

DRAINAGE PLAN  
SKETCH PLAT  
DONALD CARY ADDITION

GRADE LOTS TO DRAIN TO STREET  
AS SHOWN BY ARROWS.

FOR DONALD E. CARY

LOWELL D. HIGH, L.S.  
MAY 22, 1986

BM ELLY 1350 22 - CITY STANDARD DISC 4026  
30' S OF THE SW COR.  
NW 1/4 SEC 9-27-1W.

DONALD CARY ADDITION  
(Drainage)

WILLIAM L. KORBZA, L.S.  
JOHN E. LUNDELADE, L.S.  
H. BRINT WOOTEN, P.E.  
**BAUGHMAN COMPANY, P.A.**  
SURVEYING & ENGINEERING  
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

September 1, 1987

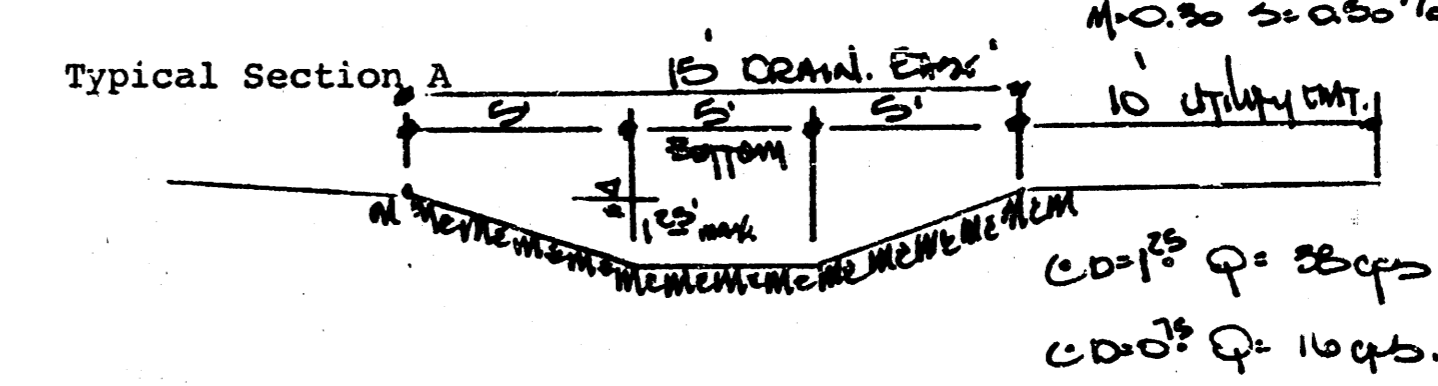
DRAINAGE REPORT AND PLAN FOR  
DONALD CARY ADDITION.  
WICHITA, KANSAS.

The 3 lot plat is proposed to be residential development. The lots will drain north to 19th St. No. as indicated on the plan. 19th St. No. is to be paved soon and will drain to the east when constructed to existing storm sewers.

Off-site areas to the south of this plat drain presently east and then north to 19th St. as indicated on the exhibit sketch of the area. Storm water runoff drains along the rear lot lines of the developed lots to the north from the east areas also. The total drainage area is approximately 4.2 acres in size. Assuming a runoff factor of 0.5 for all of these areas the maximum expected storm water discharge to be generated would be 15.5 CFS.

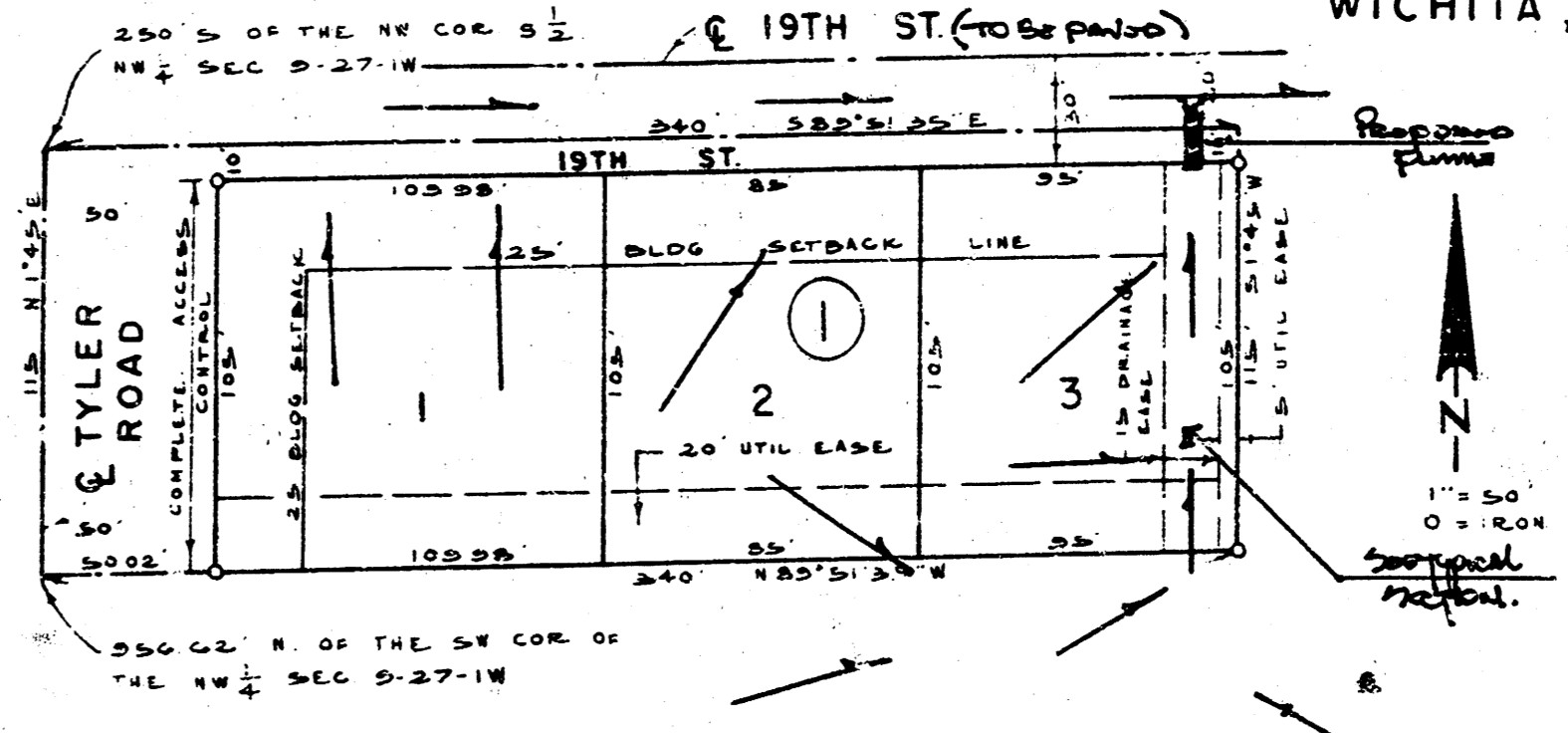
A proposed swale or channel as indicated in section A across the east side of Lot 3 within a 15' drainage easement will sufficiently convey the maximum discharge resulting from this area to the south of the proposed plat.

The stormwater runoff should be conveyed to the street from the property line thru a 3' concrete flume in order to control erosion within the parking area of the street right of way. The appropriate grade transition should be taken up with the swale to match the entrance flow elevation at the flume.



A 9" deep section ditch swale with a 5' bottom would be adequate to convey the necessary runoff, however a 15" section ditch is preferred with a transition at the flume entrance at the south line of 19th St. Grades will need to be established at the time of development of Lot 3 in order to implement these drainage improvements.

DRAINAGE PLAN  
DONALD CARY ADDITION  
WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas, County of Sedgwick, SS.  
I, Lowell D. High, Land Surveyor in said State and County do hereby certify that I have surveyed and platted "DONALD CARY ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of said survey described as follows: Beginning at a point on the west line of the S 1/2 of the NW 1/4 of Section 9, T27N, R1W of the 6th P.M., Sedgwick County, Kansas, 250 feet south of the NW corner of said S 1/2 of said NW 1/4; thence south on said west line, 115 feet; thence east parallel to the north line of said S 1/2 of said NW 1/4, 340 feet; thence north 115 feet; thence west 340 feet to the point of beginning.

Know all men by these presents that we, Donald E. Cary and Katherine L. Cary, husband and wife and Douglas E. Cary and Margaret B. Cary, husband and wife, have caused the land described in the Land Surveyor's certificate to be platted into lots, a block and streets to be known as "DONALD CARY ADDITION", Wichita, Sedgwick County, Kansas. Utility easements as indicated on the plat are hereby granted for the construction and maintenance of all public utilities. The streets are hereby dedicated to and for the use of the public.

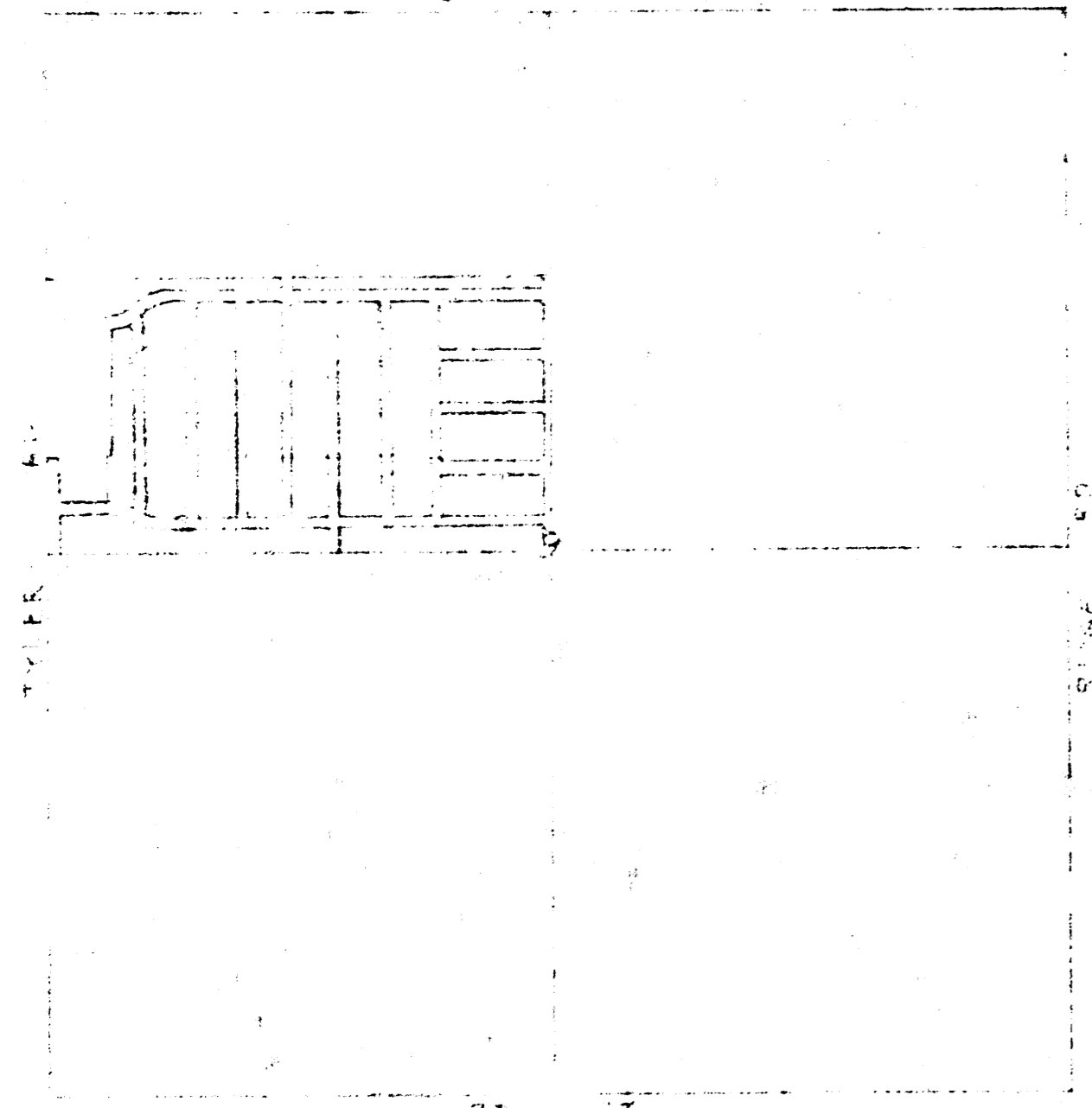
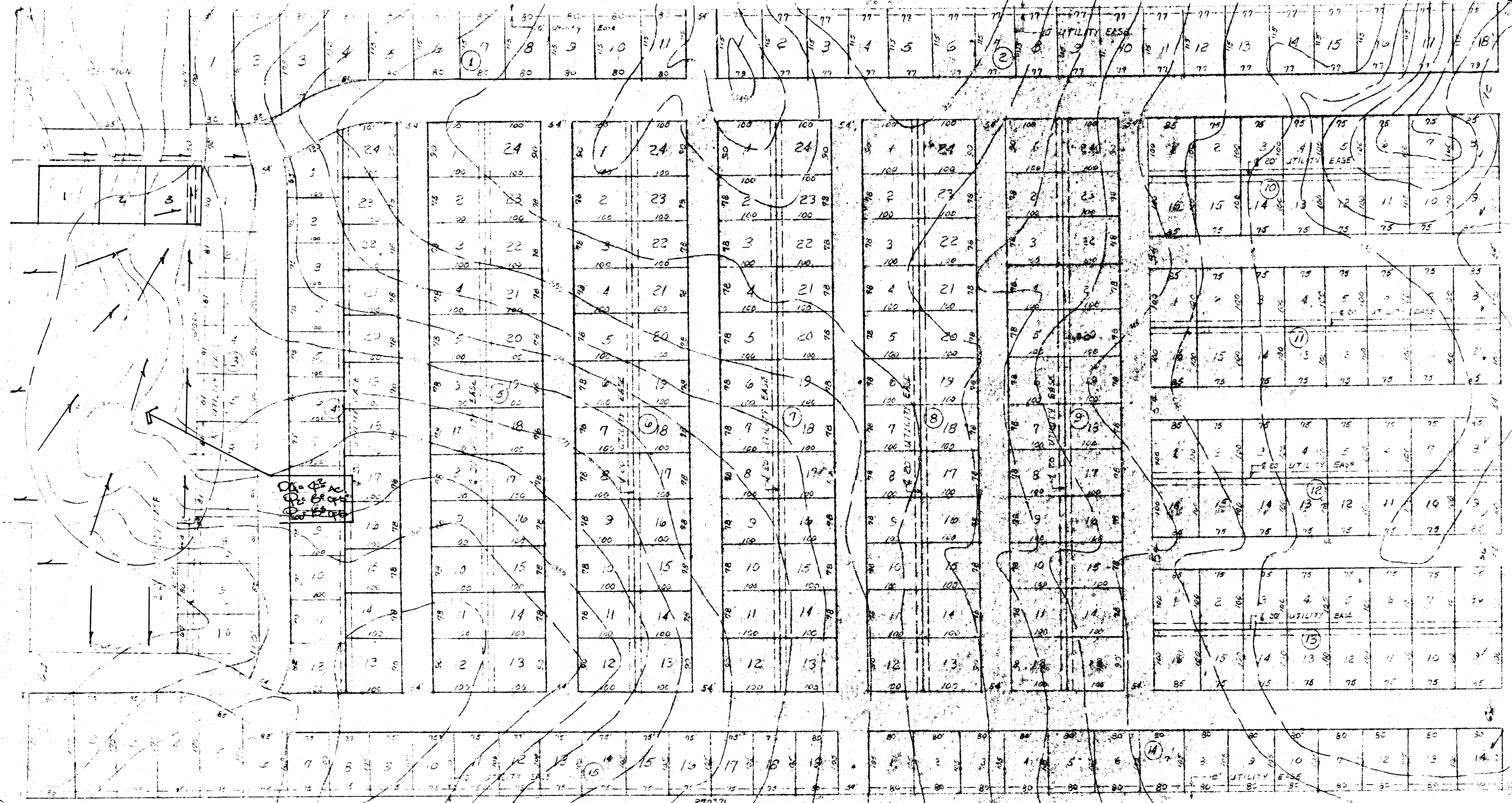
All abutter's rights of access to or from Tyler Road over and across the west

State of Kansas, County of Sedgwick,  
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, at \_\_\_\_\_ of the City of Wichita, a Kansas corporation, on \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

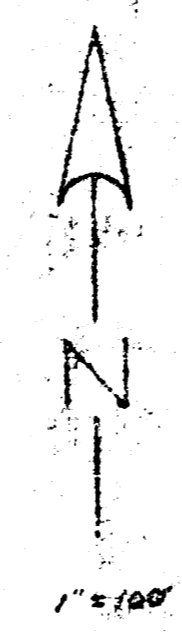
This plat of "DONALD CARY ADDITION" submitted to and approved by the Wichita Planning Commission, Wichita, Kansas.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

This plat approved and all dedicated City Commissioners of the City of Wichita

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1/2" = 1' LOT SIZE 1/8" X 100'  
 TYPICAL CORNER 1/4" = 100'  
 BOUNDARY MARKS JAN 2, 1924  
 1" = 100' ELEV. 228.5  
 CITY STANDARD 10" = 100'  
 1/4" CORNER 1/4" = 100'



PRELIMINARY PLAT  
 NESTLINK VILLAGE 1/8" = 100'

FOR: EXBOW INVESTMENT, INC.  
 SUBMITTED: HOWARD MURRAY

R.D. TAYLOR, P.E.  
 SEPTEMBER 1951

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