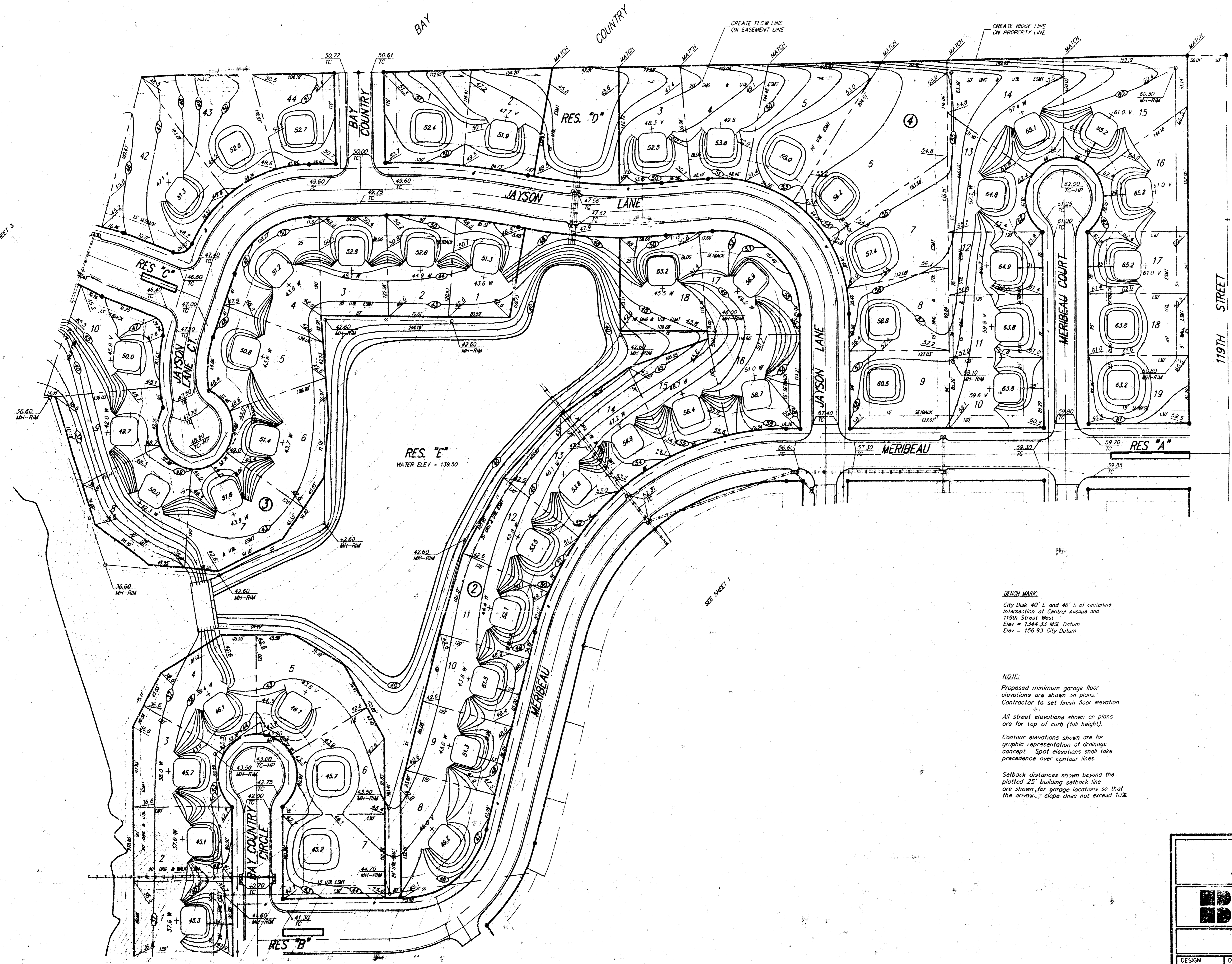




SEE SHEET J

SEE SHEET I



**BENCH MARK**  
 City Dusk 40' E and 46' S of centerline  
 Intersection of Central Avenue and  
 119th Street West  
 Elev = 1344.33 MSL Datum  
 Elev = 156.93 City Datum

**NOTE**  
 Proposed minimum garage floor  
 elevations are shown on plans.  
 Contractor to set finish floor elevation.  
 All street elevations shown on plans  
 are for top of curb (full height).

Contour elevations shown are for  
 graphic representation of drainage  
 concept. Spot elevations shall take  
 precedence over contour lines.  
 Setback distances shown beyond the  
 plotted 25' building setback line  
 are shown for garage locations so that  
 the driveway slope does not exceed 10%.

**MINIMUM BUILDING PAD ELEVATIONS  
 FOR LOWEST OPENING OF STRUCTURE**

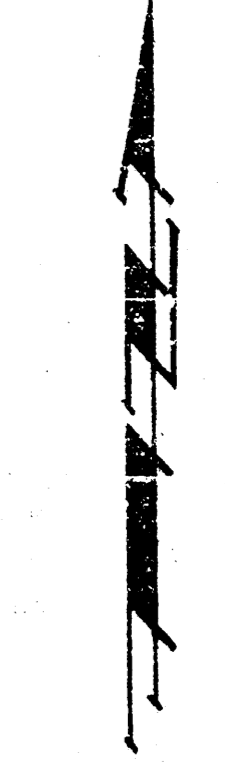
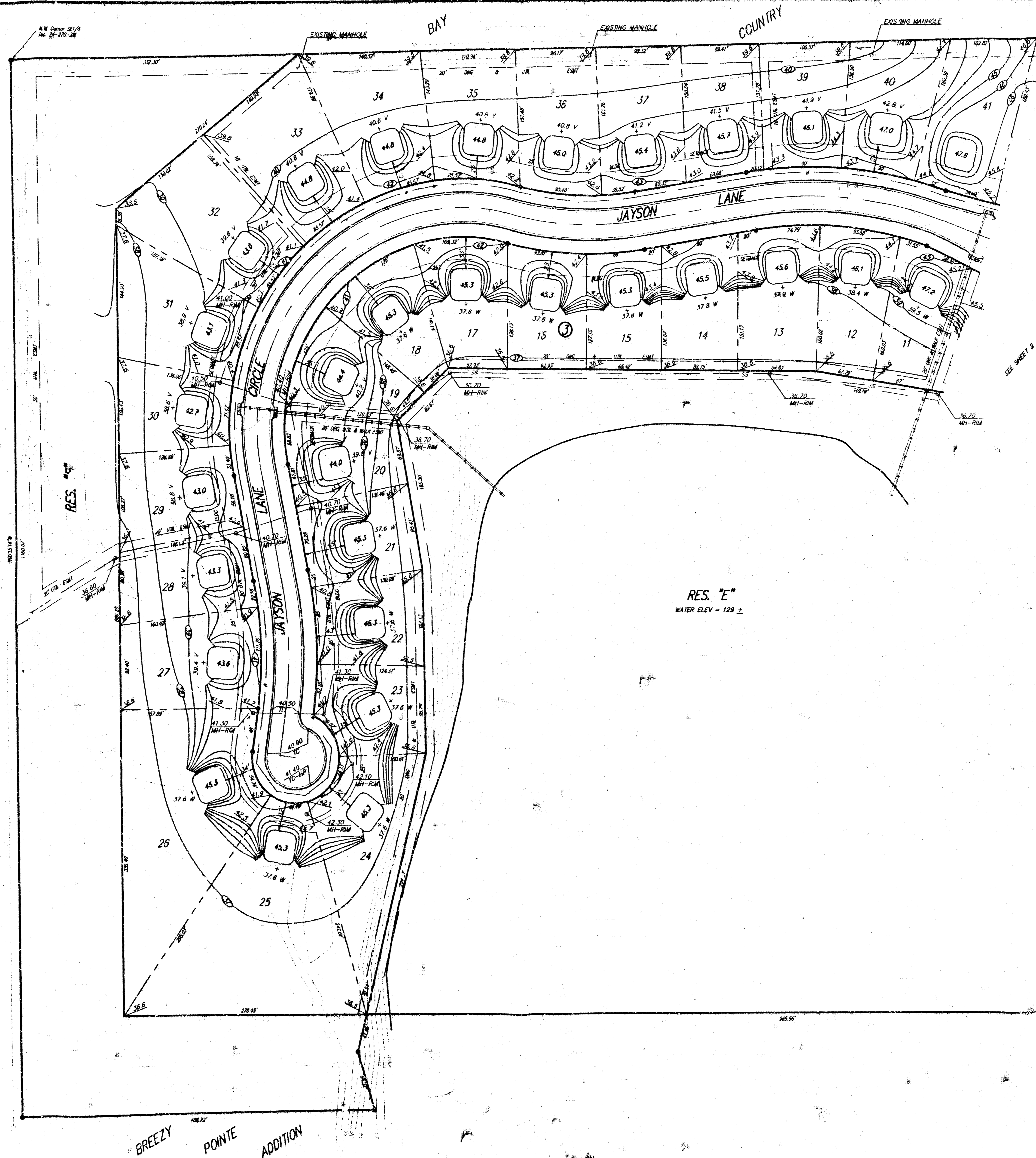
Lot & Block	City Datum	M.S.L.
1, 2, 3, 4 - Blk 2	137.6	132.5
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16	137.6	132.5
17, 18, 19, 20, 21, 22, 23, 24	137.6	132.5
25, 26, 27, 28 - Blk 3	138.6	133.6
29, 30, 31 - Blk 3	138.6	133.6
32 - Blk 3	138.6	133.7
33, 34, 35, 36, 37, 38, 39, 40	140.6	135.7
- Blk 3		
41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52	143.6	138.7
- Blk 3		
53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	146.6	141.7
- Blk 4		

**NOTE**  
 No building permits are to be issued for any lots with "BREEZY  
 POINT 2ND ADDITION" unless the lowest floor can be constructed  
 at or above the MFE or unless the City of Wichita has received a  
 letter of Map Revision from the Federal Emergency Management  
 Agency which waives the above buildings to be constructed at the  
 lowest opening as specified above.

**BREEZY POINTE 2ND ADDITION  
 LOT GRADING PLAN**

**BAUGHMAN COMPANY P. A.**  
 ENGINEERING & SURVEYING  
 315/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

DESIGN	DRAWN	APPROVED	DATE	SCALE	SHEET 2 OF 3
B.A.M.	KATE		1-13-93	1" = 60'	



SCALE: 1" = 60'  
= 1/8" IN

**BENCH MARK**  
City Dist 40' E and 45' S of centerline  
Intersection of Central Avenue and  
1730<sup>th</sup> Street West  
Elev = 1564.33 MSL Datum  
Elev = 156.93 City Datum

**NOTE**  
Proposed minimum garage floor  
elevations are shown on plans.  
Contractor to set finish floor elevation.  
All street elevations shown on plans  
are for top of curb (full height).  
Contour elevations shown are for  
graphic representation of drainage  
concept. Spot elevations shall take  
precedence over contour lines.  
Setback distances shown beyond the  
platted 25' building setback line  
are shown for garage locations so that  
the driveway slope does not exceed 10%.

**MINIMUM GARAGE FLOOR ELEVATIONS  
FOR CONCEPT DRAINAGE STRUCTURE**

Lot Block	City Datum	Elevation	# SL
1, 2, 3, 4 - Blk 2	157.6	1525	
5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28 - Blk 3	158.6	1528	
29, 30, 31 - Blk 4	158.5	1527	
32 - Blk 1	158.6	1528	
33, 34, 35, 36, 37, 38, 39, 40 - Blk 5	163.6	1531	
41, 42, 43, 44, 45, 46, 47 - Blk 6	166.6	1534	

**NOTE**  
No building permits are to be issued for any lots within "BREEZY  
POINTE AND ACCENT" unless the lowest floor can be constructed  
at or above the BFE or unless the City of Wichita has received a  
letter of approval from The Federal Emergency Management  
Agency which will allow buildings to be constructed at the  
lowest opening as specified above.

**BREEZY POINTE 2ND ADDITION  
LOT GRADING PLAN**

**BAUGHMAN COMPANY P. A.**  
ENGINEERING & SURVEYING  
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: \_\_\_\_\_ SHEET 3 OF 3

DESIGN B.A.M.	DRAWN K.A.T.E.	APPROVED	DATE 1-13-93	SCALE 1" = 60'
------------------	-------------------	----------	-----------------	-------------------

State of Kansas) SS We, Baughman Company, P.A., Surveyors in  
Sedgwick County) and state do hereby certify that we have surveyed  
and plotted "BREEZY POINTE 2ND ADDITION", Wichita, Sedgwick County,  
Kansas and that the accompanying plot is a true and correct exhibit  
of the property surveyed, described as follows: That part of the  
SE 1/4 of Sec. 24, Twp 27-S, R-2-W of the 6th P.M., Sedgwick  
County, Kansas, described as commencing at the S.E. Corner thereof;  
thence N00°00'12"W, along the east line of said SE 1/4, 1553.13 feet  
for a place of beginning; thence S89°59'48"W, 449.55 feet; thence  
S00°00'12"E, 279.23 feet; thence S89°59'48"W, 505.54 feet;  
thence N38°14'29"W, 205.40 feet; thence N00°00'12"W, 100 feet;  
thence S89°59'48"W, 130 feet; thence N00°00'12"W, 12.60 feet;  
thence S89°59'48"W, 965.55 feet; thence S14°01'32"W, 41.95 feet;  
thence S16°29'35"E, 66.52 feet; thence S89°06'41"W, 406.72 feet  
to the west line of said SE 1/4; thence N00°15'14"W, along the west  
line of said SE 1/4, 885.88 feet to the N.W. Corner of said SE 1/4;  
thence S89°06'41"E, along the north line of said SE 1/4, 2582.15 feet  
to the N.E. Corner of said SE 1/4; thence S00°00'12"E, along the  
east line of said SE 1/4, 1083.16 feet to the place of beginning.  
Existing public easements and dedications being vacated by  
virtue of K.S.A. 12-512(b).

Baughman Company, P.A.

Date \_\_\_\_\_ Surveyor

Mark A. Savoy

Know all men by these presents that we, the  
undersigned, have the land described in the surveyors certificate to be  
plotted into Lots, Blocks, Streets and Reserves to be known as "BREEZY  
POINTE 2ND ADDITION", Wichita, Sedgwick County, Kansas. Reserves "A"  
and "B" are hereby reserved for entry monuments, landscaping and  
for street and utility purposes. Reserves "C", "D", and "E" are hereby  
reserved for roadway and drainage purposes, landscaping and sidewalks.  
Reserves "A", "B", "C", "D", and "E" shall be owned and maintained by  
the homeowners association for the addition. The utility easements  
are hereby granted for the construction and maintenance of all public  
utilities. The drainage easements are hereby granted for drainage  
purposes. The drainage and utility easements are hereby granted as  
indicated for drainage purposes and construction and maintenance of  
all public utilities. The streets are hereby dedicated to and for the  
use of the public. All abutters rights of access to or from 119th  
Street over and across the east line Lots 1, 2, 3, 4, 5, and 6, Blk 1,  
and Lots 15, 16, 17, 18, and 19, Blk 4, and hereby granted to the  
City of Wichita, Kansas. Minimum Building Paa Elevations for the  
lowest opening to the structures are as shown on the accompanying  
plat.

Last Creek, Inc.

Joy W. Russell, President

State of Kansas) SS The foregoing instrument acknowledged be-  
fore me, this \_\_\_\_\_ day of \_\_\_\_\_ 1992, by Joy W.  
Russell, President of Last Creek, Inc., on behalf of the corporation.

My App't. Exp. \_\_\_\_\_ Notary Public

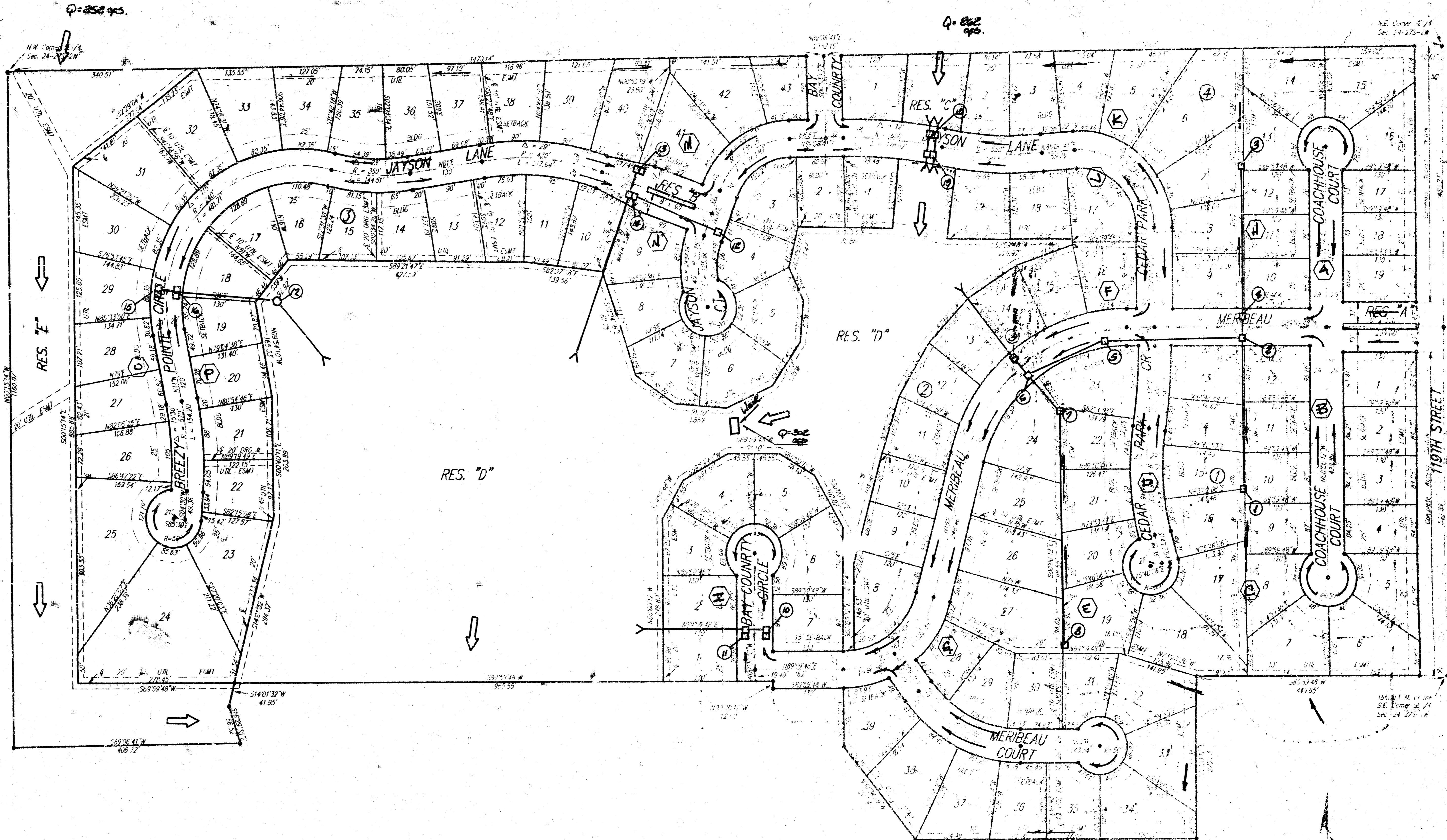
We, the undersigned, holders of a mortgage  
on the above described property do hereby consent to this plat of  
"BREEZY POINTE 2ND ADDITION", Wichita, Sedgwick County, Kansas.

1st. National Bank in Wichita

Roger E. Eastwood, Vice-President

State of Kansas) SS The foregoing instrument acknowledged be-  
fore me, this \_\_\_\_\_ day of \_\_\_\_\_ 1992, by Roger E.  
Eastwood, Vice-President of 1st National Bank in Wichita, on behalf  
of the corporation.

My App't. Exp. \_\_\_\_\_ Notary Public



This plat of "BREEZY POINTE 2ND ADDITION",  
Wichita, Sedgwick County, Kansas has been submitted to and approved  
by the Wichita-Sedgwick County Metropolitan Area Planning Com-  
mission.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_ 1992.  
Wichita-Sedgwick County Metropolitan Area Planning Commission

Chairman  
Christopher J. Goebel  
Secretary  
Marvin S. Krowl

This plat approved and all dedications  
shown hereon, accepted by the City Council of the City of Wichita,  
Kansas, this \_\_\_\_\_ day of \_\_\_\_\_ 1992.

Mayor  
Bob Knight  
Deputy City Clerk  
Pat Burnett

Entered on transfer record this \_\_\_\_\_ day  
of \_\_\_\_\_ 1992.  
Eon Wright, County Clerk

State of Kansas) SS This is to certify that this plat has been  
Sedgwick County) filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day  
of \_\_\_\_\_ 1992, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., and is duly re-  
corded.

Register of Deeds  
Pat Kettler  
Clerk  
Ed Pesu

# BREEZY POINTE 2ND ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

## DRAINAGE PLAN