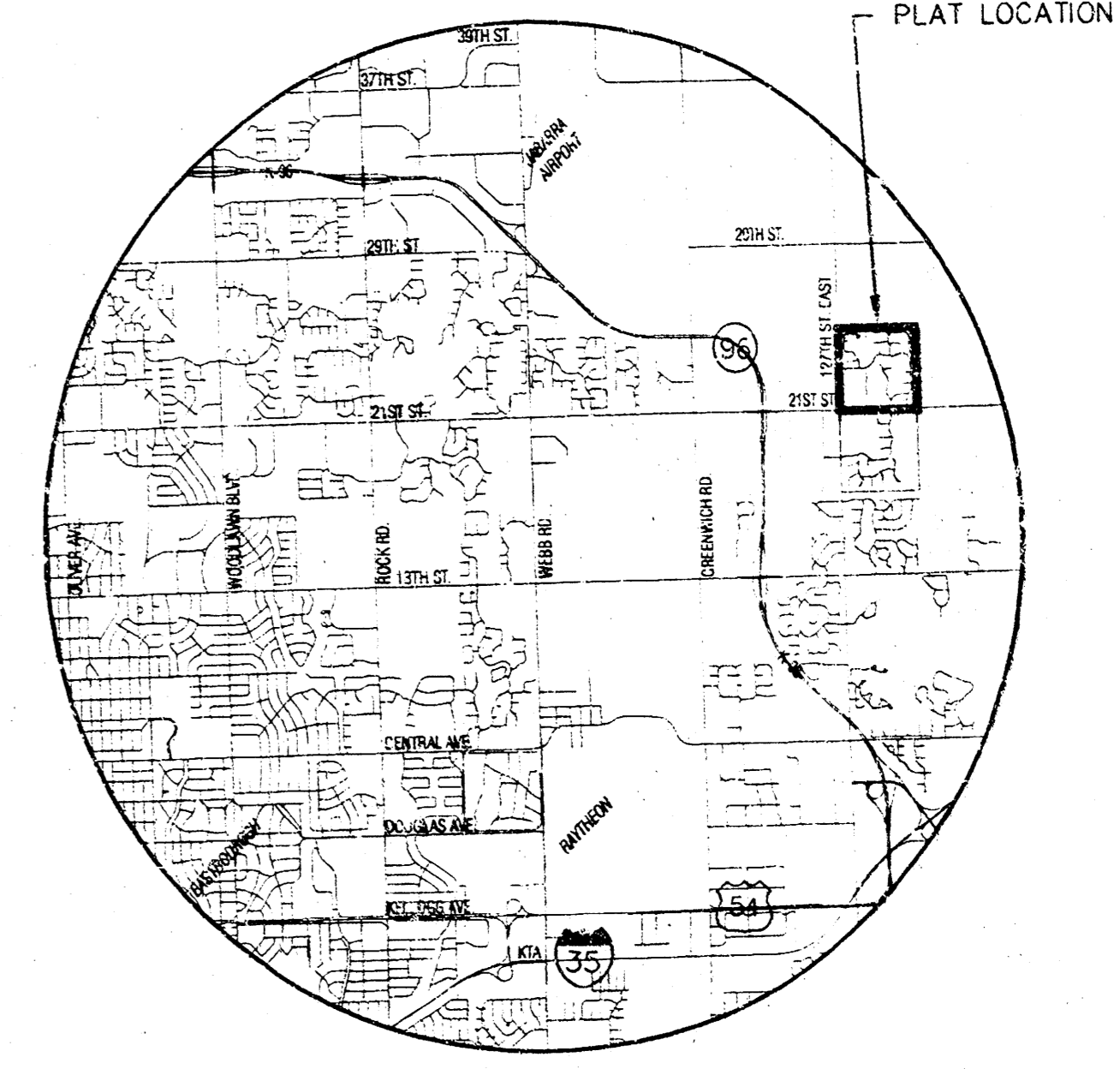


**NOTES**

- ZONING: Existing Single Family "SF-20"  
Proposed Single Family "SF-5"
- RESERVES platted for:
  - "A," "B," "D," "E," "F," "K," "L," "M" - monuments, landscaping, irrigation, and open space.
  - "A," & "B" - drainage in designated locations
  - "C," "G," "H" - lakes, floodway, and drainage in designated locations, club house, pool, playground, sidewalks, landscaping, irrigation, berms, monuments, and open space.
  - "I" - drainage, sidewalks, landscaping, irrigation, berms, monuments, and open space.
  - Reserve "N" & "O" - private streets, drainage, utilities, monuments and open space.
- Lot minimum pad elevations as indicated on the DRAINAGE PLAN, provided at the time of FINAL FLATTING.

**BENCHMARK**

- BM#1 50' IN SOUTH LEG OF "H" POLE HIGH LINE STRUCTURE, 75' NORTH & 80' EAST OF C 127TH STREET & CENTERLINE BURLINGTON NORTHERN RAILROAD. ELEV. = 1365.37'
- BM#2 Top of iron at SW. Cor., SW. 1/4, Sec. 2, T27S, R2E, (127th St. E. & 21st St. N.). ELEV. = 198.01 (CITY DATUM) 1385.41 NGVD



**VICINITY MAP**

MINIMUM PAD ELEVATIONS (LOWEST OPENINGS)				MINIMUM PAD ELEVATIONS (LOWEST OPENINGS)			
LOT	BLOCK	ELEVATION (CITY DATUM)	ELEVATION (USGS)	LOT	BLOCK	ELEVATION (CITY DATUM)	ELEVATION (USGS)
8	2	175.85	1363.25	14	6	170.30	1357.70
9	2	175.60	1363.00	15	6	170.90	1358.30
10	2	174.70	1362.10	16	6	170.90	1358.30
11	2	174.35	1361.75	17	6	170.30	1357.70
12	2	174.10	1361.50	18	6	170.30	1357.70
21	2	173.60	1361.00	19	6	170.30	1357.70
22	2	173.60	1361.00	20	6	170.30	1357.70
23	2	173.60	1361.00	21	6	170.30	1357.70
24	2	173.60	1361.00	22	6	170.30	1357.70
25	2	173.60	1361.00	23	6	170.30	1357.70
26	2	173.60	1361.00	24	6	169.70	1357.10
27	2	173.60	1361.00	25	6	169.70	1357.10
28	2	173.60	1361.00	26	6	169.70	1357.10
38	2	173.00	1360.50	27	6	169.70	1357.10
39	2	173.00	1360.50	28	6	169.70	1357.10
40	2	173.00	1360.50	29	6	174.10	1361.50
53	2	174.80	1362.00	30	6	174.10	1361.50
54	2	175.85	1363.25	31	6	174.60	1362.00
17	5	166.60	1354.00	32	6	174.10	1361.50
18	5	167.10	1354.50	43	6	177.60	1365.00
19	5	168.10	1355.50	44	6	176.60	1364.00
7	6	167.85	1355.25	45	6	176.10	1363.50
8	6	170.30	1357.70	46	6	175.10	1362.50
9	6	170.30	1357.70	47	6	174.10	1361.50
10	6	170.30	1357.70	48	6	174.10	1361.50
11	6	170.30	1357.70	49	6	174.10	1361.50
12	6	170.30	1357.70	50	6	174.10	1361.50
13	6	170.30	1357.70	54	6	169.70	1357.10
				55	6	169.70	1357.10

**LEGEND**

- CONIFEROUS TREE & DIAMETER
- DECIDUOUS TREE & DIAMETER
- SIGN
- BUSH
- EDGE OF TREES
- FENCE
- SANITARY SEWER JUNCTION
- GAS METER
- POLE
- GATE
- WALL
- JOIST POLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- POWER POLE AND JOIST ANCHOR
- TELEPHONE RISER
- INLET
- STORM SEWER PIPE
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- TELEPHONE LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND FIBER OPTIC CABLE
- HIGH PRESSURE GAS PIPELINE
- SECTION CORNER
- PROPERTY CORNER FOUND
- BENCHMARK

**DRAINAGE AND UTILITY PLAN  
HAWTHORNE ADDITION**



SCALE: 1" = 100'

