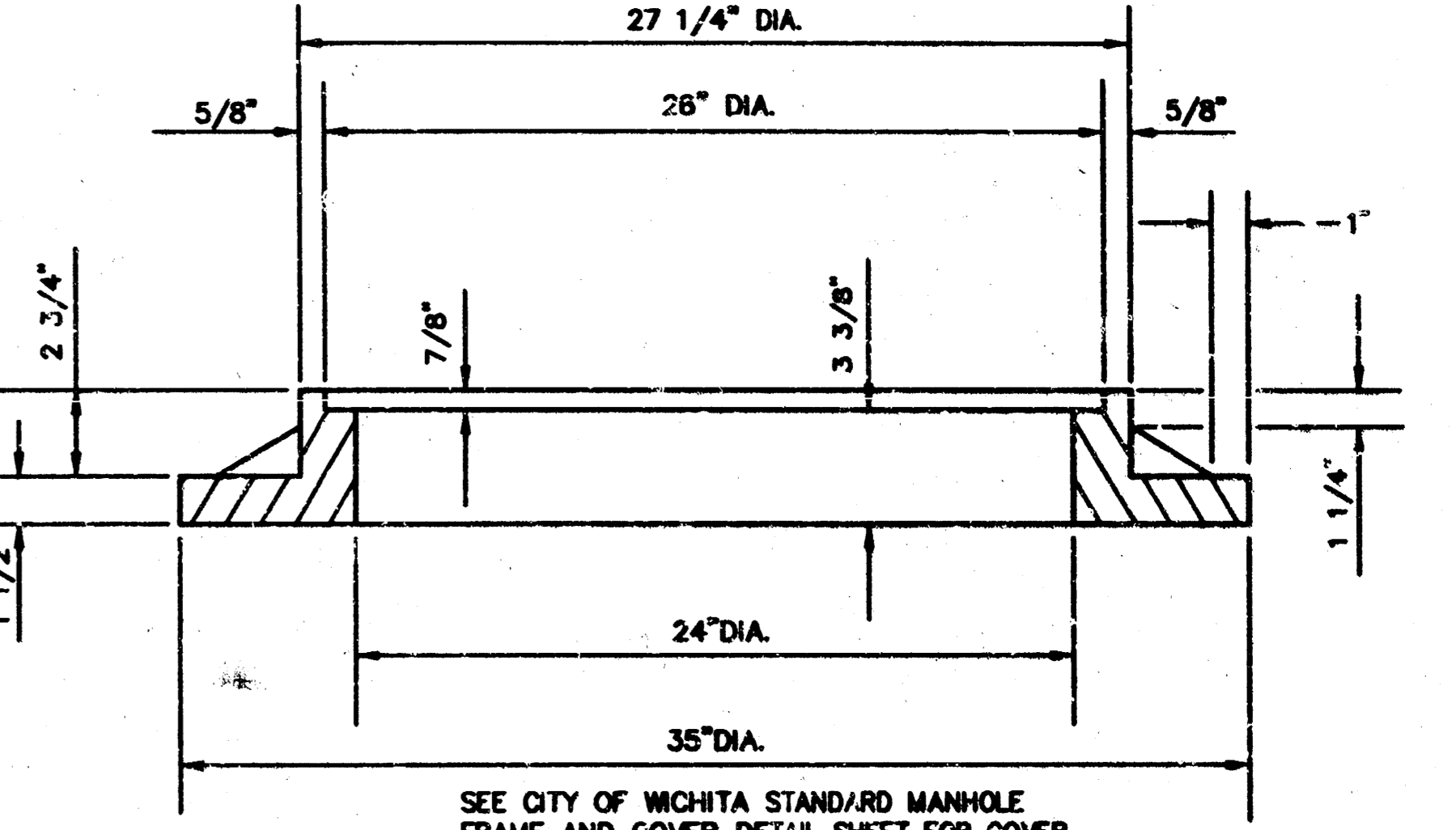
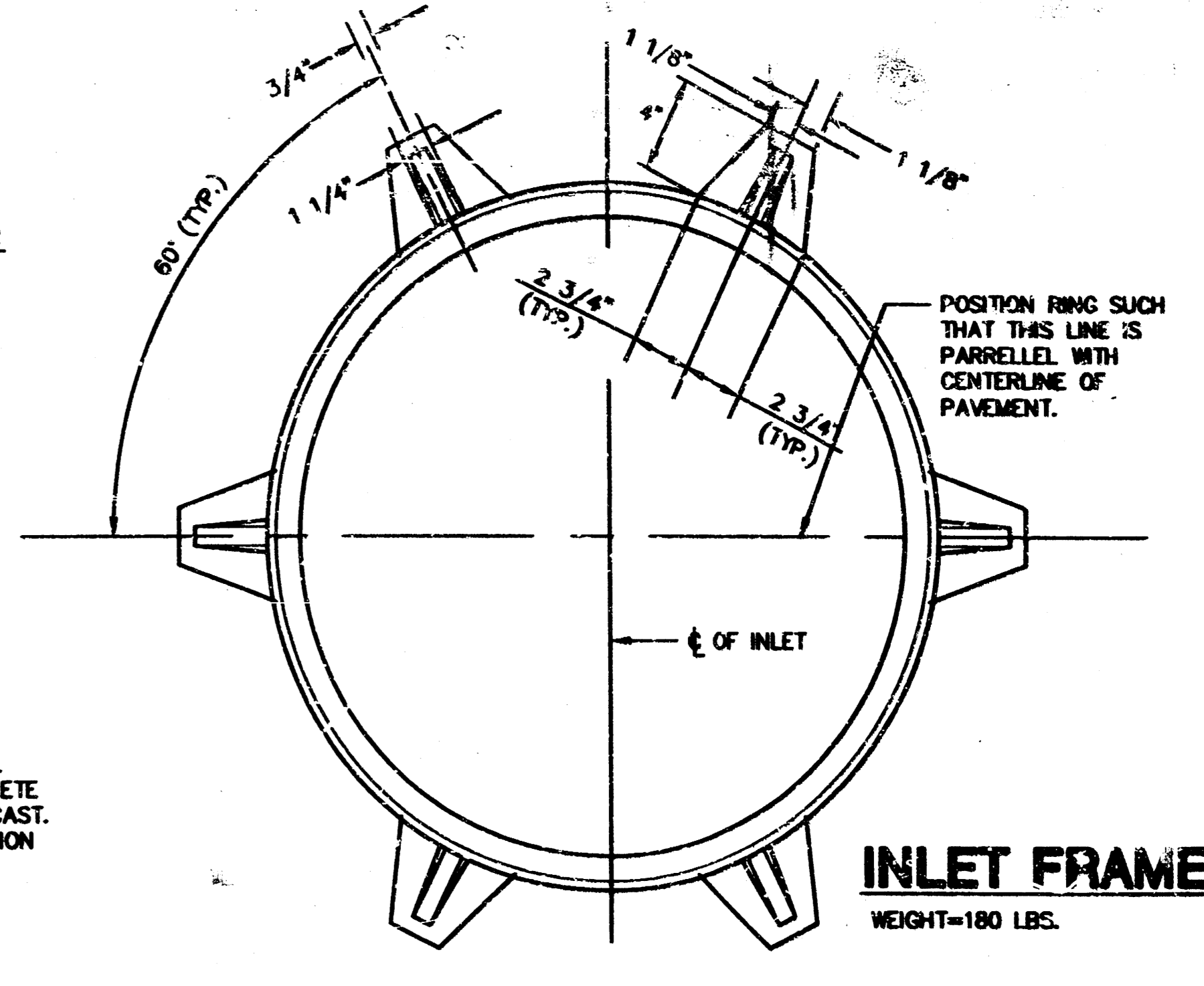
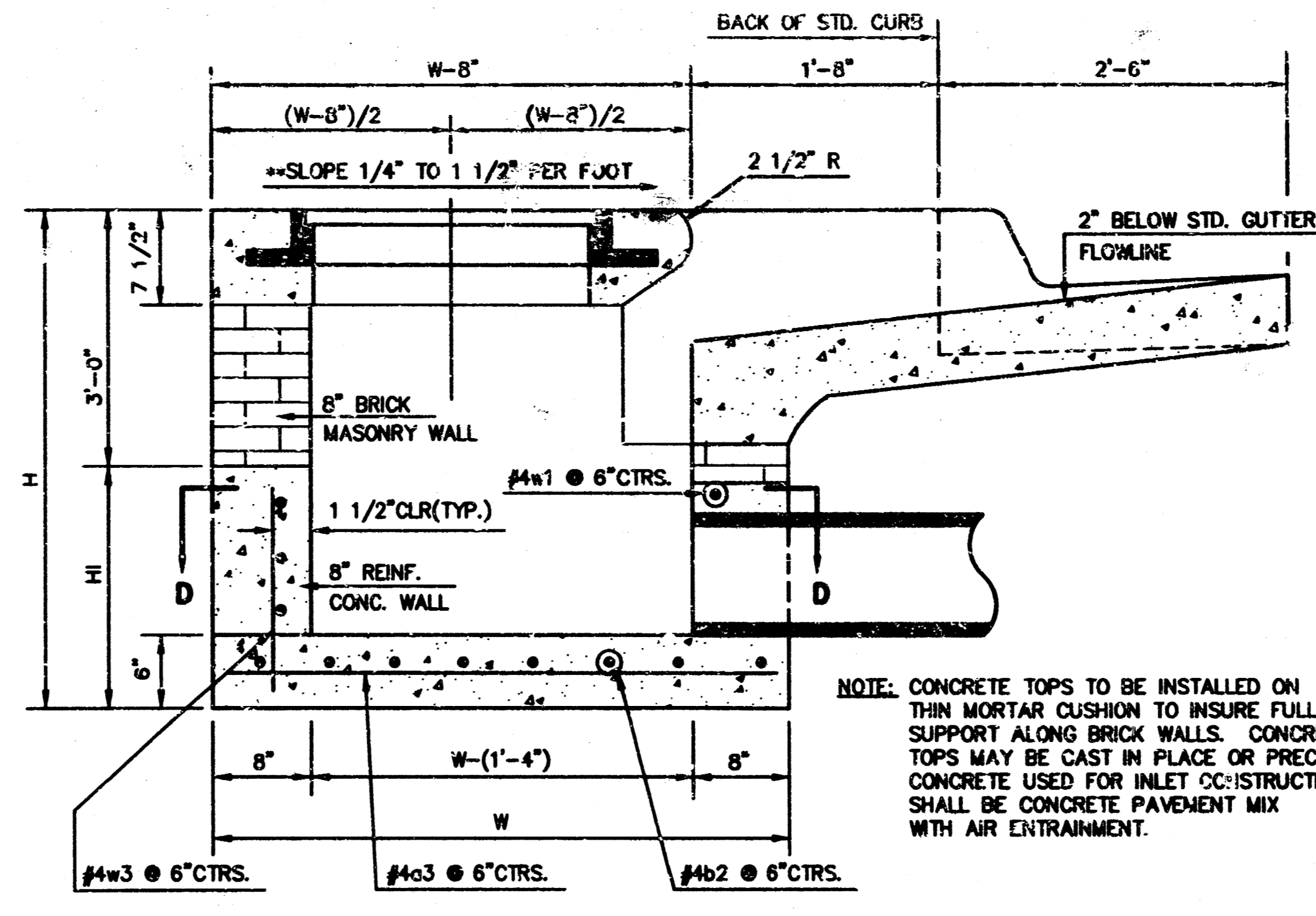
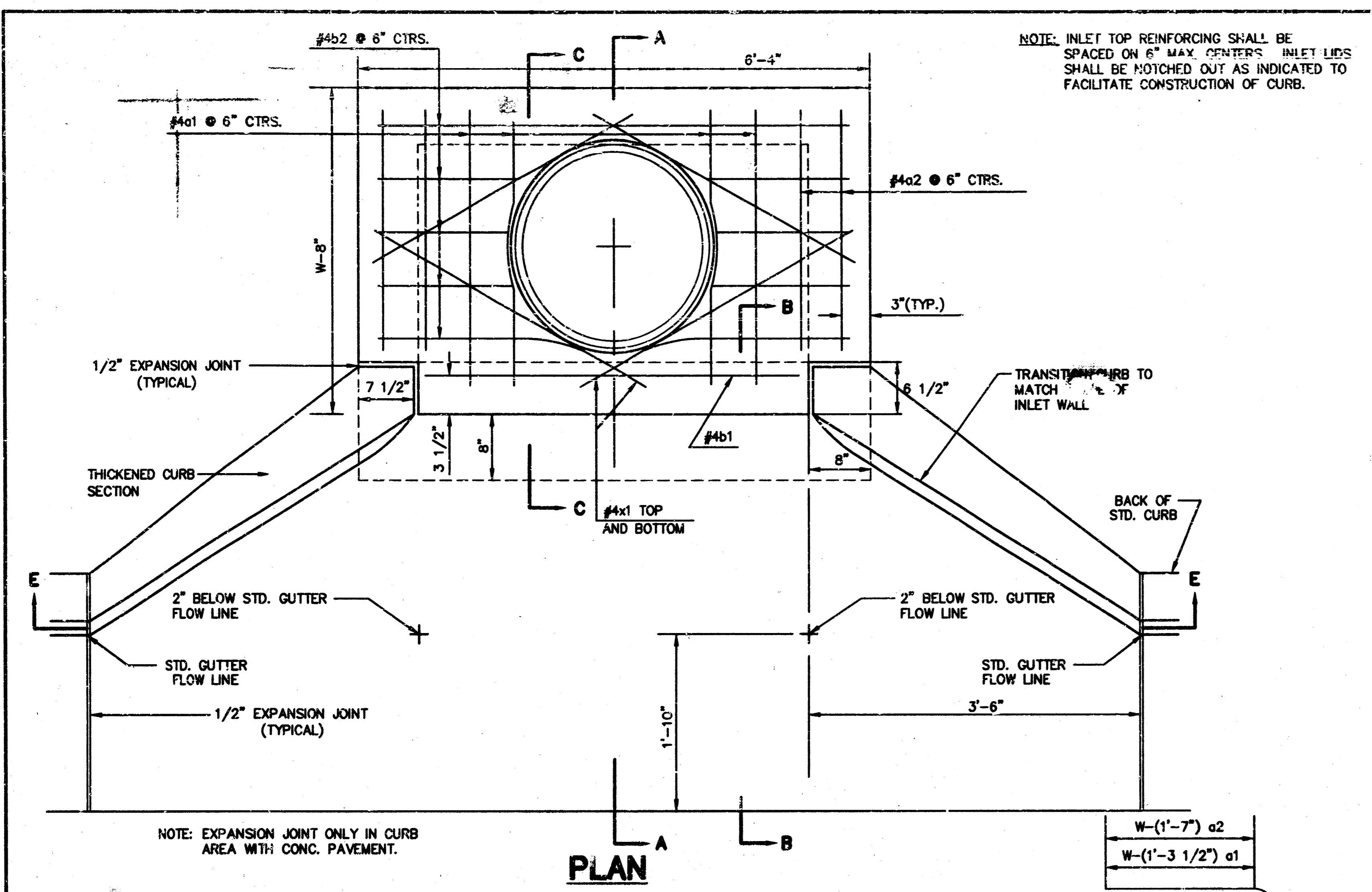
ROCK QUALITY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE KDOT 1990 EDITION STANDARD SPECIFICATION SUBSECTION 1102 FOR DURABILITY CLASS 1.

NOTE: 5" CRUSHED ROCK BASE ON FABRIC REINFORCEMENT IS ALTERNATE NO. 1 MATERIAL. ALTERNATE NO. 2 SHALL BE 5" RECYCLED ASPHALT PAVEMENT (RAP) ON FABRIC REINFORCEMENT. ALL REFERENCES ON THIS SHEET TO ROCK OR CRUSHED ROCK BASE SHALL APPLY ALSO TO RECYCLED ASPHALT PAVEMENT (RAP) BASE MATERIAL.

FABRIC BASE REINFORCEMENT SHALL BE 6x1100 GEOTEXTILE AS MANUFACTURED BY TENSAR CORPORATION OR APPROVED EQUAL. FABRIC REINFORCEMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ROCK QUALITY SHALL BE THE SAME AS FOR CONCRETE MIXES.

6 INCH ASPHALTIC CONCRETE PAVEMENT WITH 6" CRUSHED ROCK BASE ON FABRIC REINFORCEMENT.

CITY OF WICHITA, KANSAS 2/7



PRECAST SLAB AND FLOOR REINFORCING

MARK	SIZE	W=4'-4"		W=5'-4"		W=6'-4"		W=7'-4"		W=8'-4"	
		NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH
a1	#4	6	6'-7"	6	8'-7"	5	10'-7"	8	12'-7"	6	14'-7"
a2	#4	4	6'-0"	4	8'-0"	4	10'-0"	4	12'-0"	4	14'-0"
a3	#4	13	4'-1"	13	5'-1"	13	6'-1"	13	7'-1"	13	8'-1"
b1	#4	1	4'-9"	1	4'-9"	1	4'-9"	1	4'-9"	1	4'-9"
b2	#4	23	6'-1"	29	6'-1"	35	6'-1"	41	6'-1"	47	6'-1"
x1	#4	8	3'-10"	8	4'-2"	8	4'-6"	8	4'-10"	8	5'-2"

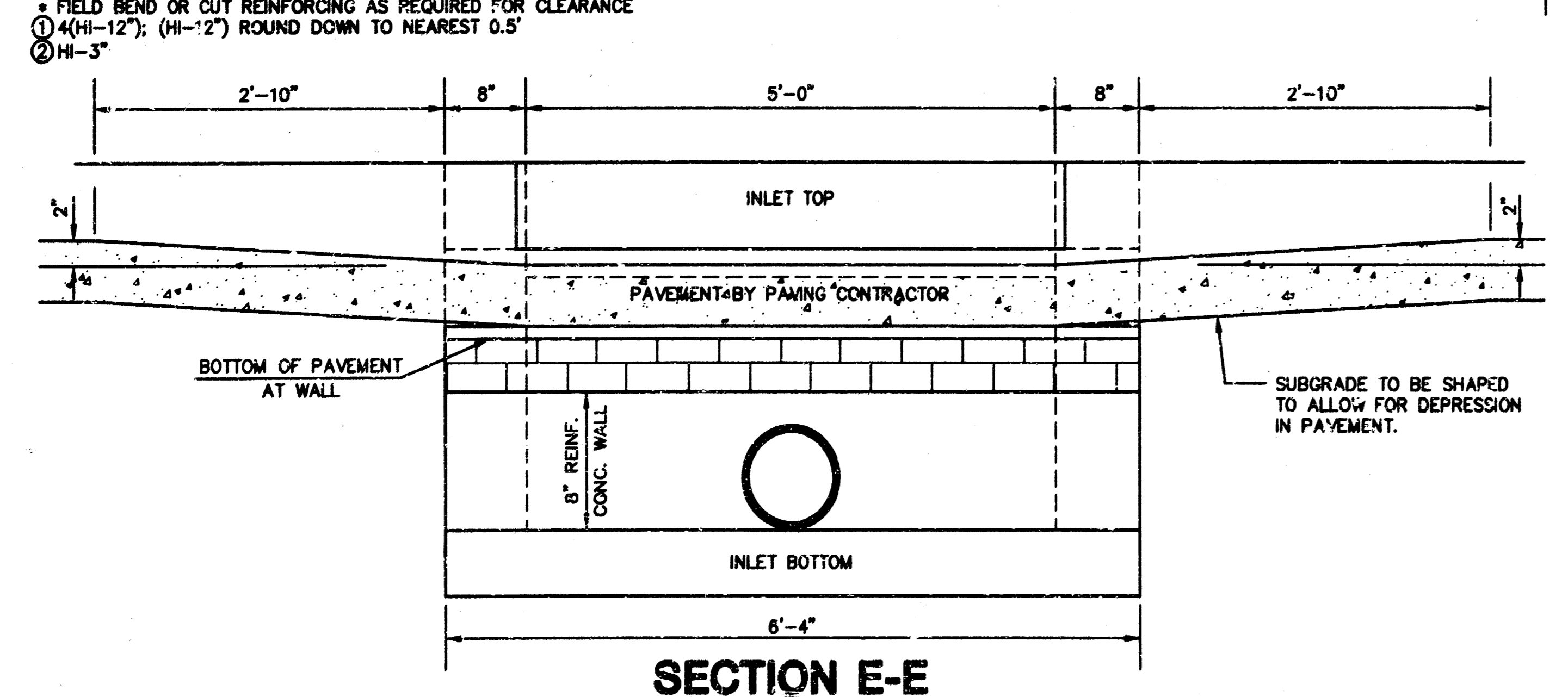
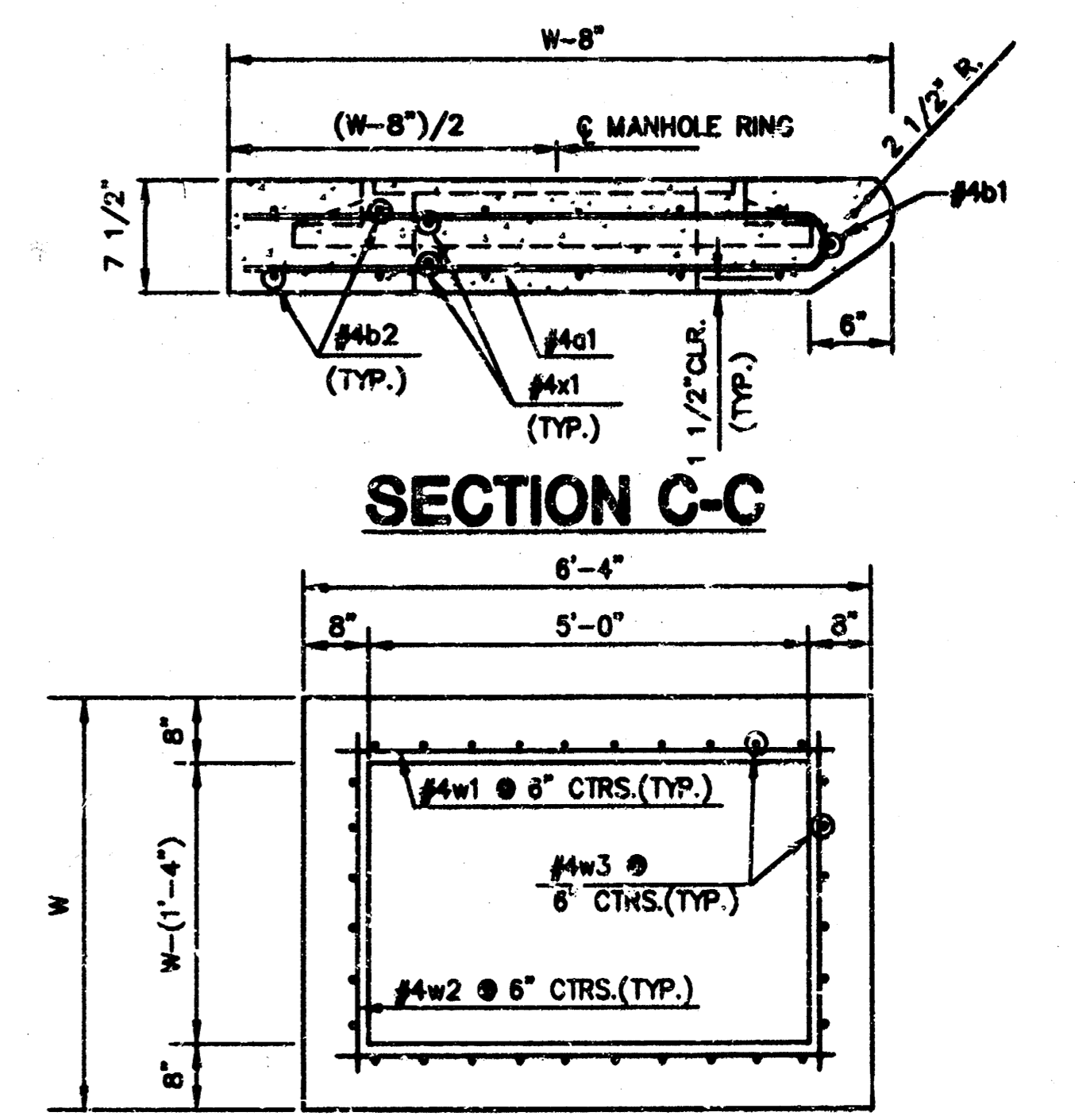
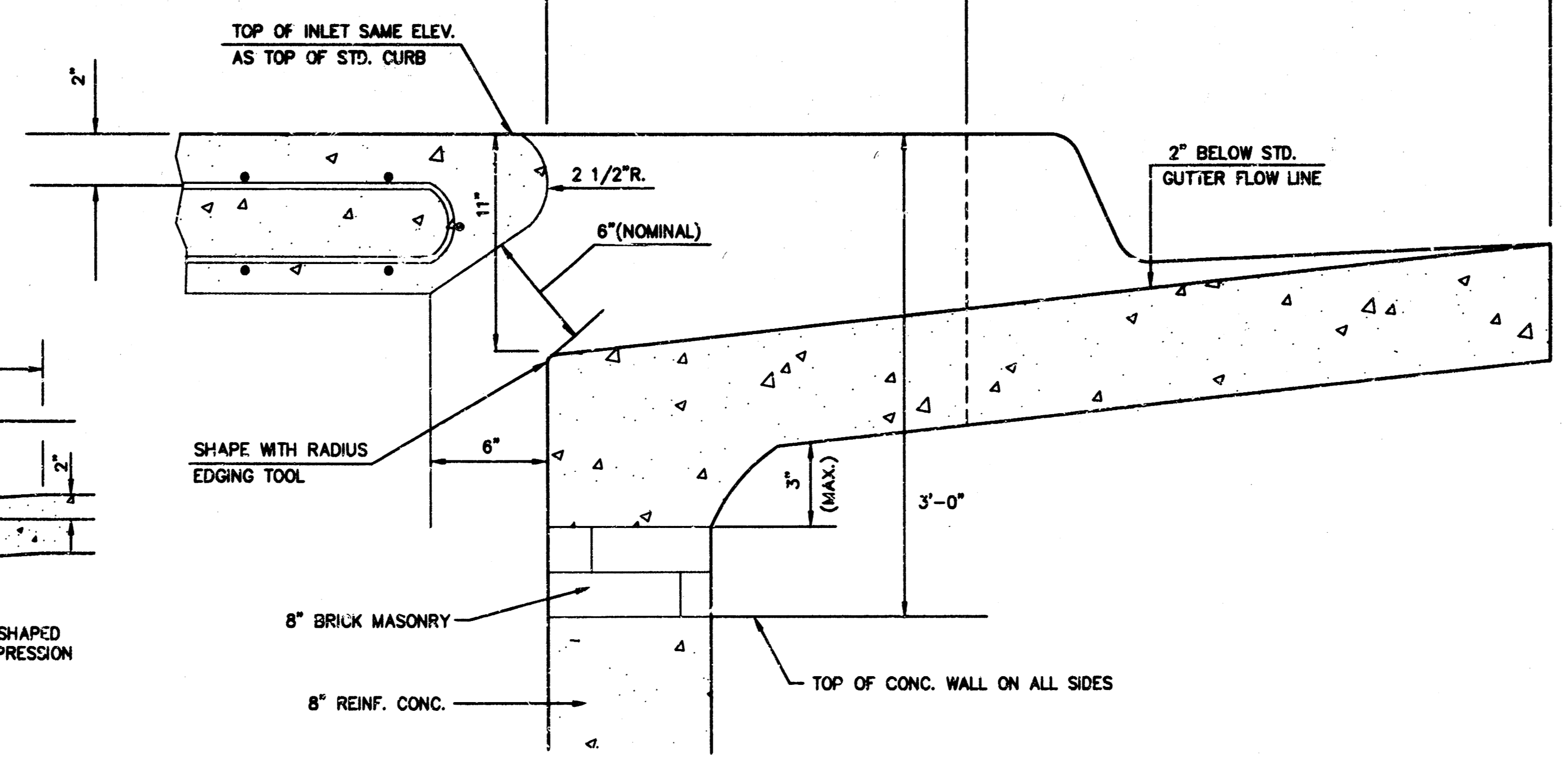
WALL REINFORCING

MARK	SIZE	W=4'-4"		W=5'-4"		W=6'-4"		W=7'-4"		W=8'-4"	
		NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH	NO.	LENGTH
w1	#4	①	6'-1"	①	6'-1"	①	6'-1"	①	6'-1"	①	6'-1"
w2	#4	①	4'-1"	①	5'-1"	①	6'-1"	①	7'-1"	①	8'-1"
w3	#4	32	②	36	②	40	②	44	②	48	②

BENDING DIAGRAM

STANDARD CURB INLET PRECAST TOPS

W	PRE-CAST TOP SIZE	PIPE SIZE	CU. YD. CONC.
4'-4"	3'-8"x6'-4"x7 1/2"	21" & SMALLER	.036±
5'-4"	4'-8"x8'-4"x7 1/2"	24" & 30"	.51±
6'-4"	5'-8"x8'-4"x7 1/2"	36" & 42"	.84±
7'-4"	6'-8"x8'-4"x7 1/2"	48" & 54"	.77±
8'-4"	7'-8"x8'-4"x7 1/2"	60" & 66"	.90±



REVISID: 2-18-89 C.O.W.

STANDARD TYPE 1A CURB INLET
INLET OPENING=6"x5'-0"

JUNE 1984
CITY OF WICHITA, KANSAS

Design C.C.W.	Checked by	Checked by	3 OF 7
Drawn by	Date	Date JULY 1986	Job No. 95056001

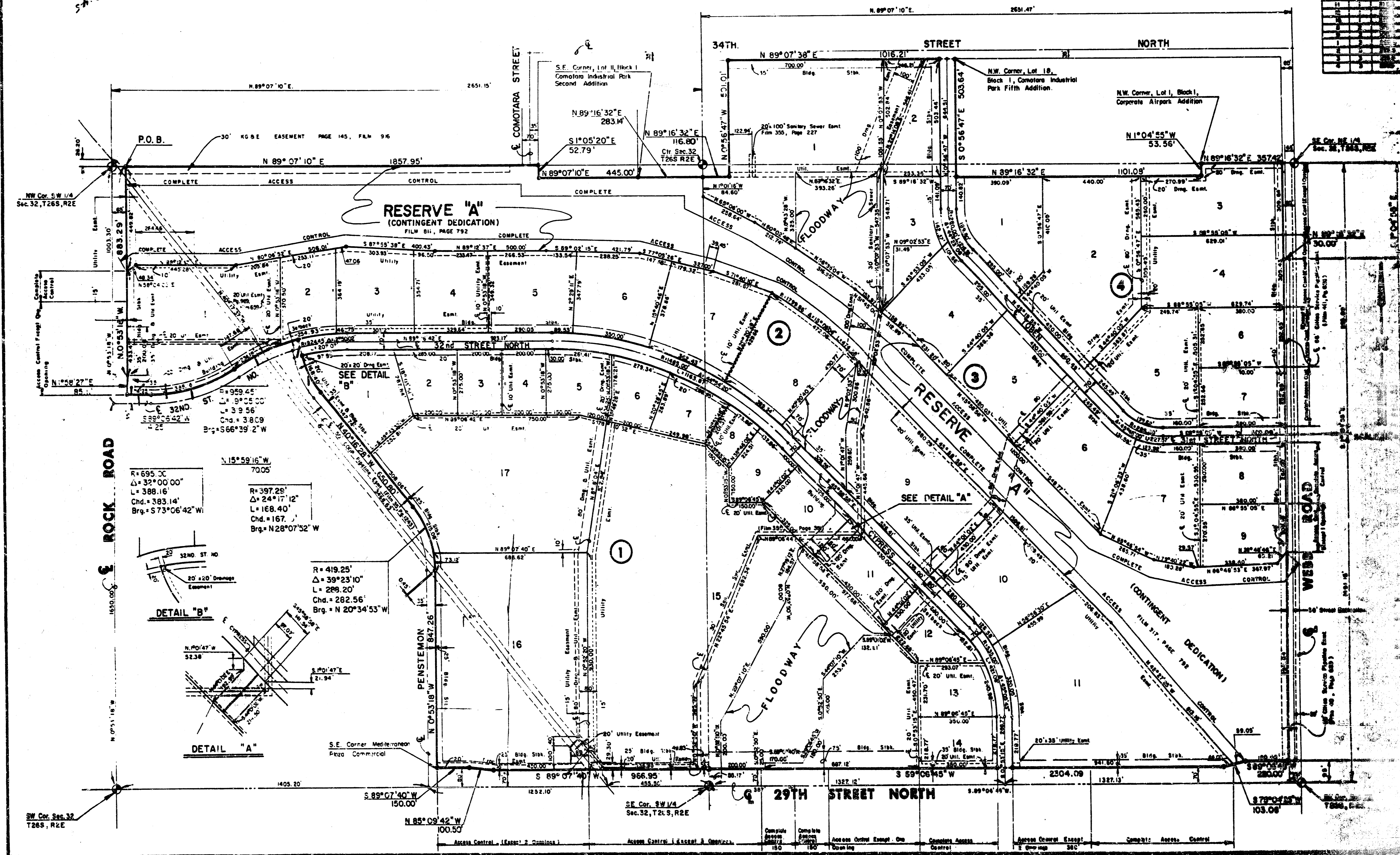
H. ACTIVELY (M) PAVEMENTS-1A Rev. 15.54.16.1987

1142

FINAL PLAT OF MEDITERRANEAN PLAZA

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

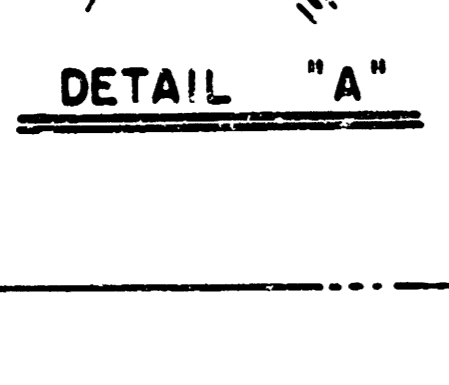
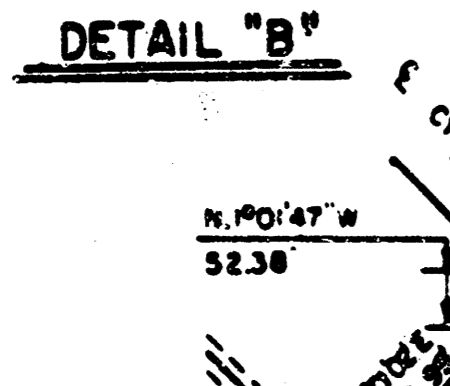
Lot	Area	Area	Area	Area
1	100.00	100.00	100.00	100.00
2	100.00	100.00	100.00	100.00
3	100.00	100.00	100.00	100.00
4	100.00	100.00	100.00	100.00
5	100.00	100.00	100.00	100.00
6	100.00	100.00	100.00	100.00
7	100.00	100.00	100.00	100.00
8	100.00	100.00	100.00	100.00
9	100.00	100.00	100.00	100.00
10	100.00	100.00	100.00	100.00
11	100.00	100.00	100.00	100.00
12	100.00	100.00	100.00	100.00
13	100.00	100.00	100.00	100.00
14	100.00	100.00	100.00	100.00
15	100.00	100.00	100.00	100.00
16	100.00	100.00	100.00	100.00
17	100.00	100.00	100.00	100.00



R=695.00
 $\Delta = 32^{\circ}00'00''$
 L=398.16'
 Chd.=383.14'
 Brg.=S 73°06'42" W

R=397.29'
 $\Delta = 24^{\circ}17'12''$
 L=168.40'
 Chd.=167.0'
 Brg.=N 28°07'52" W

R=419.25'
 $\Delta = 39^{\circ}23'10''$
 L=289.20'
 Chd.=282.56'
 Brg.=N 20°34'53" W



SW Cor. Sec. 32
 T26S, R2E

SE Cor. Sec. 32
 T26S, R2E

345

WEBSTER ROAD

ROCK ROAD

FINAL PLAT OF

MEDITERRANEAN PLAZA

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

D 6-31 B

FINAL PLAN FOR MEDITERRANEAN PLAZA AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

I, Kenneth H. Bengtson, a Civil Engineer and a Registered Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "MEDITERRANEAN PLAZA", an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Streets and a Reserve, the same being accurately set forth in the accompanying plat and described herein:

A tract of unplatted and platted land consisting of CORPORATE AIRPARK ADDITION, a portion of THE RENAISSANCE, and a portion of COMOTARA INDUSTRIAL PARK FIFTH ADDITION additions to Wichita, Sedgwick County, Kansas, all lying in Section 32, Township 26 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Beginning at a point lying 65.00 feet East of the Northwest corner and lying on the North line of the Southwest Quarter of said Section 32; thence N 89° 07' 10" E, 187.95 feet along the North line of said Southwest Quarter to a point on the East right-of-way line of Comotara Street as platted in COMOTARA INDUSTRIAL PARK SECOND ADDITION, an addition to Wichita, Sedgwick County, Kansas, said point also lying on the West line of Lot 11, Block 1, in said addition; thence S 01° 05' 20" E, 52.79 feet along the West line of said Lot 11, Block 1; thence N 89° 07' 10" E, 445.00 feet along the South line of said Lot 11, Block 1, to the Southeast corner of said Lot 11, Block 1, said point also being the Southeast corner of said COMOTARA INDUSTRIAL PARK SECOND ADDITION and the Southwest corner of COMOTARA INDUSTRIAL PARK FIFTH ADDITION, an addition to Wichita, Sedgwick County, Kansas; thence N 89° 16' 32" E, 283.14 feet along the South line of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; said point lying on the East line of said Southwest Quarter; thence continuing along said South line N 89° 16' 32" E, 116.86 feet parallel with the North line of the Southwest Quarter of said Section 32; thence N 00° 56' 47" W, 601.01 to the South line of 34th Street North, as platted in said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence N 89° 07' 38" E, 1016.21 feet along said South line to the Northwest corner of Lot 10, Block 1, of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence S 00° 56' 47" W, 222.64 feet to the Southwest corner of said Lot 10, Block 1; thence N 89° 16' 32" E, 1101.08 feet along said South line to a point on the West line of CORPORATE AIRPARK ADDITION, an addition to Wichita, Sedgwick County, Kansas; thence N 01° 04' 55" W, 53.56 feet to the Northwest corner of said CORPORATE AIRPARK ADDITION said point lying on the South line of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION; thence N 89° 16' 32" E, 357.42 feet along said South line to the Southeast corner of said COMOTARA INDUSTRIAL PARK FIFTH ADDITION, said point also being the Northeast corner of Lot 1, Block 1, of said CORPORATE AIRPARK ADDITION; thence S 01° 04' 55" E, 417.42 feet parallel and 60.00 feet West of the East line of said Southwest Quarter; thence N 89° 16' 32" E, 30.00 feet; thence S 01° 04' 55" E, 2133.52 feet parallel and 30.00 feet West of the East line of said Southwest Quarter to a point lying 95.00 feet North of the South line of said Southwest Quarter; thence S 89° 06' 46" W, 220.00 feet parallel with said South line; thence S 75° 04' 35" W, 163.08 feet to a point lying 70.00 feet North of the South line of said Southwest Quarter; thence S 89° 06' 46" W, 2304.09 feet parallel and 70.00 feet North said South line to a point on the West line of said Southwest Quarter; thence S 89° 07' 40" W, 956.95 feet parallel and 70.00 feet North of the South line of said Southwest Quarter; thence N 89° 59' 42" W, 100.50 feet to a point lying 80.00 feet North of the South line of said Southwest Quarter; thence S 89° 07' 40" W, 150.00 feet to the Southeast corner of MEDITERRANEAN PLAZA COMMERCIAL, an addition to Wichita, Sedgwick County, Kansas; thence following the Easterly and Northerly boundary of said MEDITERRANEAN PLAZA COMMERCIAL N 00° 53' 16" W, 847.26 feet to a point on a curve to the left thence along said curve 288.20 feet, said curve having a central angle of 39° 23' 10", a radius 419.25 feet, and a long chord of 282.56 feet, bearing N 20° 34' 52" W; thence N 40° 16' 28" W, 650.00 feet to a point on a curve to the right; thence along said curve 158.40 feet, said curve having a central angle of 24° 17' 12", a radius of 397.29 feet, and a long chord of 167.15 feet, bearing N 28° 07' 52" W; thence N 15° 59' 16" W, 70.00 feet to a point on a curve to the left; thence along said curve 319.55 feet, said curve having a central angle of 19° 05' 00", a radius of 959.45 feet, and a long chord of 318.09 feet, bearing S 64° 39' 12" W, to a point on a curve to the right; thence along said curve 388.16 feet, said curve having a central angle of 32° 00' 00", a radius of 696.00 feet, and a long chord of 383.14 feet, bearing S 73° 06' 42" W; thence S 89° 06' 42" W, 114.25 feet; thence N 01° 58' 27" E, 85.11 feet to a point lying 65.00 feet East of the West line of said Southwest Quarter; thence N 00° 53' 16" W, 843.25 feet parallel with and 65.00 feet East of the West line of said Southwest Quarter to the point of beginning.

All lots, blocks, streets, platted easements, building setbacks within the above described property are being vacated and replatted by virtue of K.S.A. 12-512b.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 31st day of December, 1987.

Kenneth H. Bengtson
Kenneth H. Bengtson, P.E., K.L.S. 9922
Mid-Kansas Engineering Consultants, P.A.
3500 N. Rock Road, Building #800
Wichita, KS 67226



Know all men by these presents that we the undersigned property owners of the land as above set forth in the Civil Engineer's and Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks, Streets and a Reserve, the same to be known as "MEDITERRANEAN PLAZA", an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of drainage and public utilities as indicated on the accompanying plat are hereby granted. The floodway shall be the responsibility of the owners until such time as the governing body exercising jurisdiction elects to assume the responsibility for the maintenance and improvement of the drainage, provided further, that no structure shall be constructed on or within said floodway, nor shall any fill, change of grade, creation of channel or other work be carried on without the permission of the City Engineer. Reserve "A" is platted for the right-of-way for the Northeast Expressway and is subject to the terms of a contingent dedication recorded on File and is subject to the terms of a contingent dedication recorded on File 811, Page 792. All abutter rights of access to or from Reserve "A" are hereby dedicated to the City of Wichita. All abutter rights of access to or from the East line of Rock Road over and across the West line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 1, Block 2 shall have access to Rock Road at one location. All abutter rights to or from the North line of 29th Street North over and across the South line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 10, Block 1 shall have access to 29th Street North at four locations; Lot 16, Block 1 shall have access to 29th Street North at two locations; and, Lot 11, Block 2 shall have access to 29th Street North at the locations. All abutter rights of access to or from the West line of Webb Road over and across the East line of Mediterranean Plaza, are hereby dedicated to the City of Wichita, except that Lot 9, Block 3 and Lots 3, 4, and 6, Block 4 shall have access to Webb Road at 1 location each. All access locations shall be determined by the City Engineer. Minimum pad elevations are as indicated on the accompanying plat.

All lots, blocks, streets, platted easements, and building setbacks within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

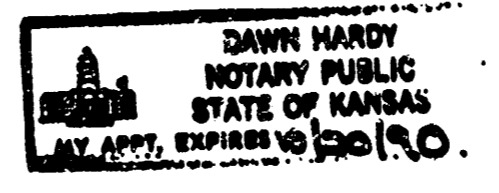
WOODLAWN DEVELOPMENT COMPANY,
a partnership

By: Donald J. Abiah
Donald J. Abiah, Attorney-in-Fact for
Woodlawn Development Company

STATE OF KANSAS)
SEDGWICK COUNTY) ss:

Be it remembered that on this 31st day of December, 1987, before me a Notary Public in and for said State and County, came Donald J. Abiah, Attorney-in-Fact for Woodlawn Development Company, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy, Notary Public
Dawn Hardy
My Appointment Expires: 10/20/90



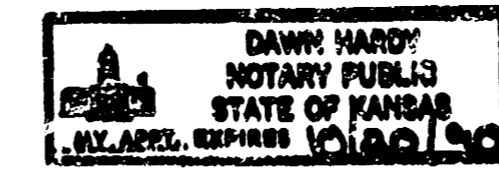
We, the Chemical Bank, mortgagees on the above described property, do hereby consent to the plat of "MEDITERRANEAN PLAZA".

CHEMICAL BANK
By: Phillip S. Frick
Phillip S. Frick, Attorney-in-Fact

STATE OF KANSAS)
SEDGWICK COUNTY) ss:

Be it remembered that on this 31st day of December, 1987, before me a Notary Public in and for said State and County, came Phillip S. Frick, Attorney-in-Fact, on behalf of Chemical Bank, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy, Notary Public
Dawn Hardy
My Appointment Expires: 10/20/90



This plat of "MEDITERRANEAN PLAZA" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 28 day of May, 1987.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

John Terry Moore, Chairman
Marvin S. Kroat, Secretary
Marvin S. Kroat

This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 12th day of May, 1988.

Robert G. Knight, Mayor
Dale E. Ross, Deputy City Clerk
Dale E. Ross

Entered on transfer record this 15th day of March, 1988.

Don Wright, County Clerk
Don Wright

STATE OF KANSAS)
SEDGWICK COUNTY) ss:

This is to certify that this instrument was filed for record in the Register of Deeds office this 16th day of March, 1988.

Ed Ross, Register of Deeds
Ed Ross
AT 10:00 AM
Ed Ross, Deputy
Ed Ross



20.00

18-0-5-5

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