

STORM WATER SEWER IMPROVEMENTS TO SERVE RIDGE PORT NORTH ADDITION

Lot 6
Private Project Number
1071 PPS (607861)

CITY OF WICHITA, KANSAS
Michael E. Lindebak, P.E. City Engineer
DECEMBER 2000

GENERAL NOTES:

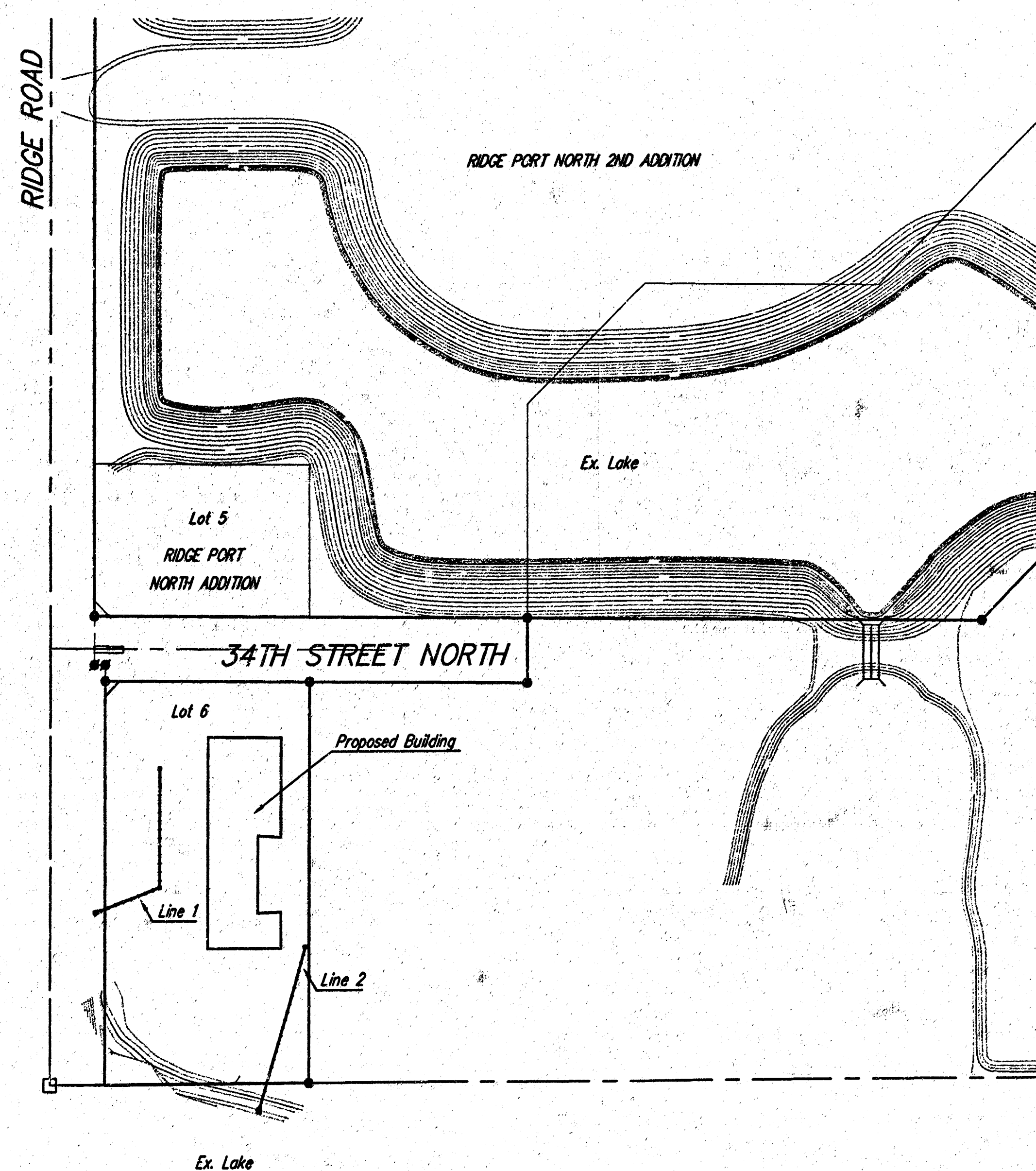
- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
Cox Communications, Inc. 262-0661
K.P.L. Gas Service Company 383-8650
Kansas Gas & Electric Company 383-8600
Peoples Gas Company 942-8350
Southwestern Bell Telephone Company 1-571-2611
City of Wichita Water Dept. 268-4908
City of Wichita Traffic Engineering 269-4446
- Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Any work done without inspection will be required to be uncovered for inspection.
- All areas disturbed by construction shall be seeded and fertilized as follows:
SEED—
8 lbs. per 1000 s.f. of K-31 Fescue.
FERTILIZER—
12-24-12 ratio - 850 lbs./ac.
MULCH—
2 tons of Prairie Hay or Bromegrass Hay per Acre—
patted with forks or punched into soil to reduce loss due to wind.
- This project is subject to a current SWPP Plan. Contractor shall comply with any unusual requirements as necessary for site to be in compliance during construction.

APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Storm Sewers URH 12/21/00

NOTE TO CONTRACTORS

Installation, inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



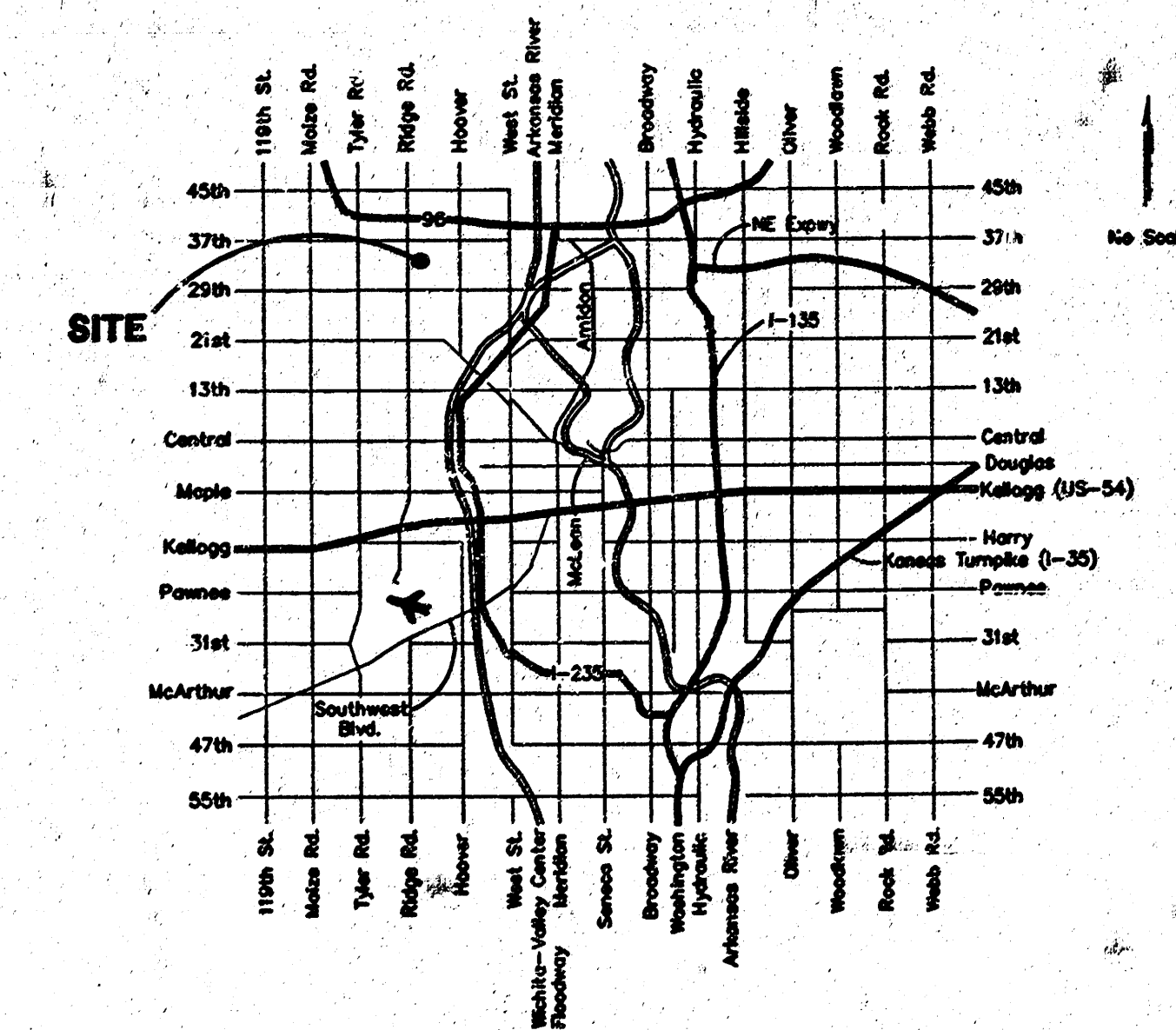
BENCHMARKS:

CITY DISC - SW COR. RIDGE RD. & 29TH ST. NO.
80.8' S. & 63.7' W. OF E. BOTH.
ELEV. = 139.15 CITY DATUM (1326.55 M.S.L.)

INDEX:

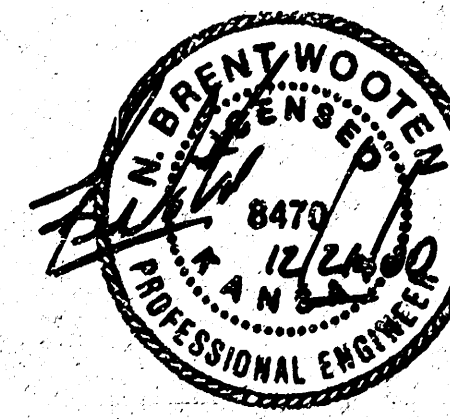
Title Sheet 1
Plan/Profile 2-3
Drop Inlet Detail 4
Copy of Plot 5

BOOKED
4-23-01
MC6
D-507



Vicinity Map

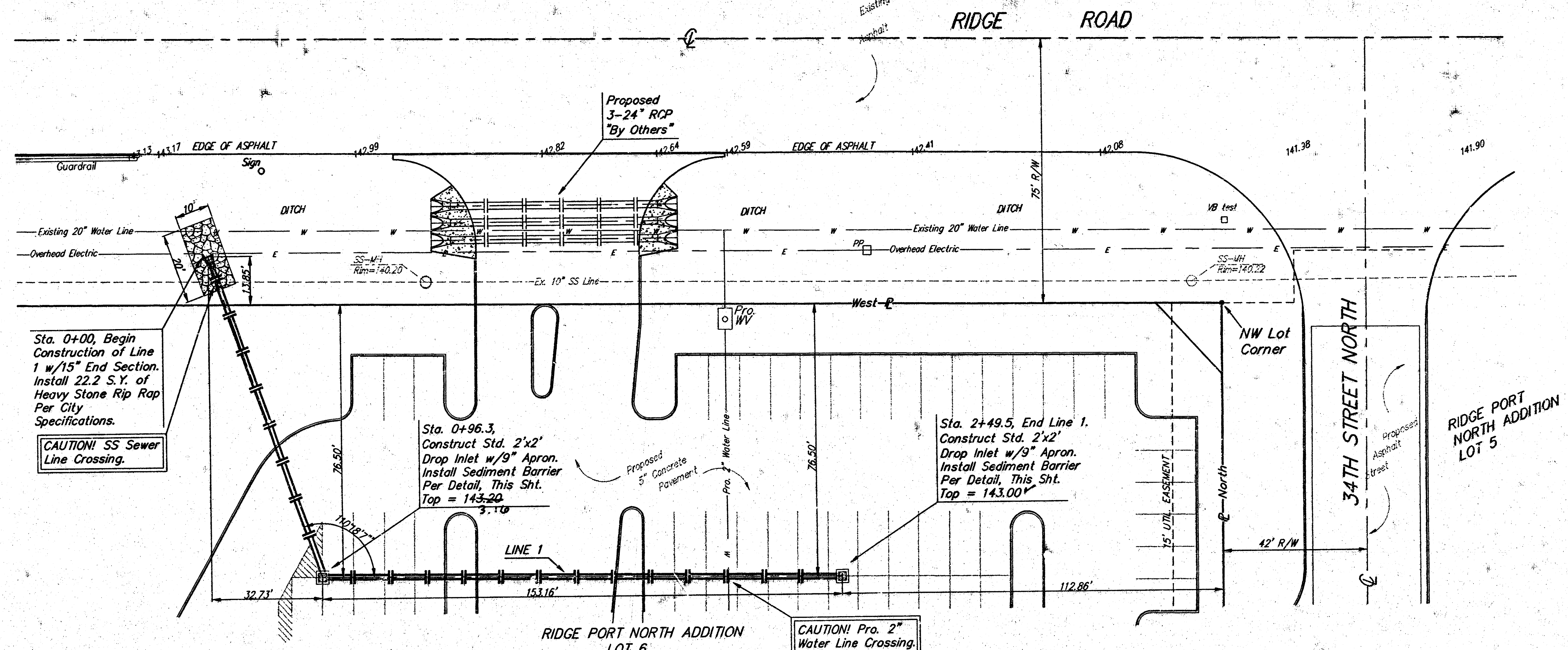
As Built 2/01 KK



BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-282-7271 • 316-282-7272 • WICHITA, KANSAS 67211
F:\ENG\HEARTH\HOME\SWSCOV.DWG

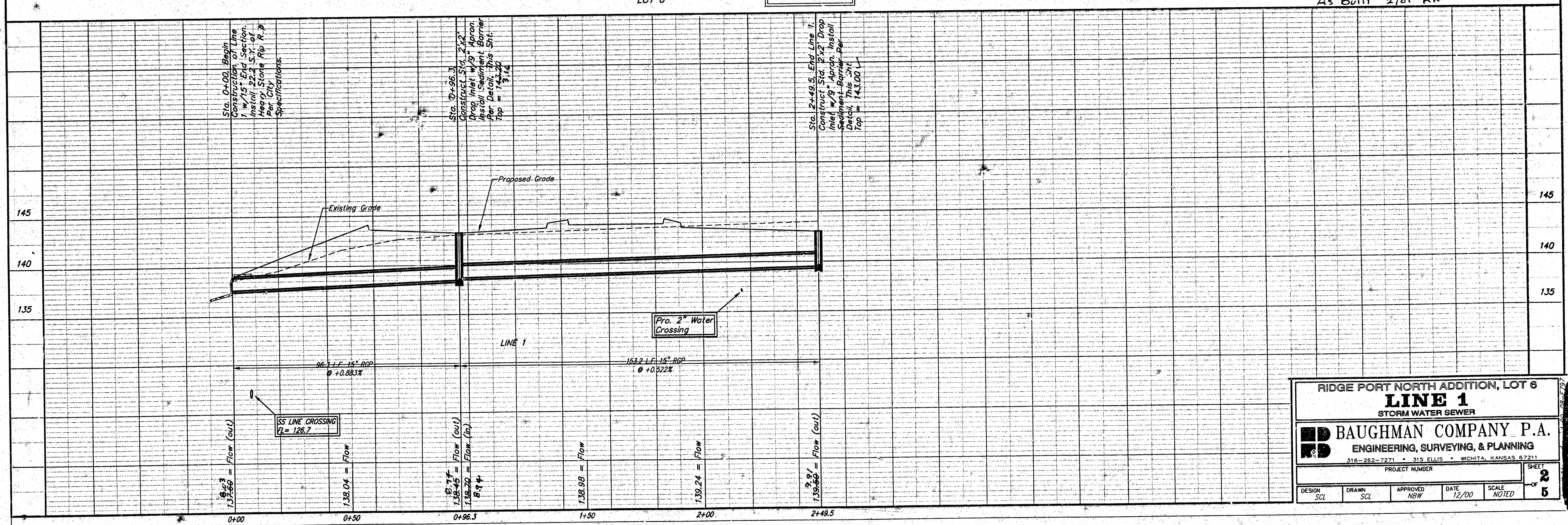
BENCHMARK:
CITY DSC - SW Corner Ridge Road
& 29th Street North, 80.8' S. &
63.7' W. of Both Centerlines.
Elev.=139.15 City Datum

SCALE:
1" = 20' HORIZONTAL
1" = 5' VERTICAL
• = IRON



INLET PROTECTION
Storm Drain with Gravel Apron

NOTES:
Frequent maintenance is required to minimize short-circuiting and to remove sediment deposits and buildup.
Wrap filter fabric around all CMI block and backfill with 2"-3" gravel rock to allow sediment deposits.
DO NOT cover inlet or grate with filter fabric.



RIDGE PORT NORTH ADDITION, LOT 6
LINE 1
STORM WATER SEWER

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316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: _____
DESIGN: SCL DRAWN: SCL APPROVED: NEW DATE: 12/00 SCALE: NOTED

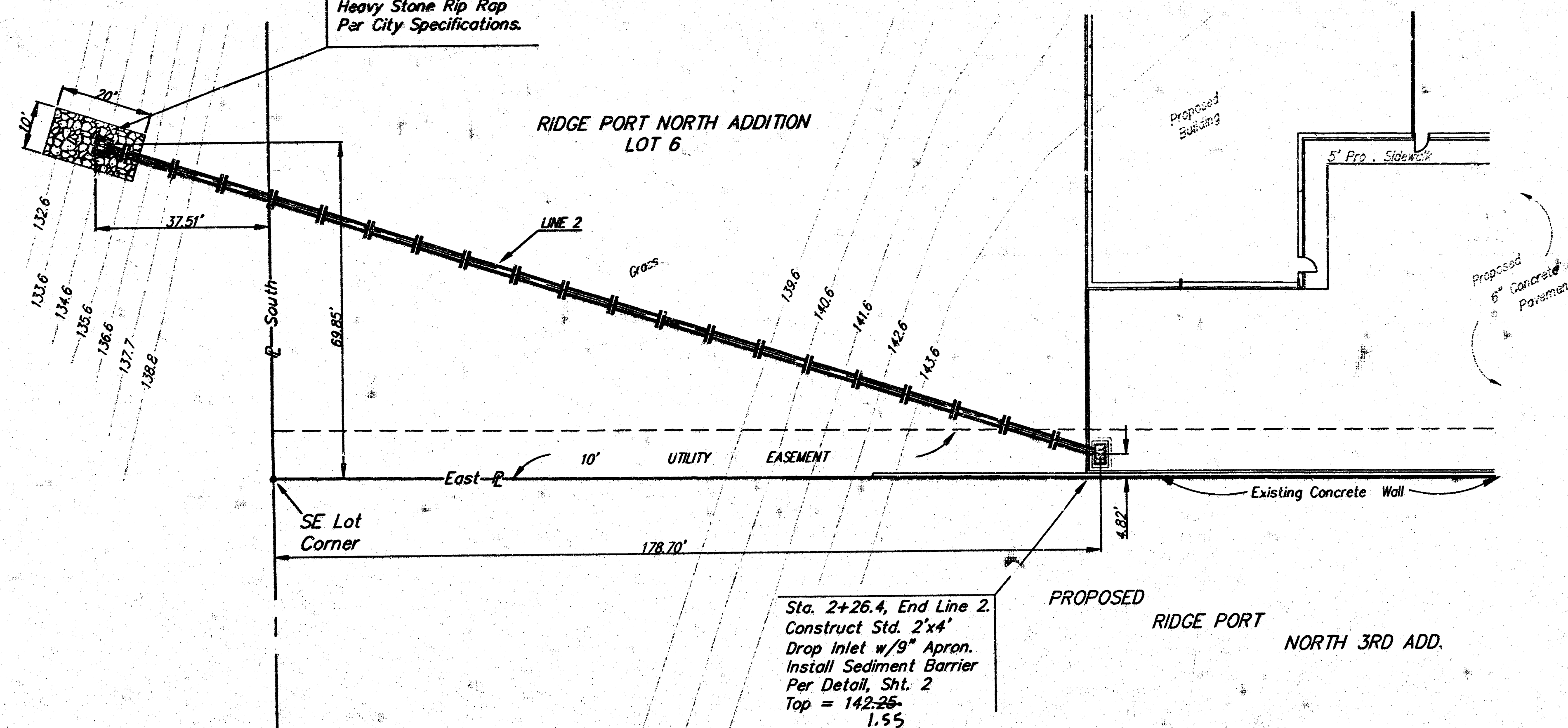
SHEET 2 OF 5

BENCHMARK:
CITY DGC - SW Corner Ridge Road
& 29th Street North, 80.8' S. &
63.7' W. of Both Centerlines.
Elev.=139.15 City Datum

Ex. Lake
W.S. = 132.6

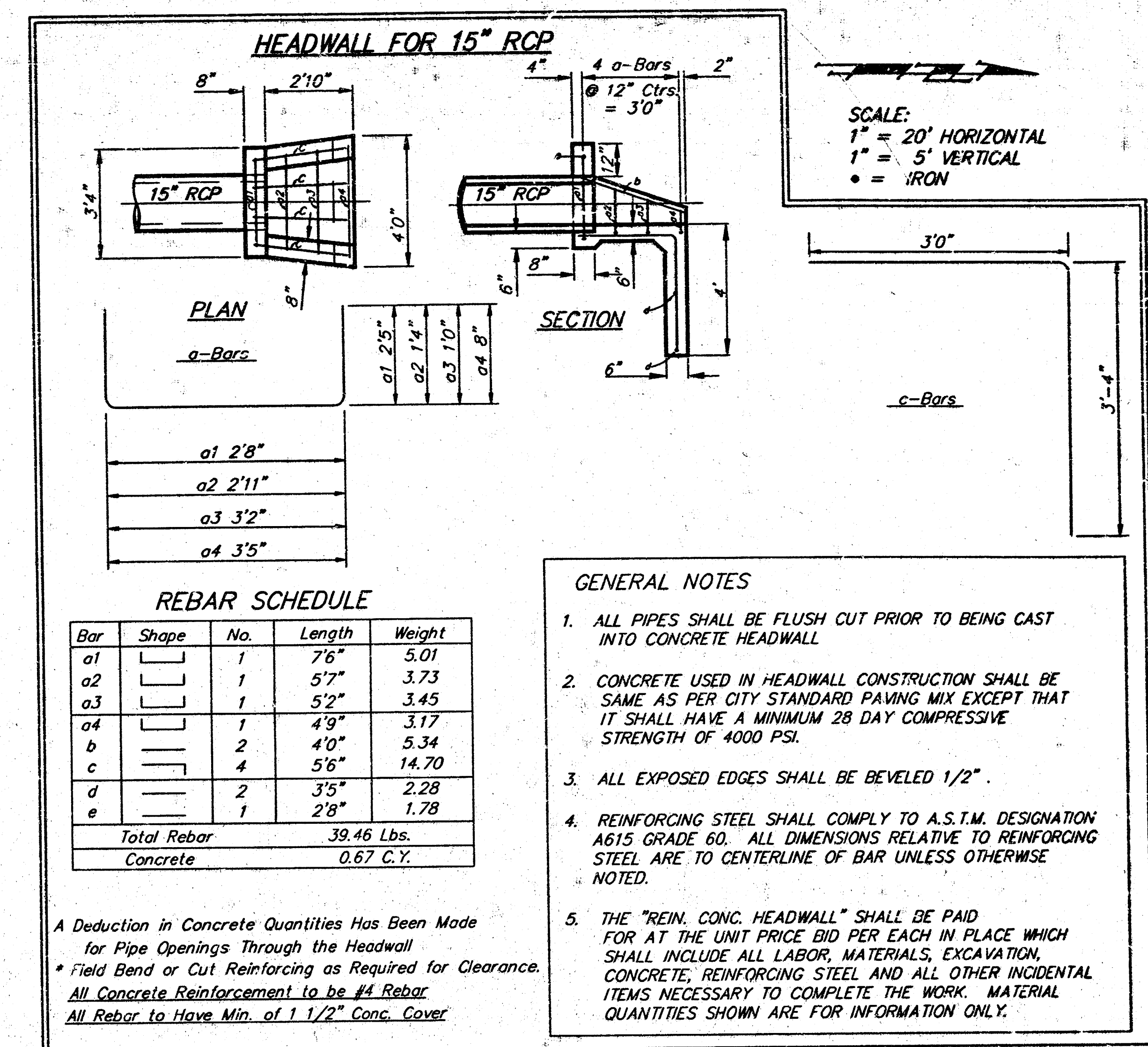
Sta. 0+00, Begin
Construction of Line 2
w/15" Head Wall.
Install 22.2 S.Y. of
Heavy Stone Rip Rap
Per City Specifications.

EDGE PORT NORTH ADDITION
LOT 6



Sta. 2+26.4, End Line 2.
Construct Std. 2'x4'
Drop Inlet w/9" Apron.
Install Sediment Barrier
Per Detail, Sht. 2
Top = 142.28
1.55

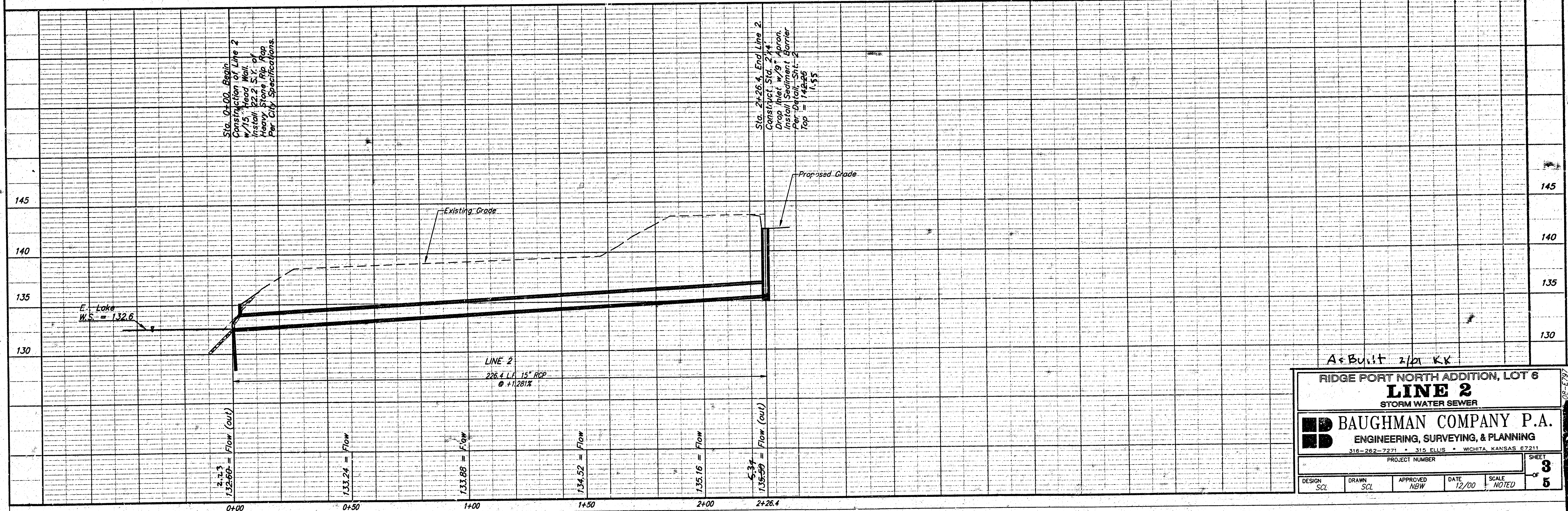
PROPOSED
EDGE PORT
NORTH 3RD ADD.



Bar	Shape	No.	Length	Weight
a1		1	7'6"	5.01
a2		1	5'7"	3.73
a3		1	5'2"	3.45
a4		1	4'9"	3.17
b		2	4'0"	5.34
c		4	5'6"	14.70
d		2	3'5"	2.28
e		1	2'8"	1.78
Total Rebar			39.46 Lbs.	
Concrete			0.67 C.Y.	

- GENERAL NOTES
- ALL PIPES SHALL BE FLUSH CUT PRIOR TO BEING CAST INTO CONCRETE HEADWALL.
 - CONCRETE USED IN HEADWALL CONSTRUCTION SHALL BE SAME AS PER CITY STANDARD PAVING MIX EXCEPT THAT IT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
 - ALL EXPOSED EDGES SHALL BE BEVELED 1/2".
 - REINFORCING STEEL SHALL COMPLY TO A.S.T.M. DESIGNATION A615 GRADE 60. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BAR UNLESS OTHERWISE NOTED.
 - THE "REIN. CONC. HEADWALL" SHALL BE PAID FOR AT THE UNIT PRICE BID PER EACH IN PLACE WHICH SHALL INCLUDE ALL LABOR, MATERIALS, EXCAVATION, CONCRETE, REINFORCING STEEL AND ALL OTHER INCIDENTAL ITEMS NECESSARY TO COMPLETE THE WORK. MATERIAL QUANTITIES SHOWN ARE FOR INFORMATION ONLY.

A Deduction in Concrete Quantities Has Been Made for Pipe Openings Through the Headwall.
* Field Bend or Cut Reinforcing as Required for Clearance.
All Concrete Reinforcement to be #4 Rebar.
All Rebar to Have Min. of 1 1/2" Conc. Cover



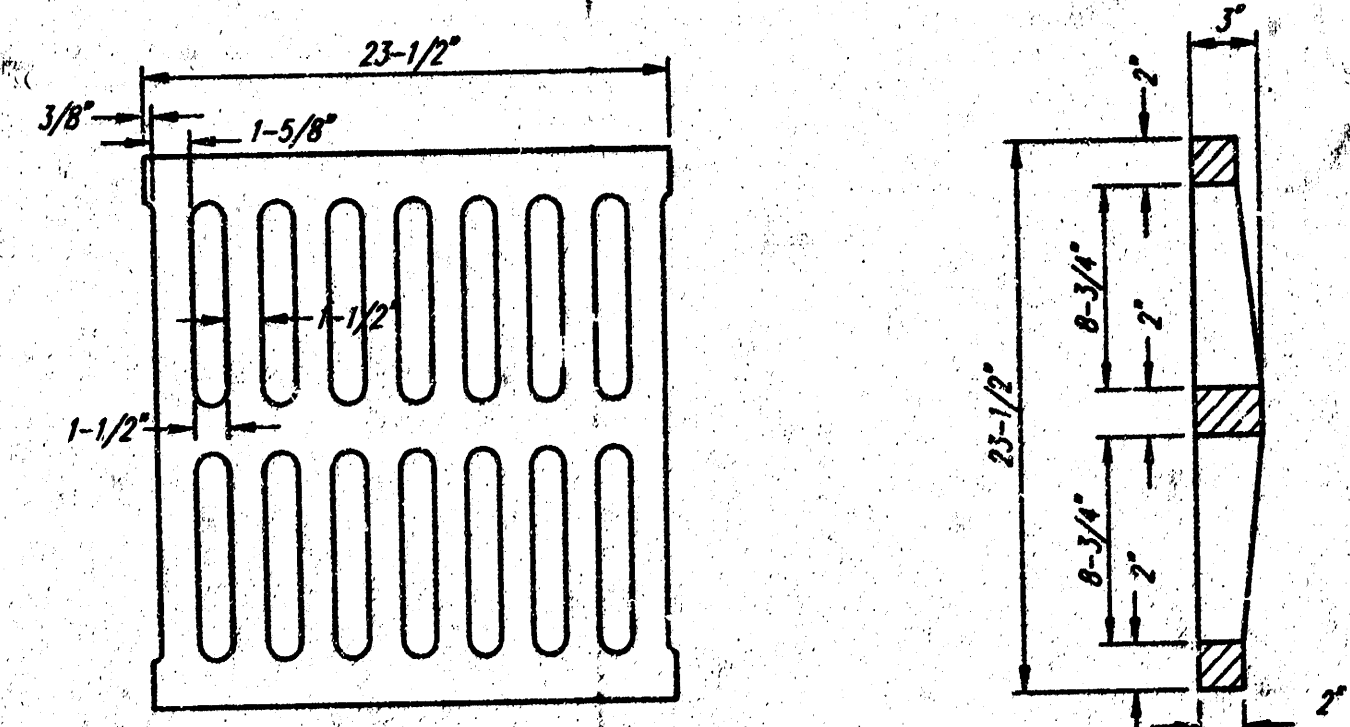
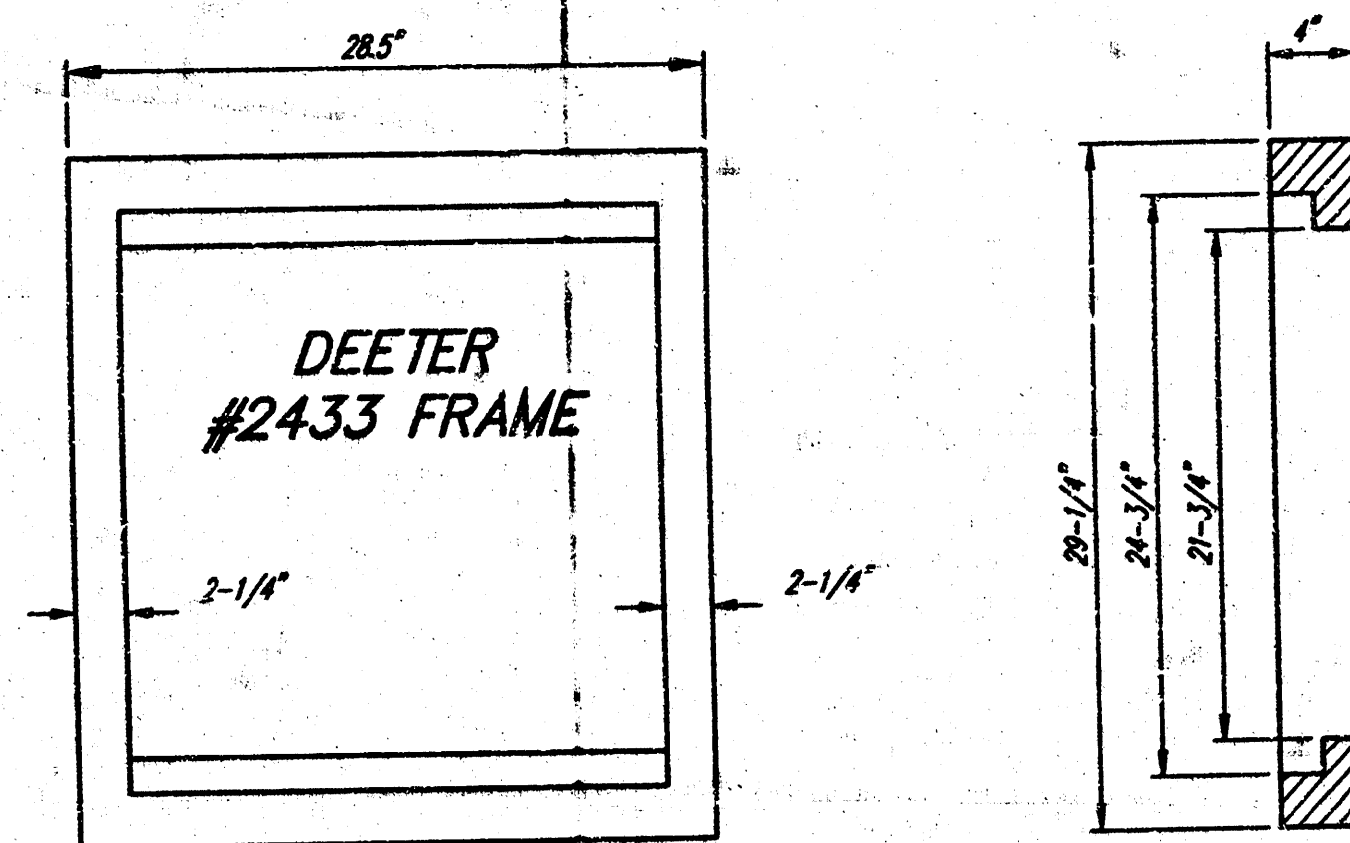
A+Built 2/01 KK

EDGE PORT NORTH ADDITION, LOT 6
LINE 2
STORM WATER SEWER

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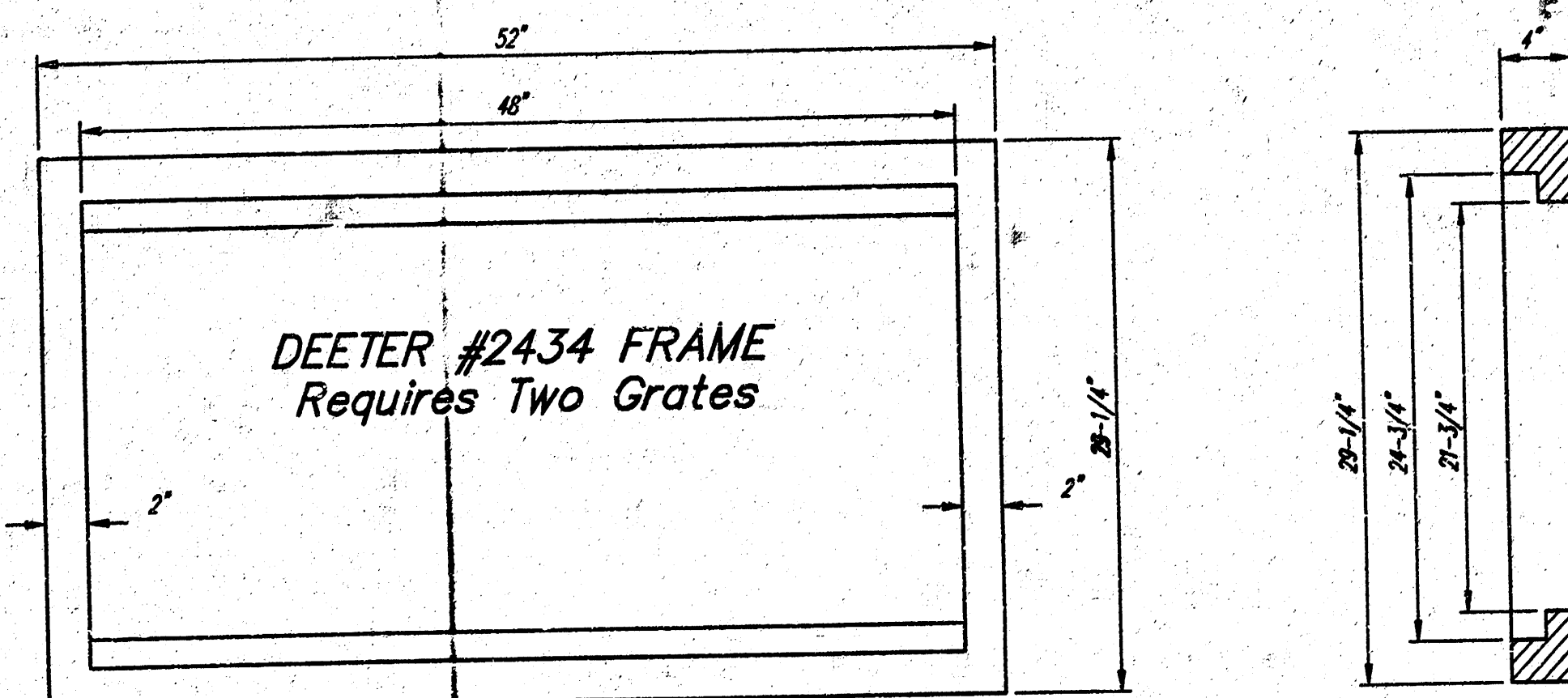
PROJECT NUMBER: _____ SHEET: **3** OF **5**

DESIGN: SCL DRAWN: SCL APPROVED: NGW DATE: 12/00 SCALE: NOTED



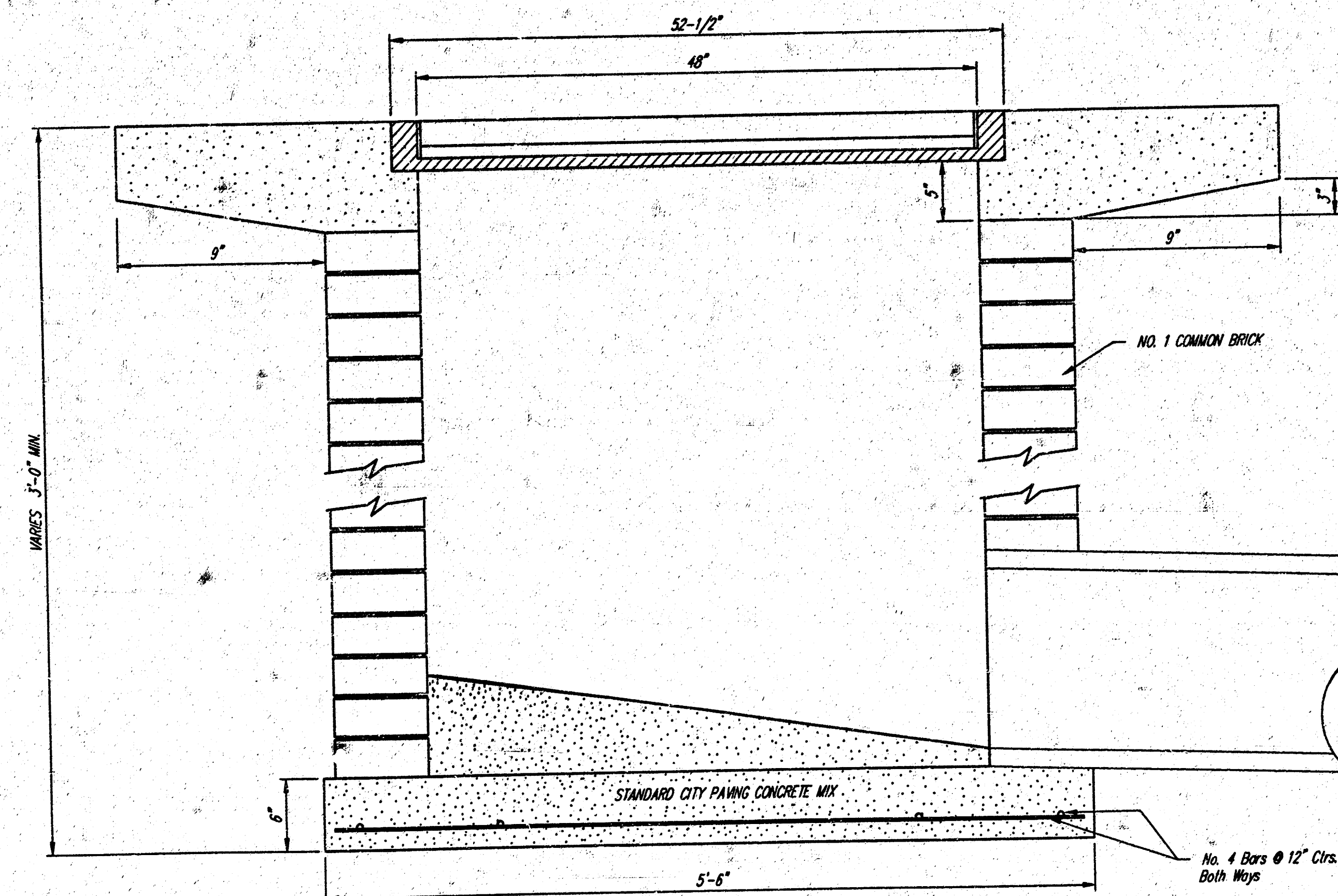
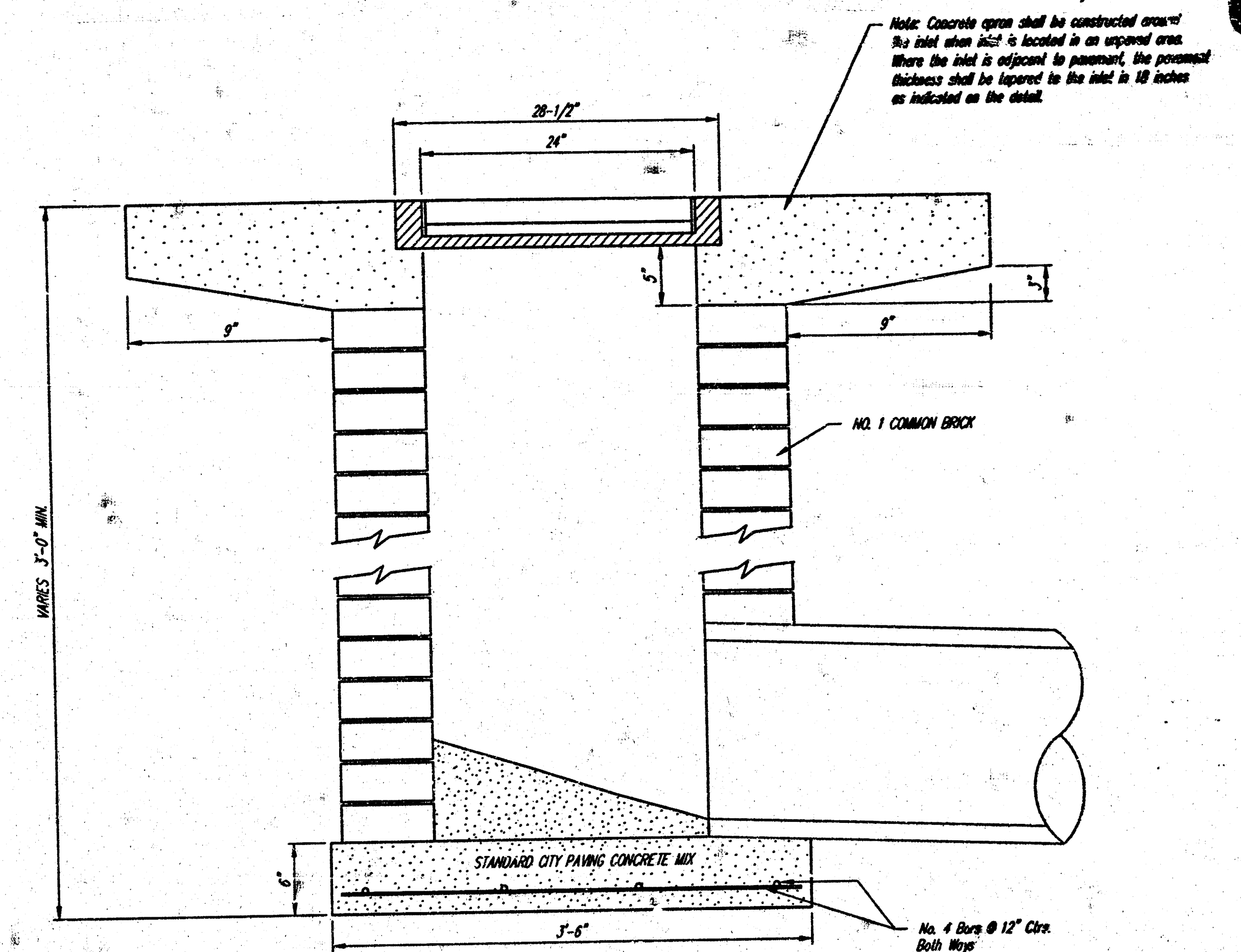
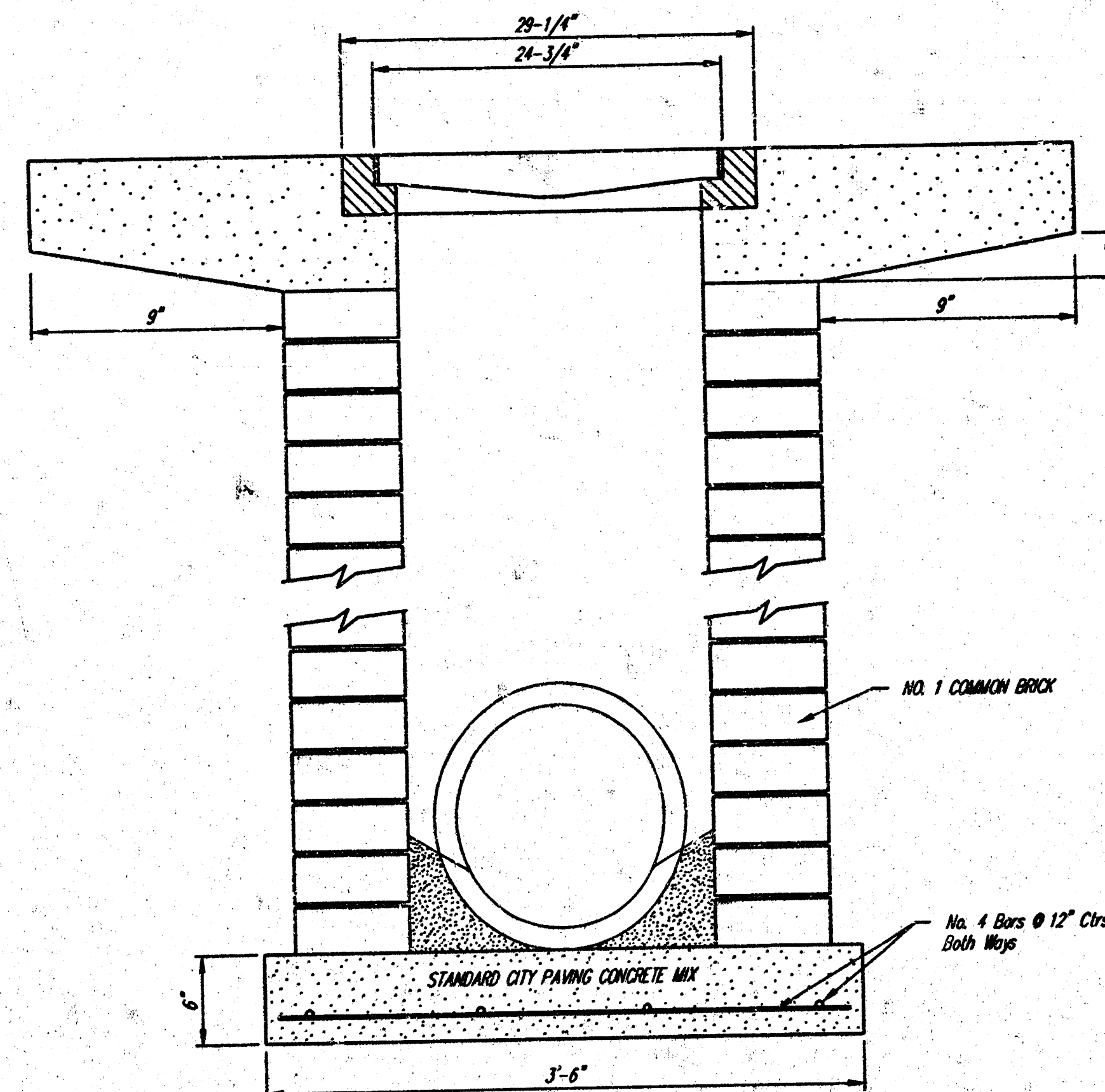
DEETER #2433 GRATE

24" x 24" Frame and Grate Detail



Double 24" x 24" Frame Detail

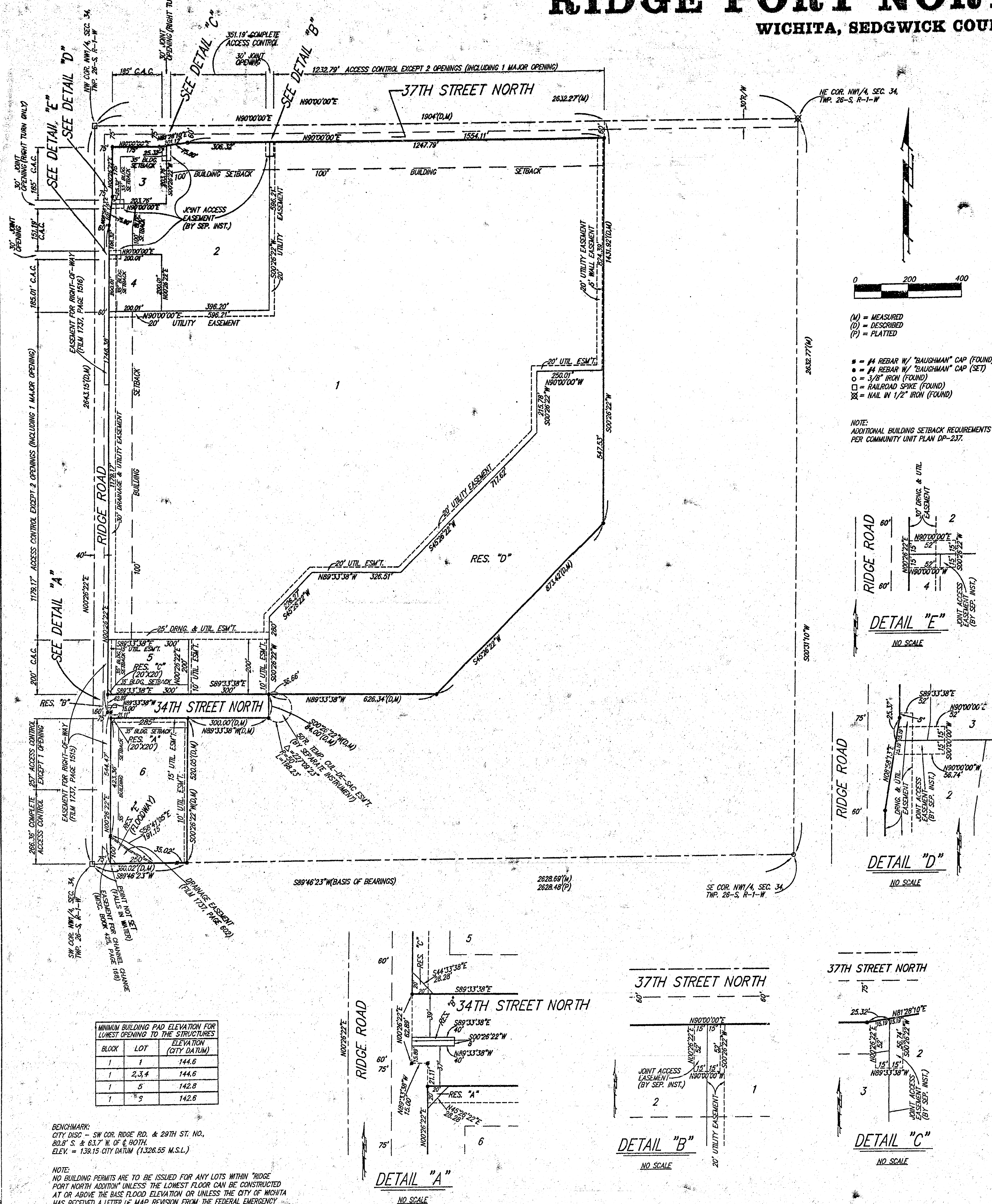
NOTE: Grates shall be imprinted on the top surface with "CITY OF WICHITA" using letters at least 1" in height. Other marking methods may be approved by the engineer.



CITY OF WICHITA				
STANDARD DROP INLET				
RIDGE PORTH NORTH ADDITION, LOT 6				
BAUGHMAN COMPANY P.A.				
ENGINEERING, SURVEYING, & PLANNING				
318-262-7271 • 318 ELLIS • WICHITA, KANSAS 67211				
PROJECT NUMBER				SHEET
				4
DESIGN	DRAWN	APPROVED	DATE	SCALE
STAFF	STAFF		12/00	NONE
				OF 5

RIDGE PORT NORTH ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas) SS
Sedgwick County) We, Baughman Company, P.A. Surveyors in
aforesaid County and State do hereby certify that we have surveyed and
platted "RIDGE PORT NORTH ADDITION", Wichita, Sedgwick County, Kansas
and that the accompanying plat is a true and correct exhibit of the property
surveyed, described as follows: A tract of land in the NW 1/4 of Sec. 34,
Twp. 26-S R-1-W of the 6th P.M., Sedgwick County, Kansas, described as
follows: Beginning at the NW corner of said NW 1/4; thence N90°00'00"E along
the north line of said NW 1/4, 1904.00 feet; thence S00°26'22"W parallel with
the west line of said NW 1/4, 1431.92 feet; thence S45°26'22"W, 873.42 feet;
thence N89°33'38"W, 626.34 feet to a point 680 feet normally distant east of
the west line of said NW 1/4; thence S00°26'22"W parallel with the west line
of said NW 1/4, 84.00 feet; thence N89°33'38"W, 300.00 feet; thence S00°26'22"W
parallel with the west line of said NW 1/4, 520.05 feet to a point on the south
line of said NW 1/4; thence S89°46'23"W along the south line of said NW 1/4,
360.02 feet to the SW corner of said NW 1/4; thence N00°26'22"E along the
west line of said NW 1/4, 2643.15 feet to the point of beginning, all being
subject to road rights-of-way of record.

Existing public easements and dedications being vacated
by virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Michael G. Conrey, Surveyor
Michael G. Conrey

Know all men by these presents that we,
the undersigned, have caused the land in the surveyors certificate to be
platted into Lots, Streets, and Reserves to be known as "RIDGE PORT
NORTH ADDITION", Wichita, Sedgwick County, Kansas. The utility easements
are hereby granted as indicated for the construction and maintenance
of all public utilities. The drainage and utility easements are hereby
granted as indicated for drainage purposes and for the construction
and maintenance of all public utilities. The wall easement is hereby
granted as indicated for the construction and maintenance of a private
screening wall and utility main lines and service lines shall be allowed
to cross this easement. The streets are hereby dedicated to and for
the use of the public. Reserves "A" and "C" are hereby reserved for
landscaping, entry monuments, utilities, screening walls, and open space.
Reserve "B" is hereby reserved for landscaping, open space, utilities,
entry monuments, and streets. Reserve "D" is hereby reserved for
drainage purposes, ponds, landscaping, open space, berms, gazebos,
screening walls, and sidewalks. Reserve "E" is hereby reserved for floodway,
drainage purposes, and open space, and no buildings shall be constructed
or placed on or within said Reserve "E", nor shall any fill, change of grade,
creation of channel, or any other work be carried on without the permission
of the appropriate governing body. Reserves "A", "B", "C", "D", and "E" shall
be owned and maintained by the lot owners association for the addition.
All abutters rights of access to or from Ridge Road and to or from 37th
Street North shall be as indicated on the face of the plat. The Minimum
Building Pad Elevations for the lowest opening to the structures shall be
as indicated on the face of the plat.

Ken-Win Farms, Inc.

Bruce K. Ott, President
R & R Realty, LLC

Joy W. Russell, Manager
Kevin M. Mullen, Manager

Via Christi Property Services, Inc.
David M. Mohr, President

Diana L. Bower, Notary Public
Diana L. Bower

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged before me,
this 31st day of March, 1999, by Bruce K. Ott, President of
Ken-Win Farms, Inc., on behalf of the corporation.

My App't. Exp. 5-1-2000
Diana L. Bower, Notary Public

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged before me,
this 31st day of March, 1999, by Joy W. Russell, Manager of
R & R Realty, LLC, on behalf of the company.

My App't. Exp. 5-1-2000
Diana L. Bower, Notary Public

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged before me,
this 31st day of March, 1999, by David M. Mohr, President of
Via Christi Property Services, Inc., on behalf of the corporation.

My App't. Exp. 5-1-2000
Diana L. Bower, Notary Public

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged before me,
this 31st day of March, 1999, by Joy W. Russell, Manager of
R & R Realty, LLC, on behalf of the company.

My App't. Exp. 5-1-2000
Diana L. Bower, Notary Public

This plat of "RIDGE PORT NORTH ADDITION", Wichita,
Sedgwick County, Kansas has been submitted to and approved by
the Wichita-Sedgwick County Metropolitan Area Planning Commission,
Wichita, Kansas.