

LOT GRADING PLAN EQUESTRIAN ESTATES

Developer: John Greenstreet
J.D.G., LLC
12221 E. Central
Wichita, KS 67206

Engineer: Poe and Associates of Kansas, Inc.
5940 E. Central
Wichita, KS 67208

An Addition to Wichita - Sedgwick County, Kansas
(Associated Zone Case PUD 2000-0091)

DATE: JULY 13, 2001
Revised: JULY 31, 2002
Revised: April, 14, 2003
Revised: January, 5, 2004

As Built Elevations:
Handwritten elevations are "As Built" elevations as surveyed for the sanitary sewer construction. Builders should check "As Built" elevations listed and always provide for a minimum of 2% slope away from the rear of a home to the lowest rear lot corner. Additionally, 1% slope should be provided along the rear easement from lot line to lot line. Any fills or cuts in the rear easements by Builders shall be done in a way that will not interfere with the overall drainage scheme.

SCALE 1"=100'

LEGEND

NW F32.4 G32.5	INDICATES "As Built" ELEVATION (Handwritten Top of Footing Elevation) (Indicates corner from the ground)
V06.7 F30.7 G30.2	INDICATES "As Built" ELEVATION (Handwritten Ground Elevation) (Indicates Top of Foundation Wall Elevation) (Indicates corner from the ground)
B07.2 F35.2 G34.7	INDICATES "As Built" ELEVATION (Handwritten Basement Floor Elevation) (Indicates Top of Foundation Wall Elevation) (Indicates corner from the ground)

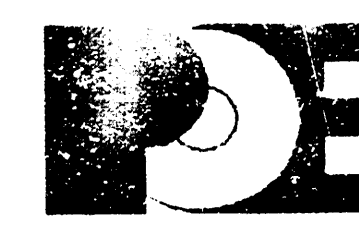
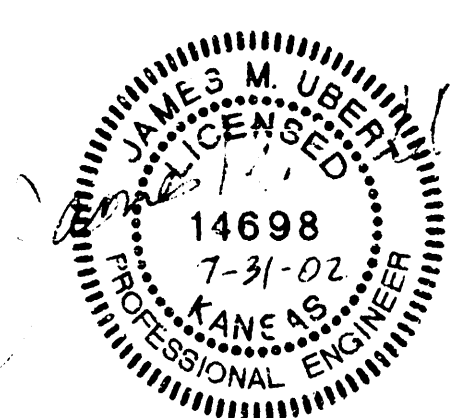
BENCHMARKS

1. "T" Put on South Side of Rte 60
26' South & 44' West of N.A. Corner
Elev. 1311.00
2. Red Round Spike in River Road Right of Way
26' South & 44' East of W. 1/4 Corner
Elev. 1344.00

NOTES

1. All "As Built" Elevations to be "As Built"
2. Front Lot Corner Elevations are shown in sheet
Front Lot Corner Elevations are 0.5 feet above Top
of Curb Elevation
Top of Curb Elevations are not shown
3. Garage Floor Elevations are set 3' above highest Front
Lot Corner Elevation (Typical)
4. This plan was prepared for drainage purposes only.
The existing ground line may have been changed
in some areas. When this addition is made or changes
in these areas may not have been made with
engineered this, Builders may need to make
foundation advice from a geotechnical engineer
prior to construction.

**APPROVED
DRAINAGE PLAN**



POE & ASSOCIATES OF KANSAS, INC.
5940 E. Central Suite 200 • Wichita, KS 67208-4242
Phone 316-685-4114 • FAX 316-685-4444

EQUESTRIAN ESTATES
REVISED 5 JAN 2004

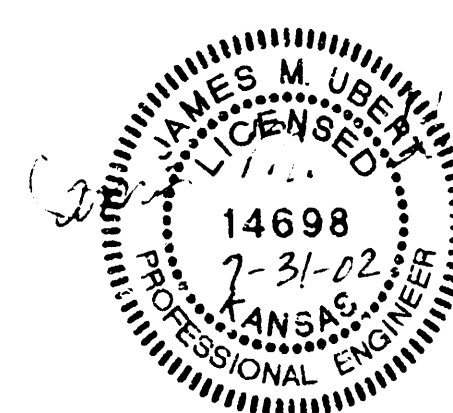
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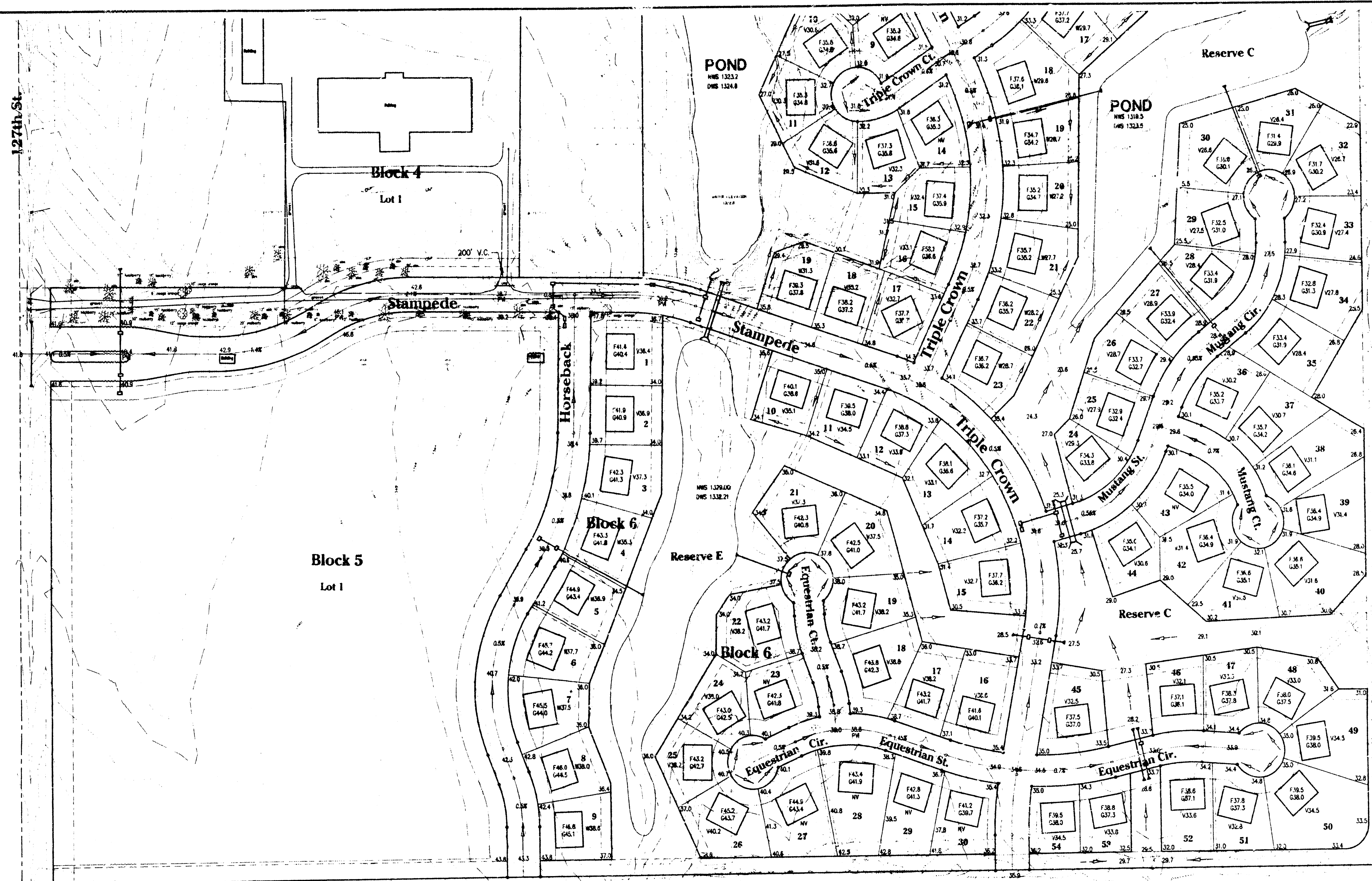
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(Associated Zone Case PUD 2000-0001)



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5940 E. Central Suite 200 ■ Wichita, KS 67208-4242
Phone 316/685-4114 ■ FAX 316/685-4444

Sheet 2 of 2



SCALE 1"=100'

LEGEND

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BENCHMARKS

1. 100' Bench mark located at Reserve C.
2. 100' Bench mark located at Reserve C.
3. 100' Bench mark located at Reserve C.

NOTES

1. All elevations are in feet above sea level.
2. Elevation of ground elevations are shown in feet.
3. Elevation of proposed elevations are shown in feet.
4. Elevation of proposed elevations are shown in feet.