

PAVING PLANS FOR

NORTHBROOK MEADOW 2ND. ADDITION

PHASE I

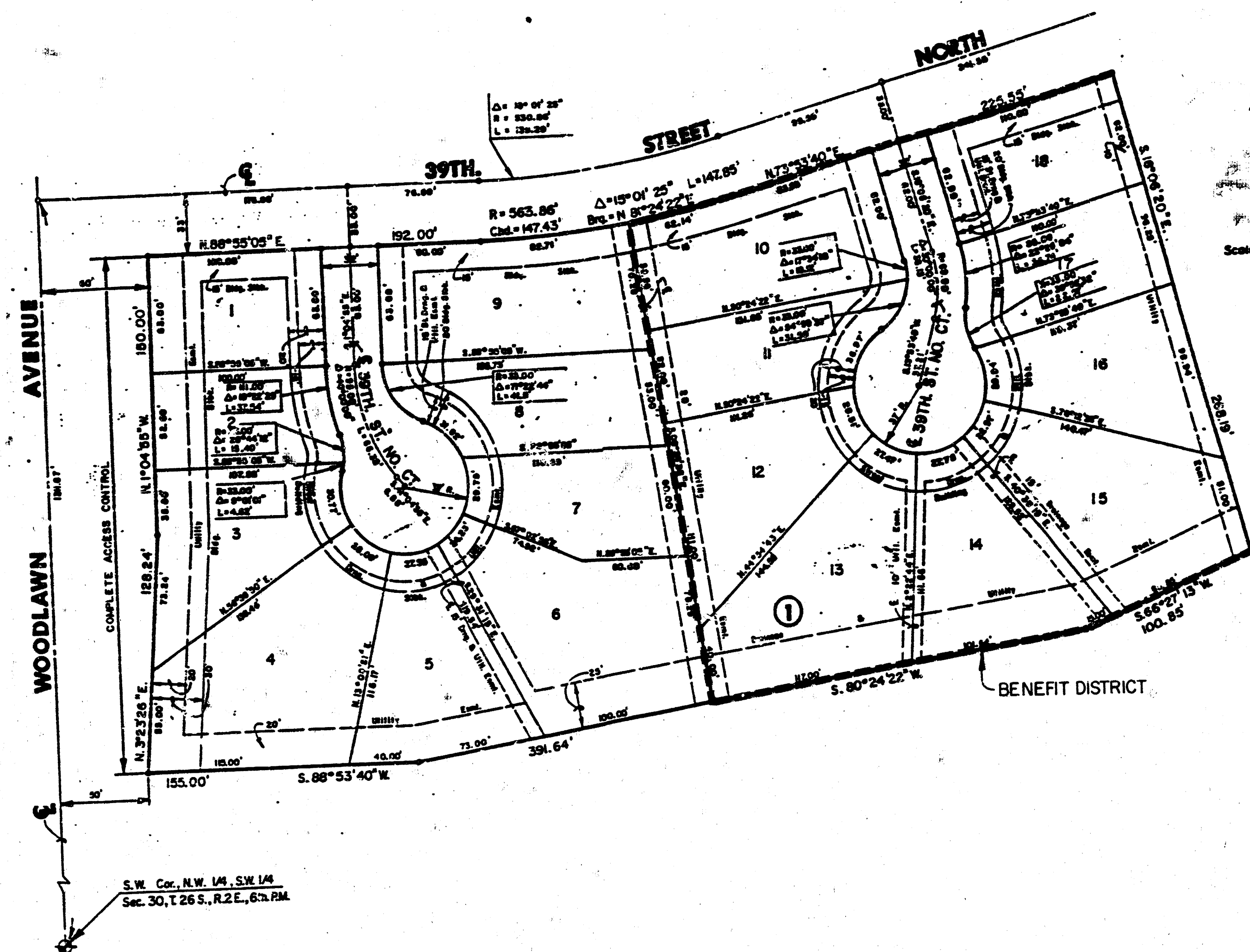
PROJECT NO. 472-82067

CITY OF WICHITA, KANSAS
MICHAEL E. LINDEBAK, CITY ENGINEER

INDEX CODE: 760827

GENERAL NOTES

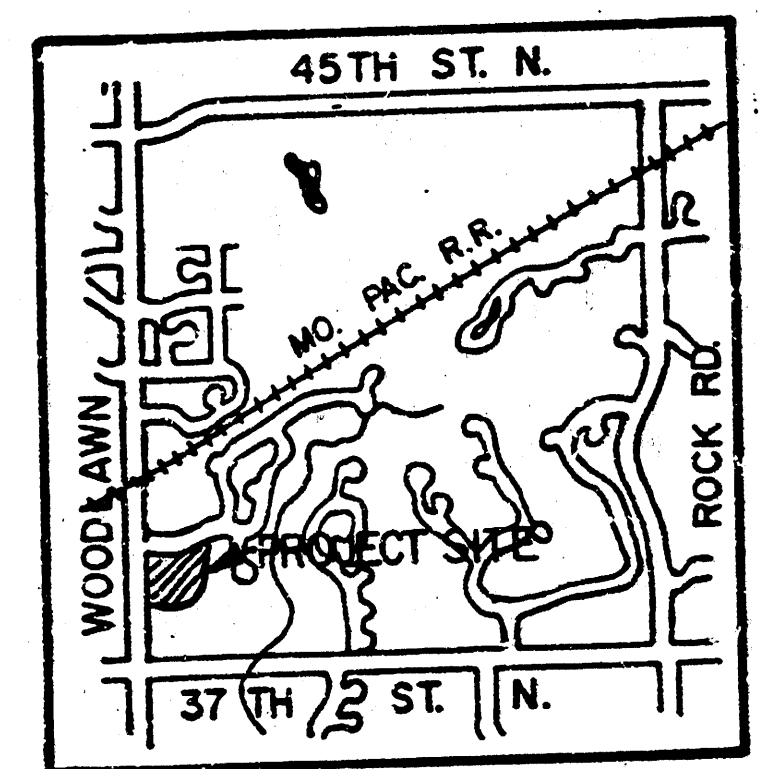
- UNLESS SHOWN OR STATED OTHERWISE ON THESE DRAWINGS, MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF WICHITA CONCRETE PAVEMENT AND ASPHALTIC CONCRETE PAVEMENT SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- TRANSITION CURB FROM FULL HEIGHT COMBINATION CURB AND GUTTER TO ROLL TYPE COMBINATION CURB AND GUTTER IS TO BE PAID AS BID FOR LINEAL FEET COMBINED CURB AND GUTTER (3 5/8" ROLL).
- EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF FORTY-EIGHT (48) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:
 1-800-344-7233
 OR 617-2470 (LOCAL WICHITA)
 1-800-344-7233
 OR 617-2470 (LOCAL WICHITA)
 THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:
 1-571-2115
 262-4270 OR 263-2081
 263-7511
 264-1141
 268-4908
 268-4908
 942-8350 OR 263-8161
- RUBBLE FROM THE REMOVAL OF MISCELLANEOUS STRUCTURES AND EXCESS EXCAVATION WHICH IS TO BE WASTED SHALL BE DISPOSED OF ON SITES TO BE PROVIDED BY THE CONTRACTOR. THESE SITES SHALL BE APPROVED BY THE ENGINEER AS TO SUITABILITY, APPEARANCE AND SITE LOCATION. LOCATIONS THAT, IN THE OPINION OF THE ENGINEER, WILL LEAVE AN UNSIGHTLY APPEARANCE WILL NOT BE APPROVED.
- THIS PROJECT INCLUDES A CERTAIN AMOUNT OF ROLL TYPE CURB CONSTRUCTION. ROLL CURBS SHALL BE DERESSED THROUGH ALL DRIVEWAY OPENINGS WHEN SUCH DRIVES ARE CONSTRUCTED AS A PART OF THE PROJECT. NO MORE THAN 2 DRIVES 20 FEET IN WIDTH OR EQUIVALENT COMBINATIONS THEREOF ARE TO BE CONSTRUCTED WITH THIS PROJECT.
- A SAW CUT OF AT LEAST ONE-HALF THE DEPTH OF EXISTING SURFACE COURSES OR ONE-FOURTH THE DEPTH OF THE EXISTING TOTAL PAVEMENT THICKNESS SHALL BE PROVIDED AT LOCATIONS WHERE PROPOSED CONSTRUCTION ABUTS AN EXISTING SURFACE COURSE OR PAVEMENT FOR WHICH PARTIAL REMOVAL OF THAT SURFACE OR PAVEMENT IS REQUIRED. SAW JOINT TO FACILITATE REMOVAL WITHIN THREE (3) FEET OF EXISTING JOINTS WILL NOT BE PERMITTED AND FOR SUCH INSTANCES THE LIMITS OF REMOVAL SHALL EXTEND TO THE EXISTING JOINT. SUCH SAW CUTS WILL NOT BE PAID FOR DIRECTLY AND THIS COST SHALL BE CONSIDERED AS SUBSIDIARY TO THE REMOVAL OF SURFACE OR PAVEMENT.
- PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THE OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH EXISTING UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO PROJECT.



BENCH MARK
 "□" CUT ON N.W. COR. OF R.C.B. ON 39TH ST. NO.
 AT S.E. COR. OF NORTHBROOK MEADOW
 ELEV. = 183.45 CITY DATUM

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-3	PAVING DETAILS
4	PLAN
5	CROSS-SECTIONS
6	NORTHBROOK MEADOW 2ND ADD. FINAL PLAN



LOCATION MAP



NORTHBROOK MEADOW 2ND ADDITION PHASE I PAVING PLANS

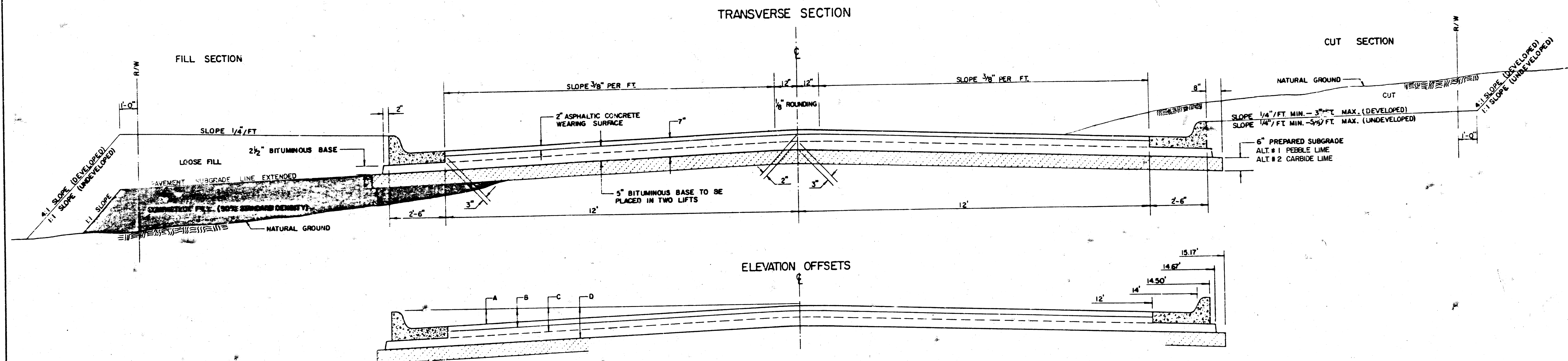
MID-KANSAS ENGINEERING CONSULTANTS PA
 3500 NORTH ROCK ROAD
 BUILDING #800
 WICHITA, KANSAS 67226

Design: GJA
 Drawn by: DPR
 Checked by: DSS
 Date: APRIL 1991
 Job no:

Sheet: **1**
6

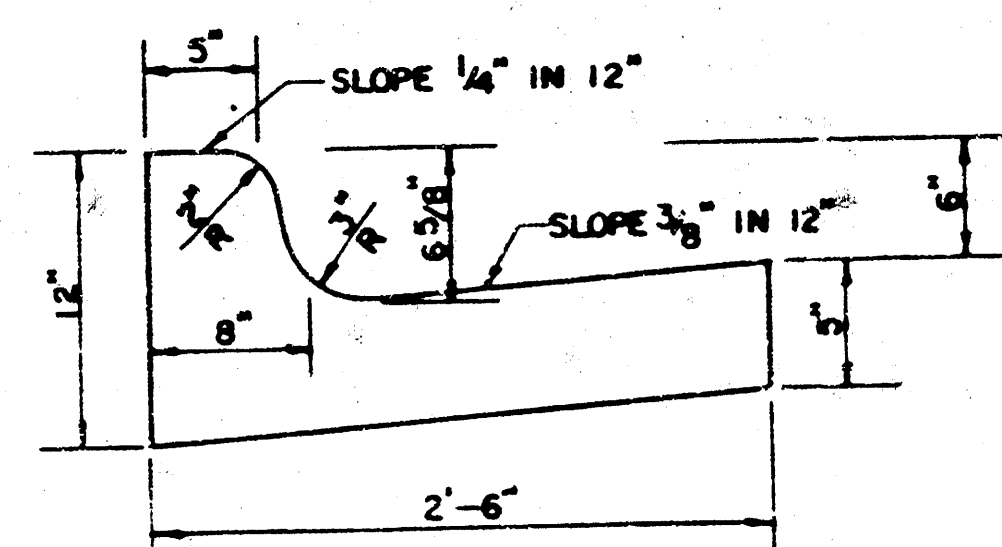
636-5566

TYPICAL 29' PAVEMENT DETAILS

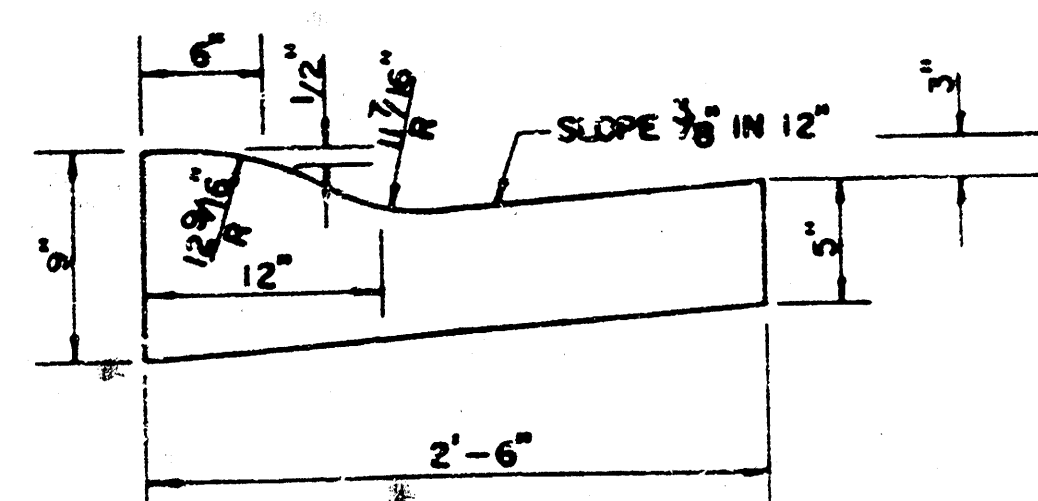


	DISTANCE FROM CENTERLINE (LT. & RT.)											
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.66	—	—	—	—
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23

COMBINED CURB & GUTTER



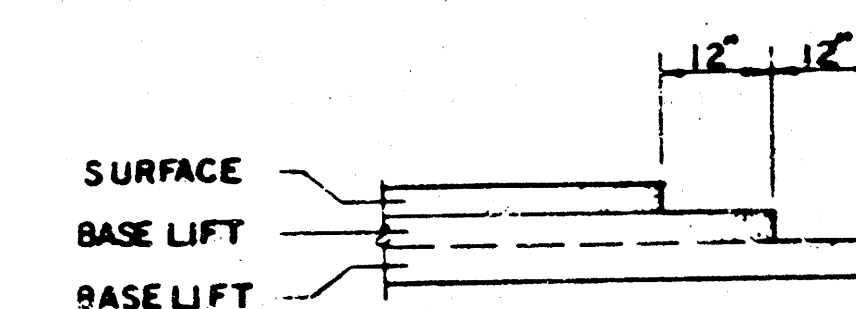
ROLL TYPE COMBINED CURB & GUTTER



GENERAL NOTES

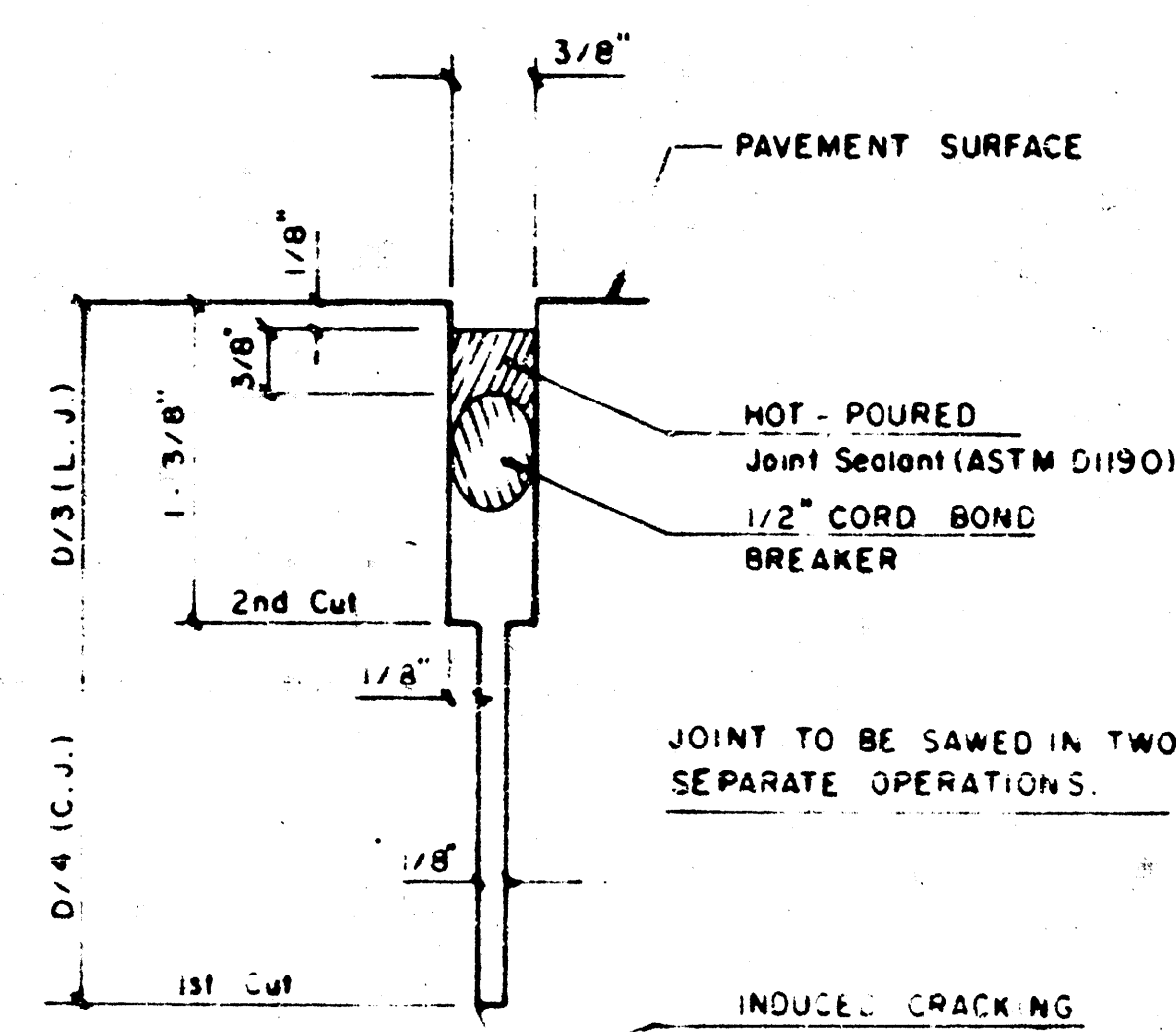
- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2" BITUMINOUS BASE.
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

TRANSVERSE CONSTRUCTION JOINTS

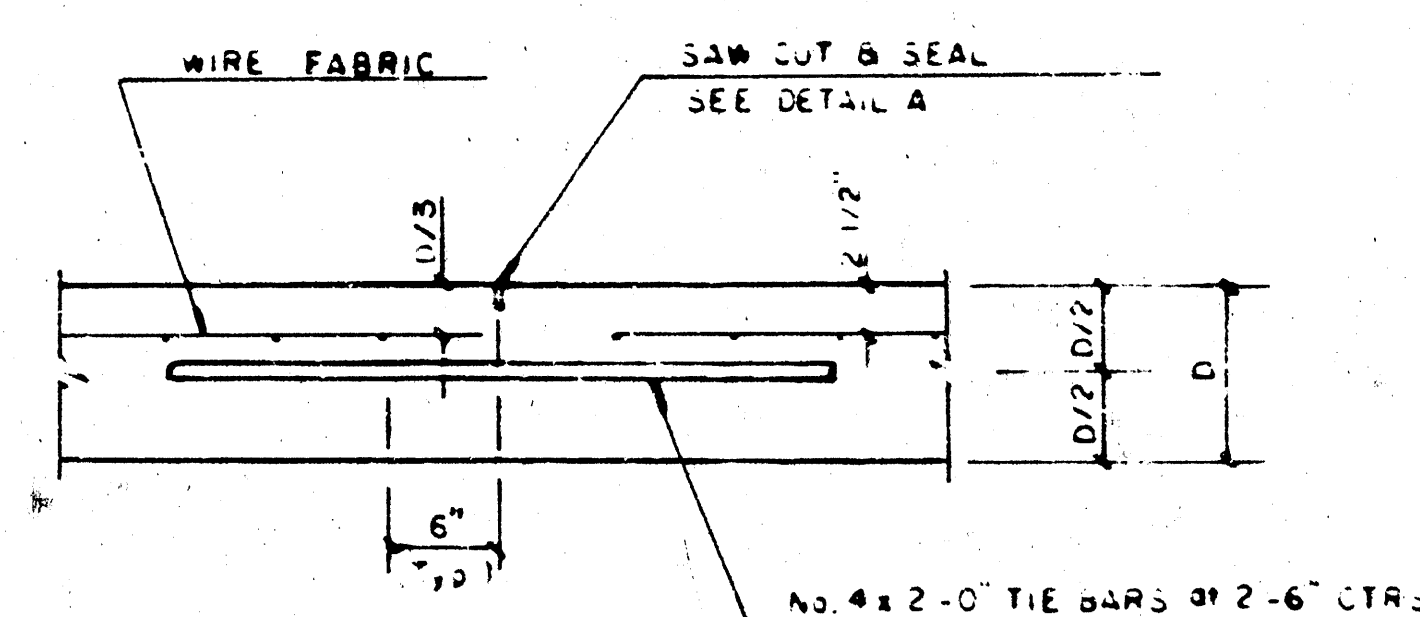


TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).

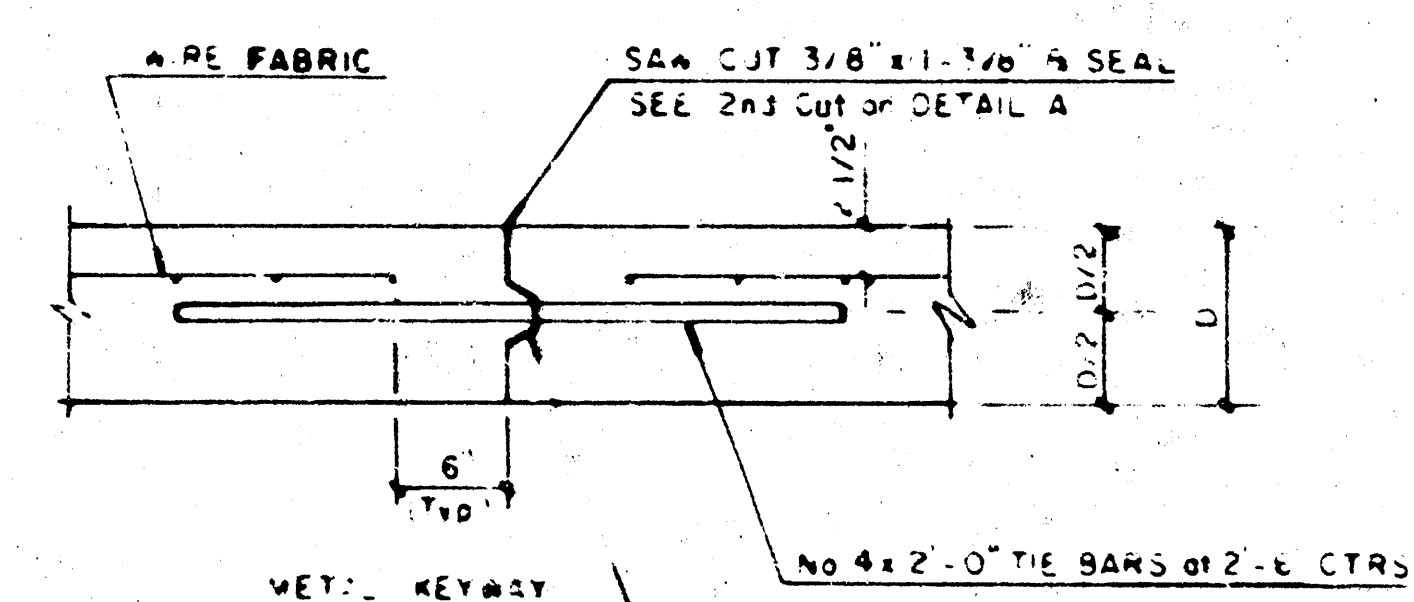
7 INCH RESIDENTIAL ASPHALTIC CONCRETE
PAVEMENT WITH 5 INCH BITUMINOUS BASE
CITY OF WICHITA, KANSAS
NORTHBROOK MEADOW 2ND ADDITION - PHASE I
PROJ. NO. 472-82067



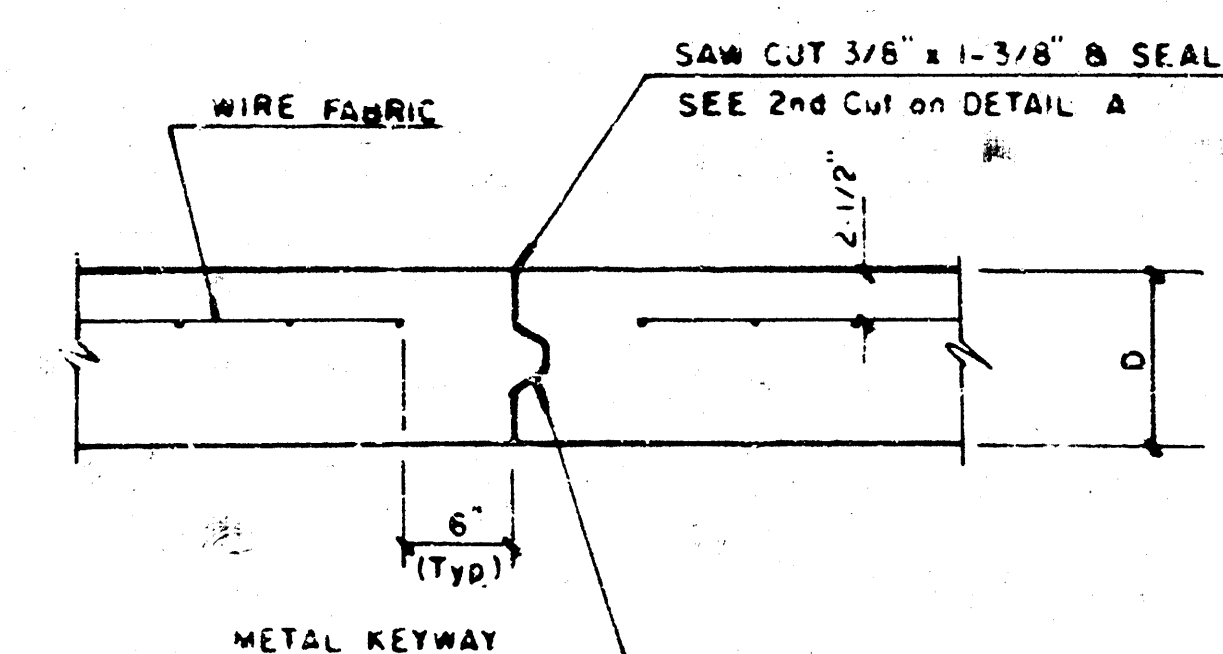
NOTE: ALL CONCRETE VALLEY GUTTER REINFORCEMENT SHALL BE ADEQUATELY SUPPORTED BY BAR CHAIRS IN THE REQUIRED POSITION UNLESS APPROVED OTHERWISE BY THE ENGINEER



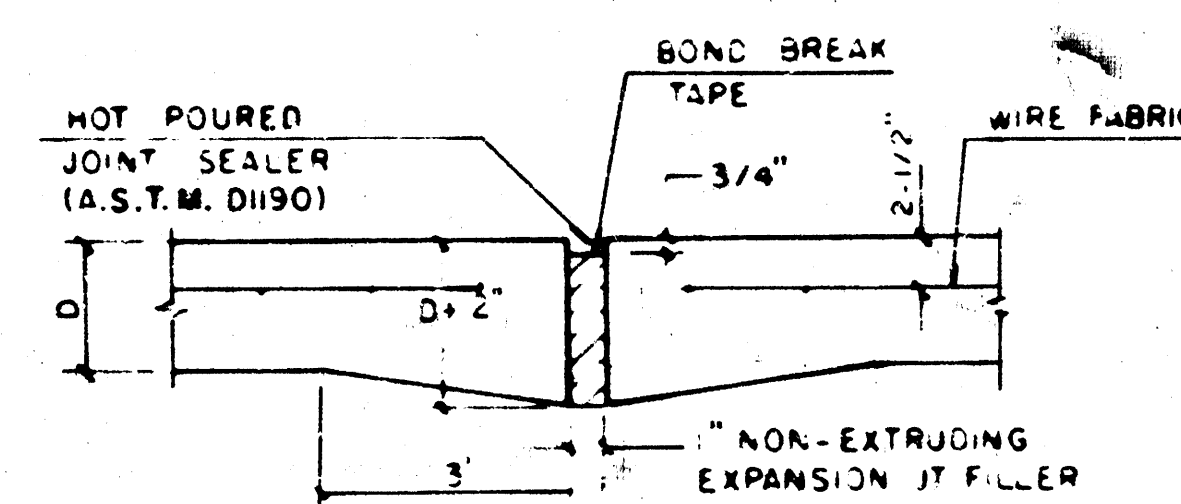
LONGITUDINAL JOINT DETAIL (L.J.)



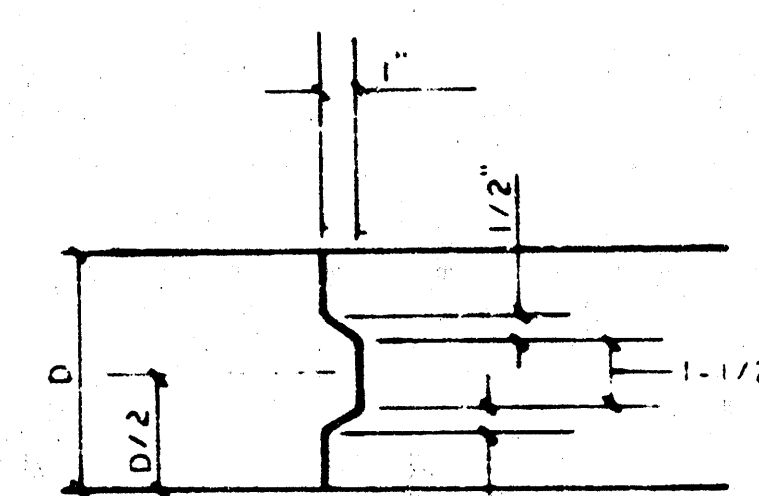
OPTIONAL LONGITUDINAL CONSTRUCTION JOINT (L.J.)
(Alternate L.J.)



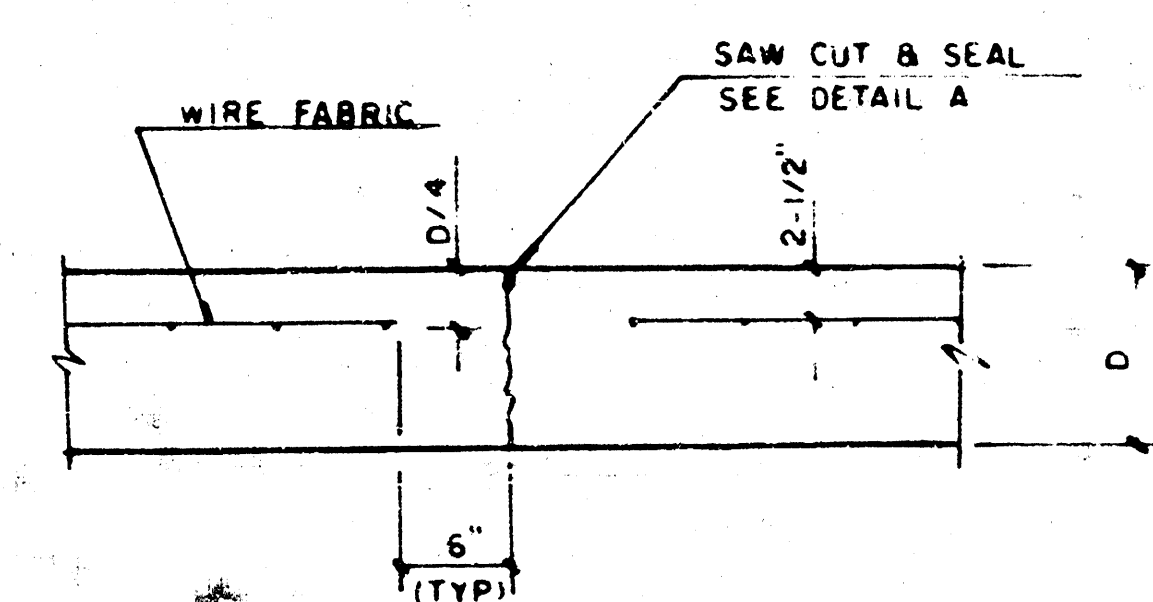
OPTIONAL CONTRACTION CONSTRUCTION JOINT (C.J.)
(Alternate C.J.)



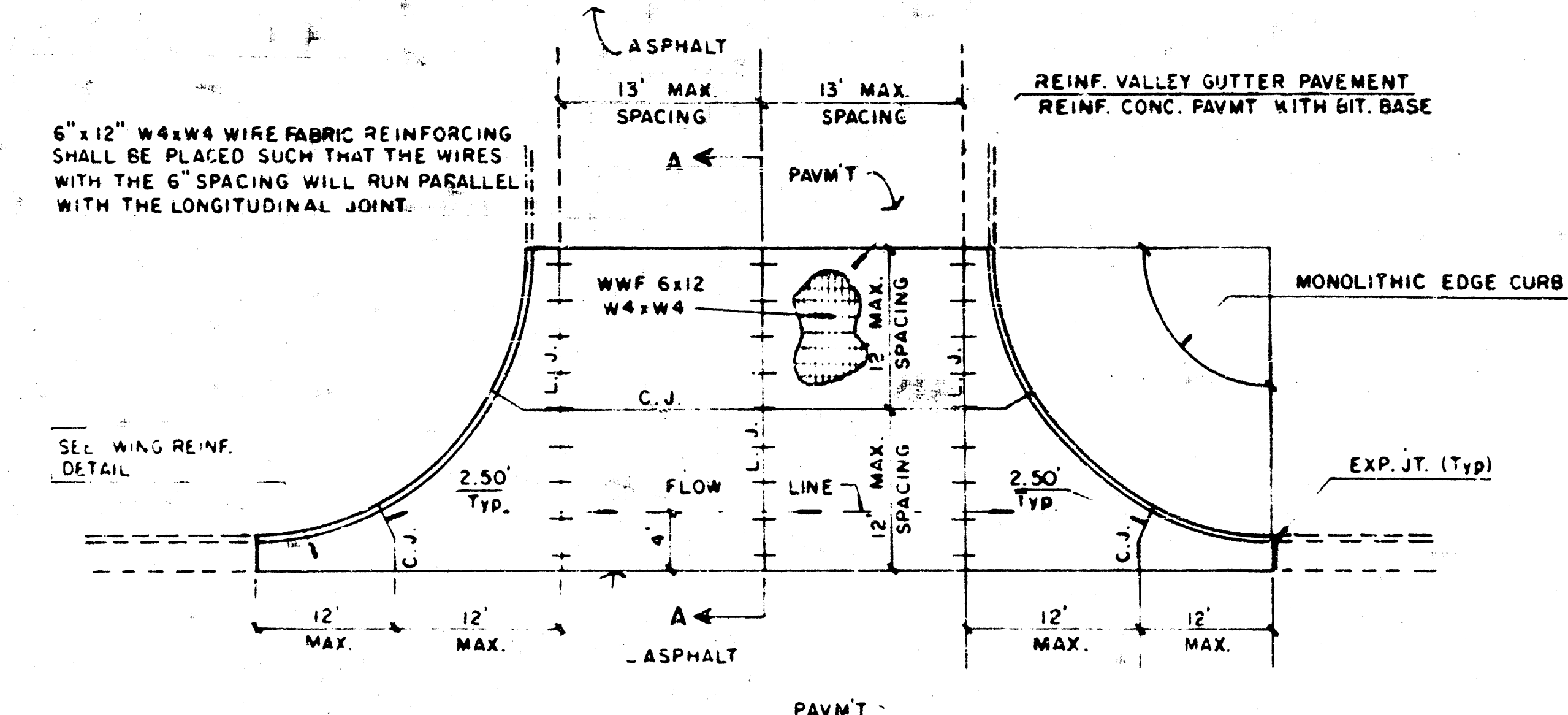
EXPANSION JOINT



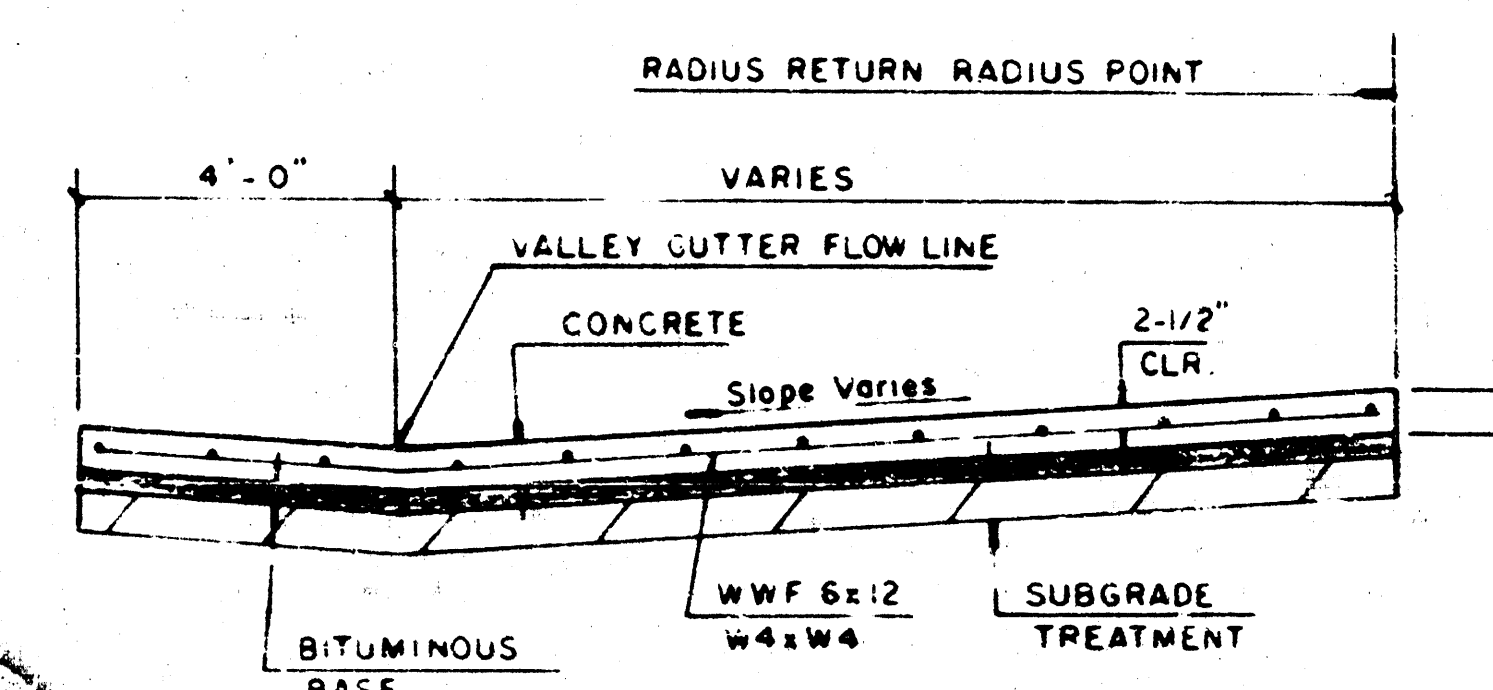
KEYWAY DETAIL



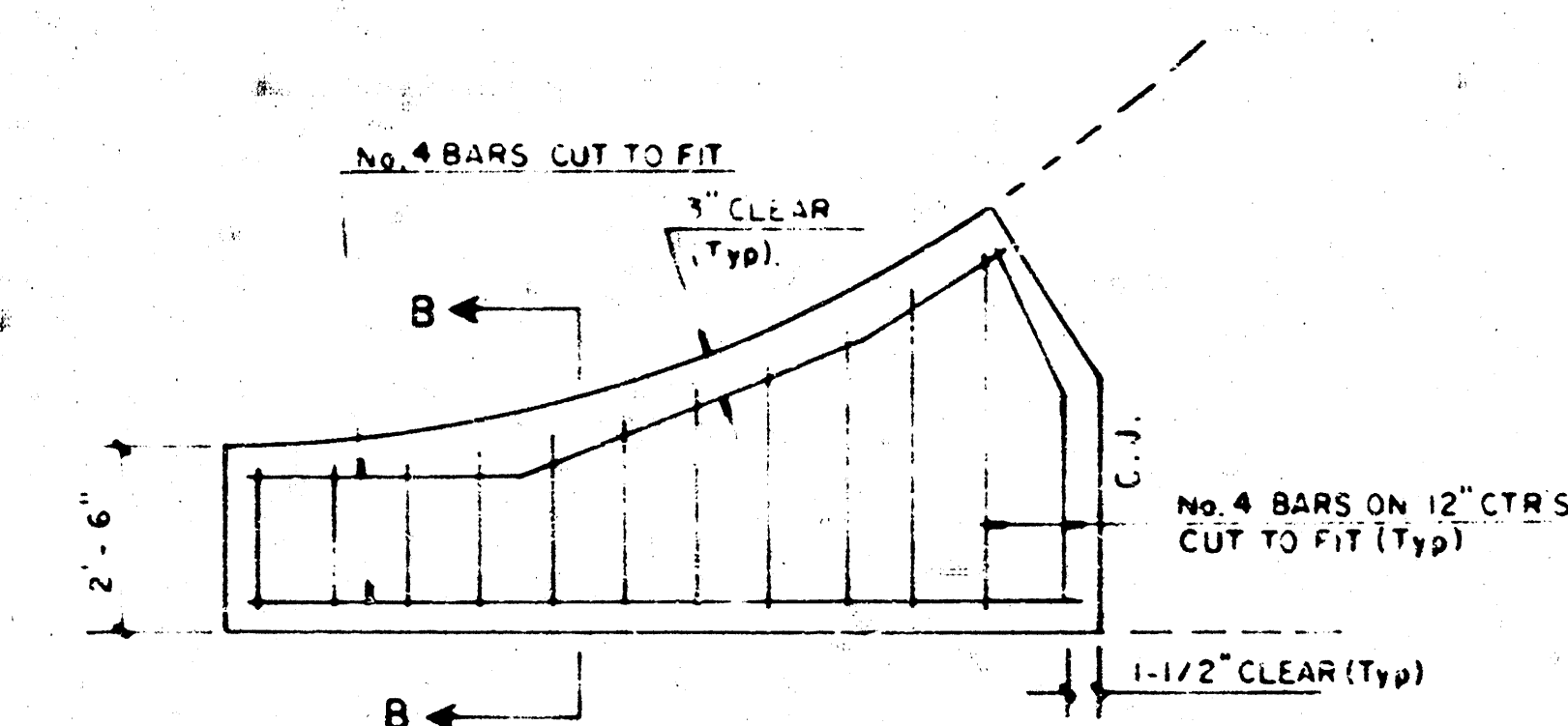
CONTRACTION JOINT DETAIL (C.J.)



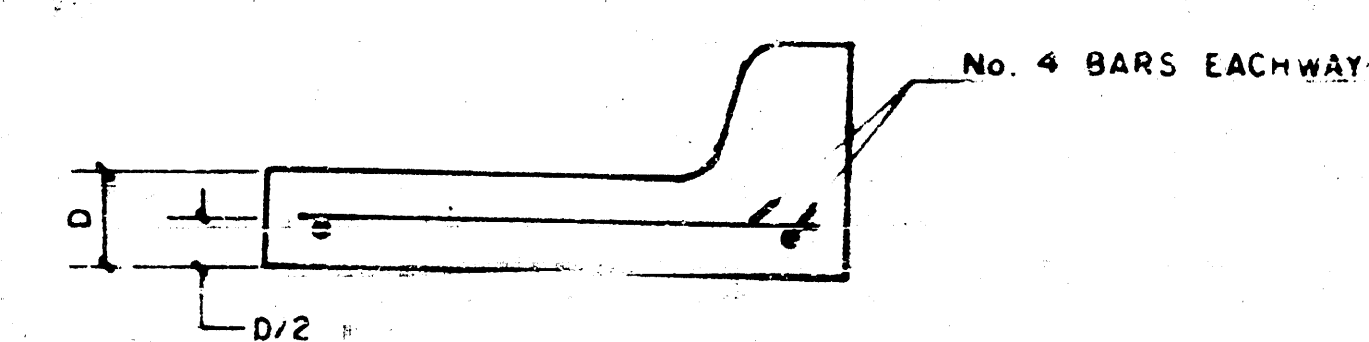
PLAN
REINFORCED VALLEY GUTTER



SECTION A-A



WING REINFORCING DETAIL



SECTION B-B

LEGEND

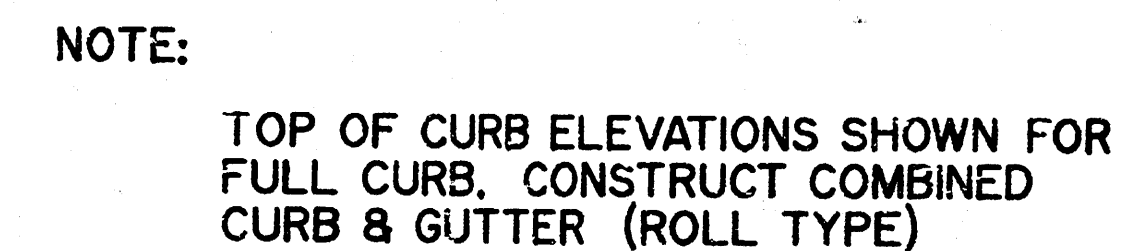
<u>C.J.</u> IDENTIFIES CONTRACTION	JOINT
<u>L.J.</u> IDENTIFIES LONGITUDINAL	JOINT

PROJECT DESCRIPTION:

VALLEY GUTTER
DETAILS

NORTHBROOK MEADOW 2ND ADDITION - PHASE I
PROJ. NO. 472-82067

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EARTHWORK	
Excavation	= 142
Comp. Fill	= 93
Borrow	= 155

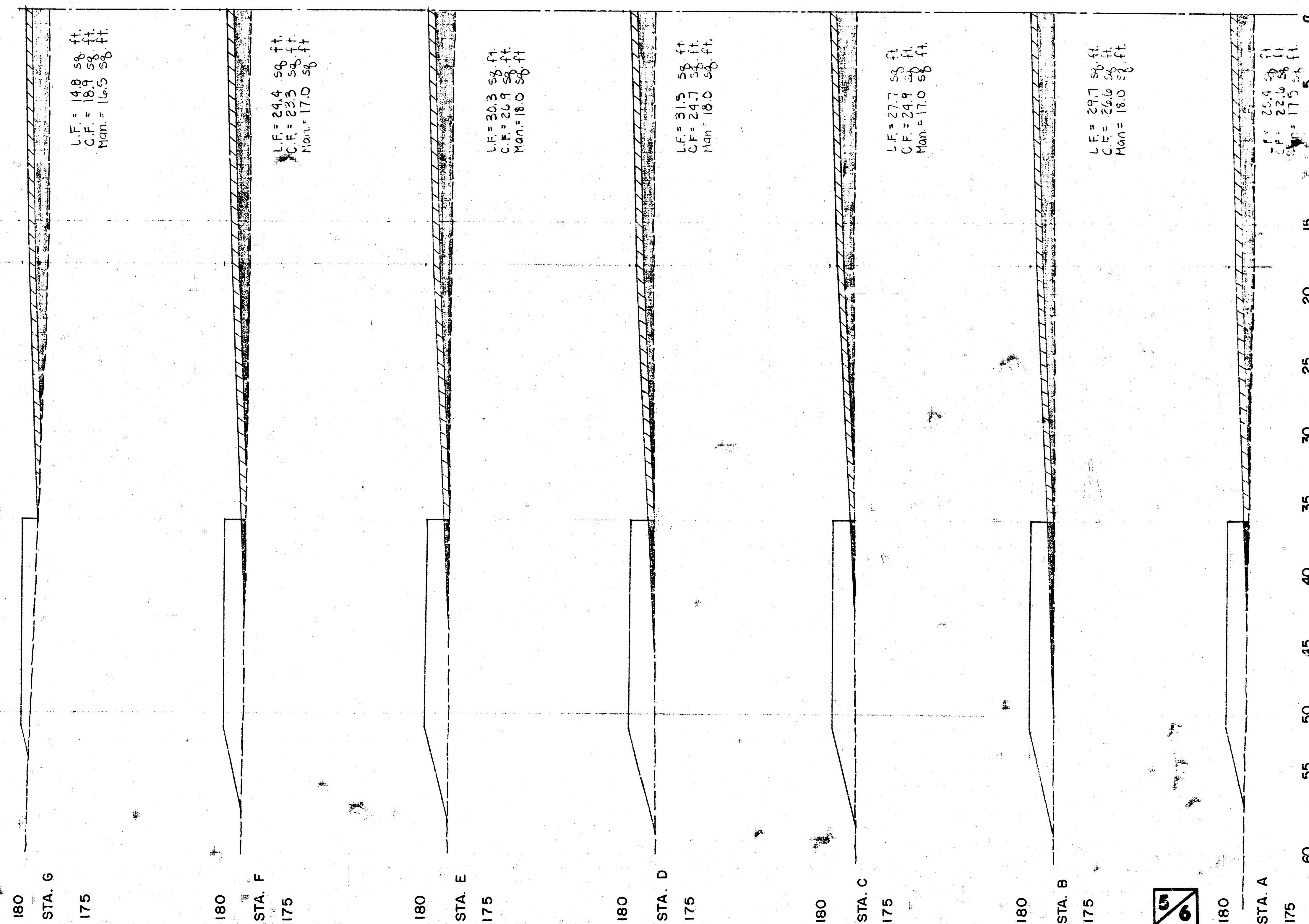
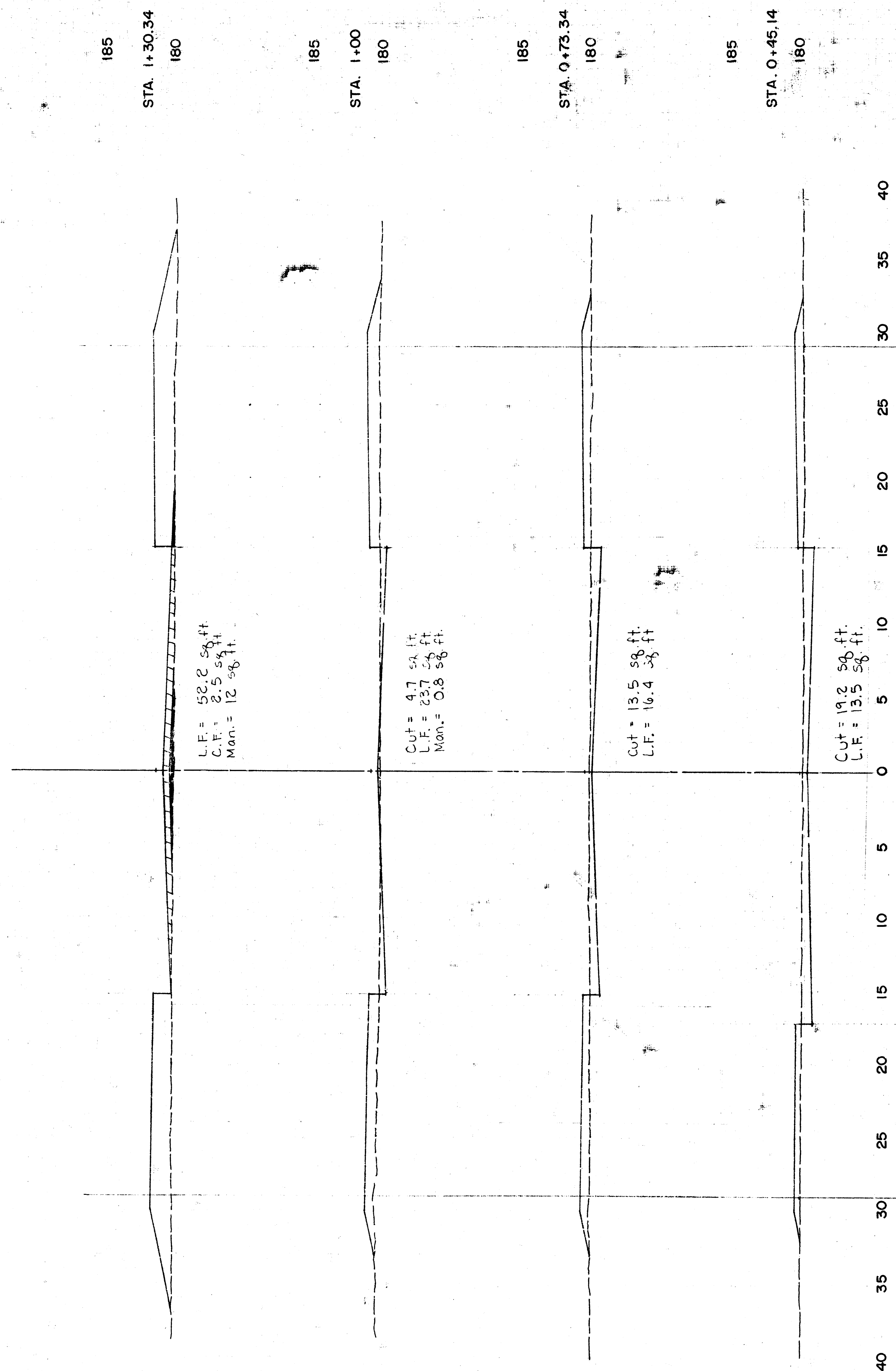
	CITY OF WICHITA NORTHBROOK MEADOW 2ND ADDITION	Design by DRA Drawn by DPR Checked by DSS Date APRIL 1991 Job no
	PROJECT NO. 472 - 82067	
	MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226	
	636-5566	

Sheet **4**
 of **6**

WOODLAWN COURT, PAVING --- EARTHWORK QUANTITIES

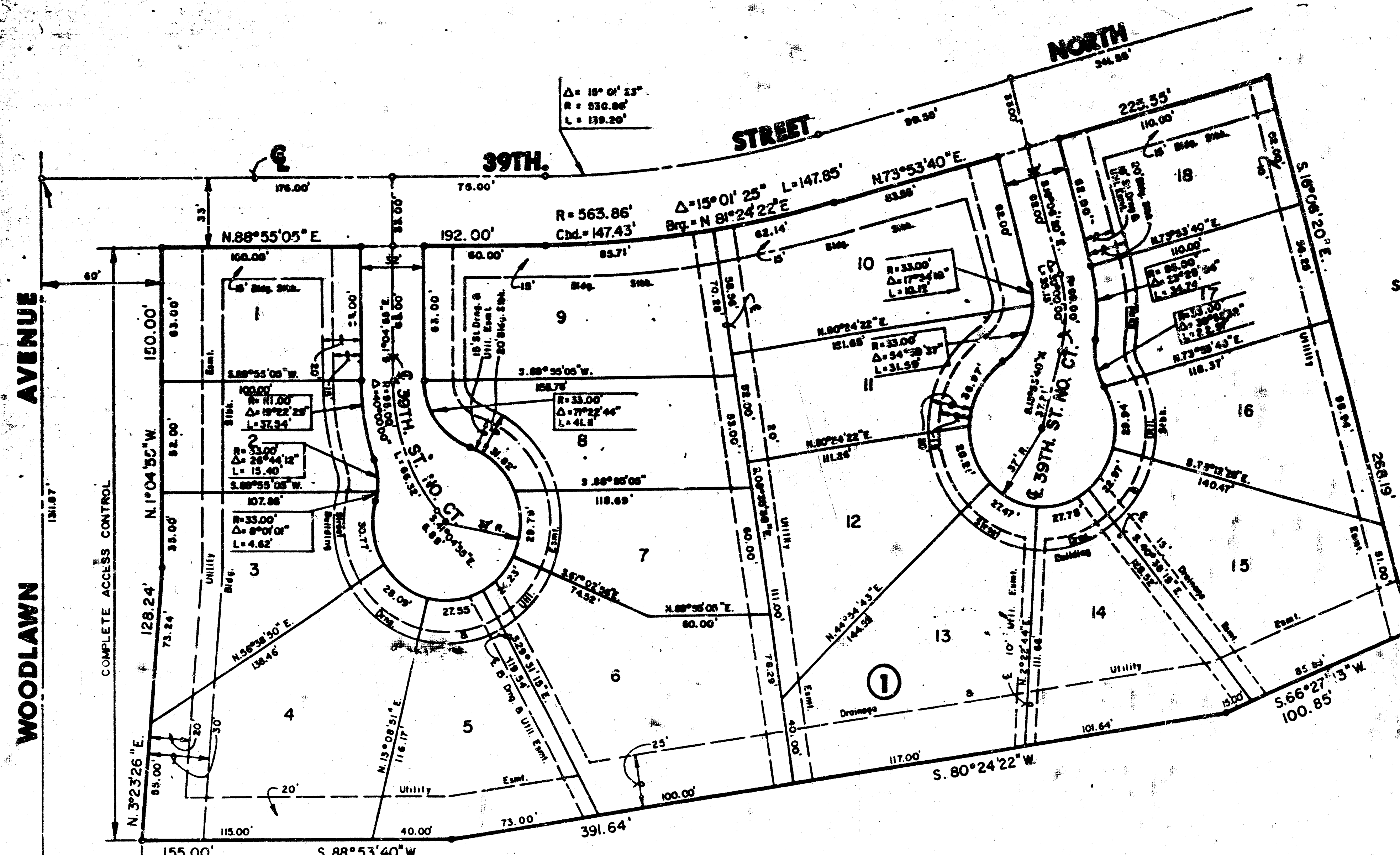
STATION	DIST.	AREA				VOLUME			
		CUT S.F.	L.F. S.F.	C.F. S.F.	M.F. S.F.	CUT C.Y.	FILL C.Y.	C.F. C.Y.	M.F. C.Y.
A	14.70	0.0	28.4	22.6	17.5	0.0	15.0	13.4	9.7
B	12.50	0.0	29.7	26.6	18.0	0.0	13.3	11.9	8.1
C	15.90	0.0	27.7	24.9	17.0	0.0	17.4	14.6	10.3
D	14.20	0.0	31.4	24.7	18.0	0.0	16.2	13.6	9.5
E	14.20	0.0	30.3	26.9	18.0	0.0	14.4	13.2	9.2
F	13.40	0.0	24.4	23.3	17.0	0.0	9.7	10.5	8.3
G	14.40	0.0	14.8	18.9	16.5				
CUL-DE-SAC	668.0	0.0	425.0	300.0	24.4	0.0	15.7	11.1	
45.14	28.20	28.3	0.0	0.0	0.0				
73.34	26.86	34.0	0.0	0.0	0.0	32.5	0.0	0.0	0.0
100.00	30.34	31.0	0.0	0.0	0.0	27.2	4.4	0.0	0.0
130.34	14.50	17.4	7.8	0.0	0.0	26.2	2.1	0.0	0.0
144.84		80.0	0.0	0.0	0.0				
PROJECT TOTAL =						142.3	92.5	92.9	66.2

Area = 139.4 sq ft
Average Cut = 657.9 cu. ft.
Average Fill = 724.8 cu. ft.



PC 18-10

FINAL PLAT OF
NORTHBROOK MEADOW 2ND. ADDITION
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



S.W. Cor. N.W. 1/4, S.W. 1/4
Sec. 30, T.26 S., R.2 E., 6th PM.

MIN. PAD ELEVATIONS (Minimum Opening)
LOTS 3, 4, 8, 15, BLOCK 1 - (180.6 CITY DATUM)
(1368.0 MSL)
LOT 16, BLOCK 1 - (181.0 CITY DATUM)
(1368.4 MSL)
LOTS 17 & 18, BLOCK 1 (181.6 CITY DATUM)
(1369.0 MSL)

BENCH MARK
"□" CUT ON N.W. COR. OF R.C.B. ON 39TH ST. NO.
AT S.E. COR. OF NORTHBROOK MEADOW
ELEV. = 183.45 CITY DATUM

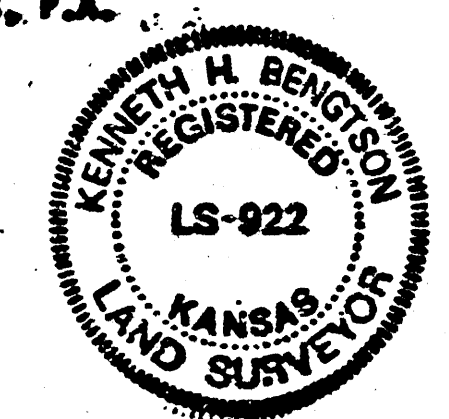
I, Kenneth H. Bengtson, a Civil Engineer and Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "NORTHBROOK MEADOW 2ND ADDITION", an addition to Wichita, Sedgwick County, Kansas, of Lot 1, Block 1, a block, and streets, the same being accurately set forth in the accompanying plat and described hereafter.

A replat of Lot 62, Block 1, NORTHBROOK ADDITION, an addition to Wichita, Sedgwick County, Kansas.

All lots, blocks, streets, easements and building setbacks located within the above described property are being vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 21st day of November, 1990.

Kenneth H. Bengtson, P.E., L.S. 922
W.H. Kansas Engineering Consultants, P.A.
3000 W. Rock Road, Building 9000
Wichita, KS 67226



Know all men by these presents that we the undersigned property owners of the land as above set forth in the Civil Engineers and Land Surveyors Certificate have caused the same to be surveyed and platted into lots, a block and streets the same to be known as NORTHBROOK MEADOW 2ND ADDITION, an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for construction and maintenance of public utilities, drainage, and streets are hereby granted. All abutting rights of access over and across the west line of Lots 1 through 4 inclusive, Block 1 are hereby granted to the City of Wichita. Minimum pad elevations are as indicated on the face of the plat.

PORTER AND PLUMER HOMES
a Kansas General Partnership
J.M. Porter Enterprises, Inc.,
Partner

Plumer Construction, Inc.,
Partner

By: *John E. Porter*
John E. Porter, President

By: *Keith E. Plumer*
Keith E. Plumer, President

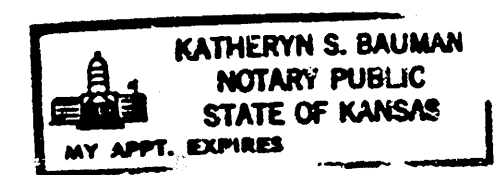
We are all the owners of said partnership

STATE OF KANSAS
SEDGWICK COUNTY

So it remembered that on this 21st day of October, 1990, before me a Notary Public in and for said State and County, came Keith E. Plumer, President of Plumer Construction, Inc., Partner, and John E. Porter, President of J. M. Porter Enterprises, Inc., Partner, being all of the partners of Porter and Plumer Homes, a partnership, on behalf of the partnership and on behalf of the corporations, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Debra J. Wilmore, Notary Public

My Appointment Expires: 1-24-91



This plat of "NORTHBROOK MEADOW 2ND ADDITION" has been submitted, issued and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 21st day of June, 1990.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Gregory J. Sullivan, Acting Chairman

Marvin S. Kruze, Secretary

This plat approved and all collections thereon hereby accepted by the City Council of the City of Wichita, Kansas, on the 21st day of November, 1990.

John E. Porter, Mayor

Pat Sullivan, Deputy City Clerk

Entered on transfer record this 26th day of December, 1990.

Howe Wright, County Clerk

STATE OF KANSAS
SEDGWICK COUNTY

This is to certify that this instrument was filed for record in the Register of Deeds office this 26th day of December, 1990.

Pat Sullivan, Register of Deeds

Ed Reed, Deputy

I, William L. Oliver, Jr., mortgagee on the above described property, do hereby consent to the plat of "NORTHBROOK MEADOW 2ND ADDITION".

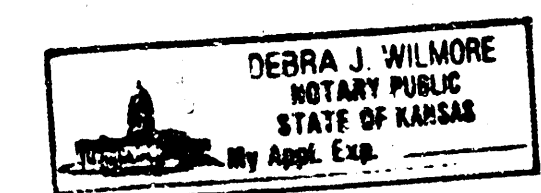
William L. Oliver, Jr.

STATE OF KANSAS
SEDGWICK COUNTY

So it remembered that on this 21st day of November, 1990, before me a Notary Public in and for said State and County, came William L. Oliver, Jr., to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year above written.

Debra J. Wilmore, Notary Public

My Appointment Expires: 7-19-93



20.00 ck

PC 18-10

6/6