

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES

LOT	BLOCK	CITY DATUM ELEVATION
31-48	A	138.0
34-48	C	138.0

BENCHMARK:
 City of Wichita Benchmark Disc - SW Corner of the Intersection of Powers & Howe Rd.
 44' South of centerline
 48.8' West of centerline
 12' East of line
 65' SW of Sec. corner from Elev. = 135.12 City Datum 132.52 NGVD29

NOTES:
 Proposed Top of Foundation Elevations Are Shown on Plans. Contractor to Set Finished Floor Elevations.
 All Street Elevations Shown on Plans Are for Top of Curb (Full-Height).

This Grading Plan is Designed with View-Outs. Elevations Shown at Rear of House (XXX.X V.O.).

Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.
 * May Require Extra Deep Foundation
 ** No Basement Service Available

⊙ = Lot Split Designation
 Lot Split Legal Descriptions provided on page 1 of 2 of the Grading Plan.

SOUTHERN RIDGE ADDITION
GRADING PLAN
 WICHITA, KANSAS

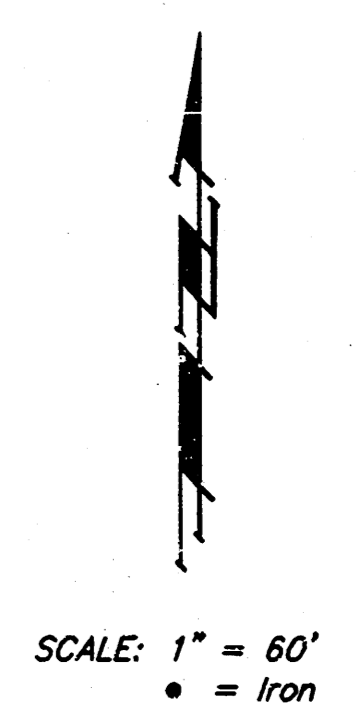
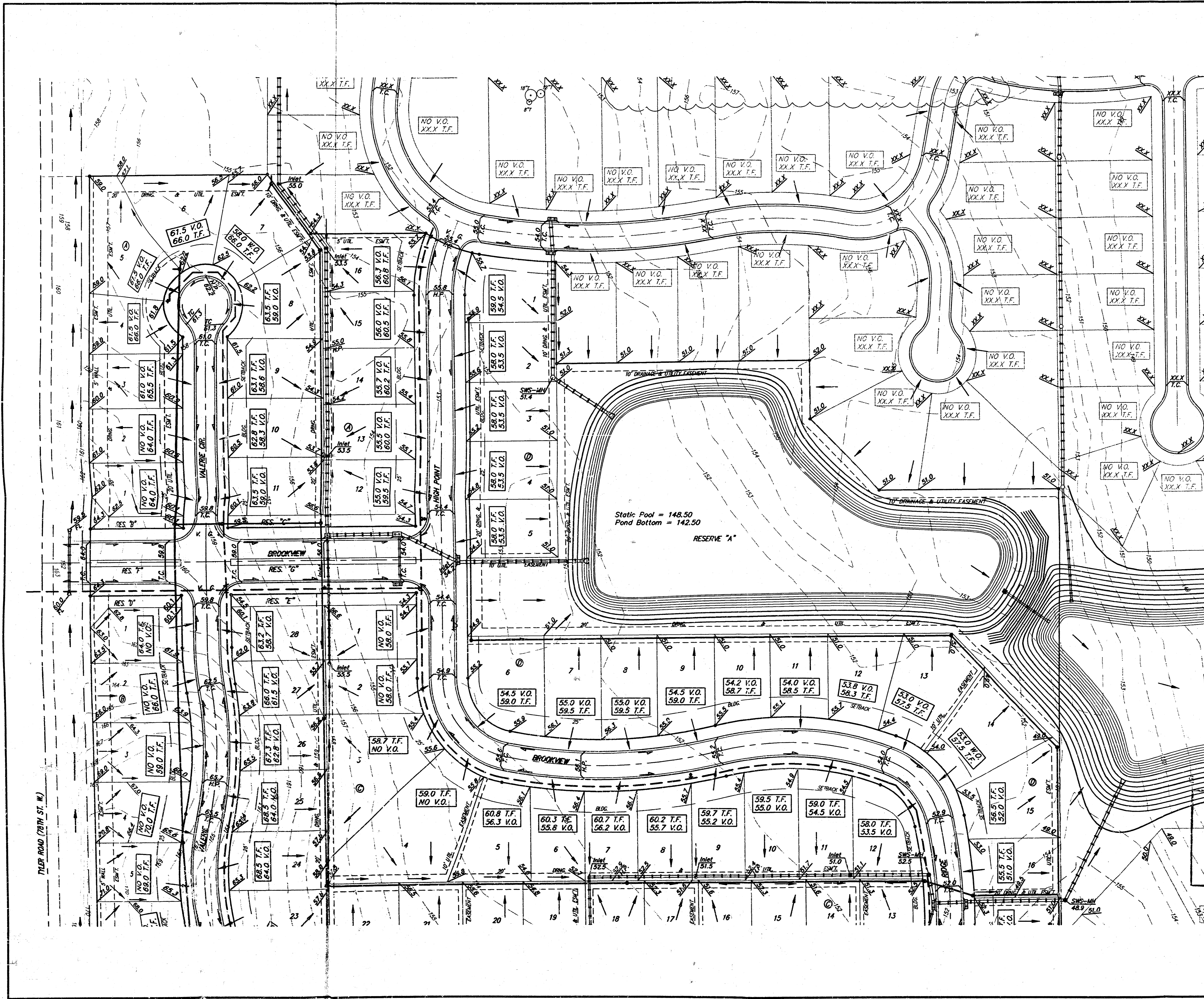
BAUGHMAN COMPANY P.A.
 ENGINEERING, SURVEYING, & PLANNING

315-282-7271 • 315 ELLIS • WICHITA, KANSAS 67211

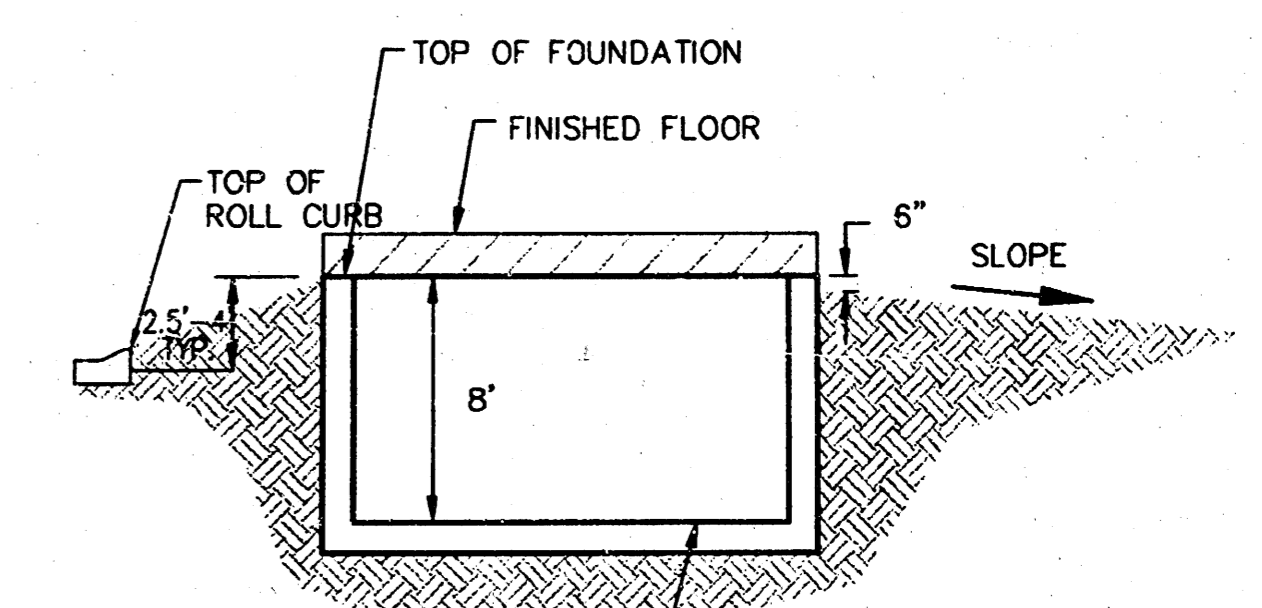
DESIGN	DRAWN	APPROVED	DATE	SCALE
BLG/AEG	BLG/SMD		01-02-03	NOTED

PROJECT NUMBER: _____ SHEET: **2** OF **2**

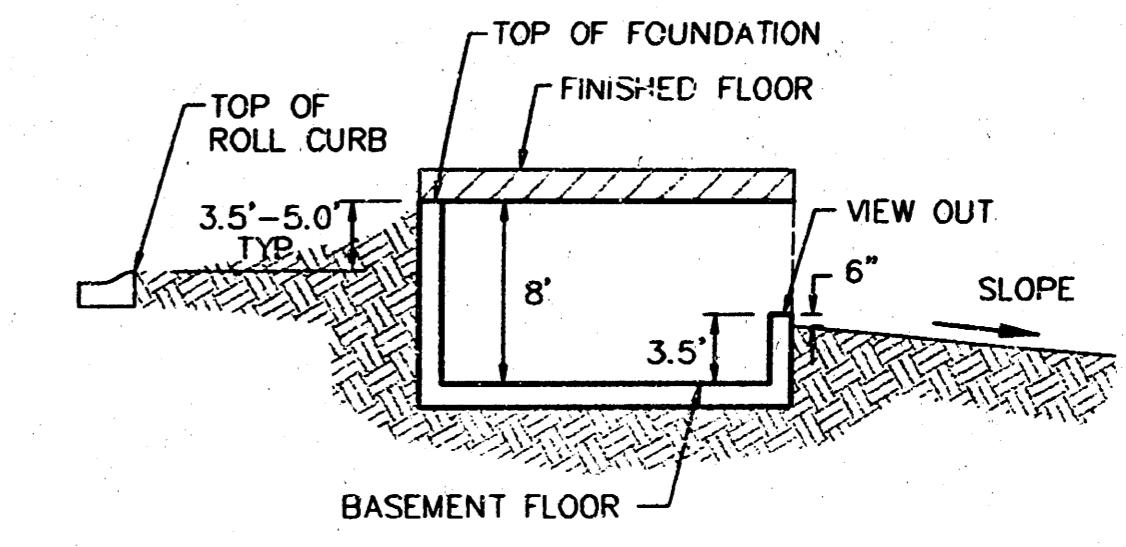
Revised 9/23/03 by AEG, Lot 31, Block C
 Revised 7/23/03 by SMD PER NEW, pad elevations
 Revised 6/20/03 by SMD PER NEW, pad elevations
 Revised 6/4/03 by SMD PER NEW, pad elevations
 Revised 10/31/03 by AEG, Legal Desc A-1, GG-LL
 Revised 5/22/03 by BLG, lot split legals
 Revised 5/6/03 by AEG per NEW
 Revised 16 December 2002 by AEG/BLG
 Revised 11 November 2002



BENCHMARK:
CITY OF WICHITA BENCHMARK DISC -
SE COR. OF THE INTERSECTION OF TYLER RD. &
29TH STREET NORTH.
32.30' S. OF C.
30.00' E. OF E.
55.50' E. OF P.P.
9.20' SE. OF P.P.
43.20' SE. OF SEC. COR. IRON
ELEV. = 178.04 CITY DATUM
1363.44 NGVD29



TYPICAL NON-VIEW OUT
NO SCALE



TYPICAL VIEW OUT
NO SCALE

- Notes:
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Contractor to Set Finished Floor Elevations.
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Elevations Shown at Rear of House (XXX V.O.)
Lot dimensions have been omitted on this plan, refer to the recorded plat for this information.

**APPROVED
DRAINAGE PLAN**

9/23/03 Revised back lot grades AEG
17 June 03 revised house elev by SMD per NBW
Bk A: Lots 1-6, 11-16
Bk B: Lots 1-16, 18-34, 37
Bk C: Lots 4-21, 23-27
Bk D: Lots 6-10, 12-15, 18-19
Bk E: Lots 1-3

TYLER'S LANDING ADDITION
MASTER GRADING PLAN
CITY OF WICHITA, KANSAS

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PROJECT NUMBER: _____ SHEET: **1** OF **2**

DESIGN: SCL DRAWN: SCL APPROVED: NBW DATE: 11/04/02 SCALE: 1"=60'