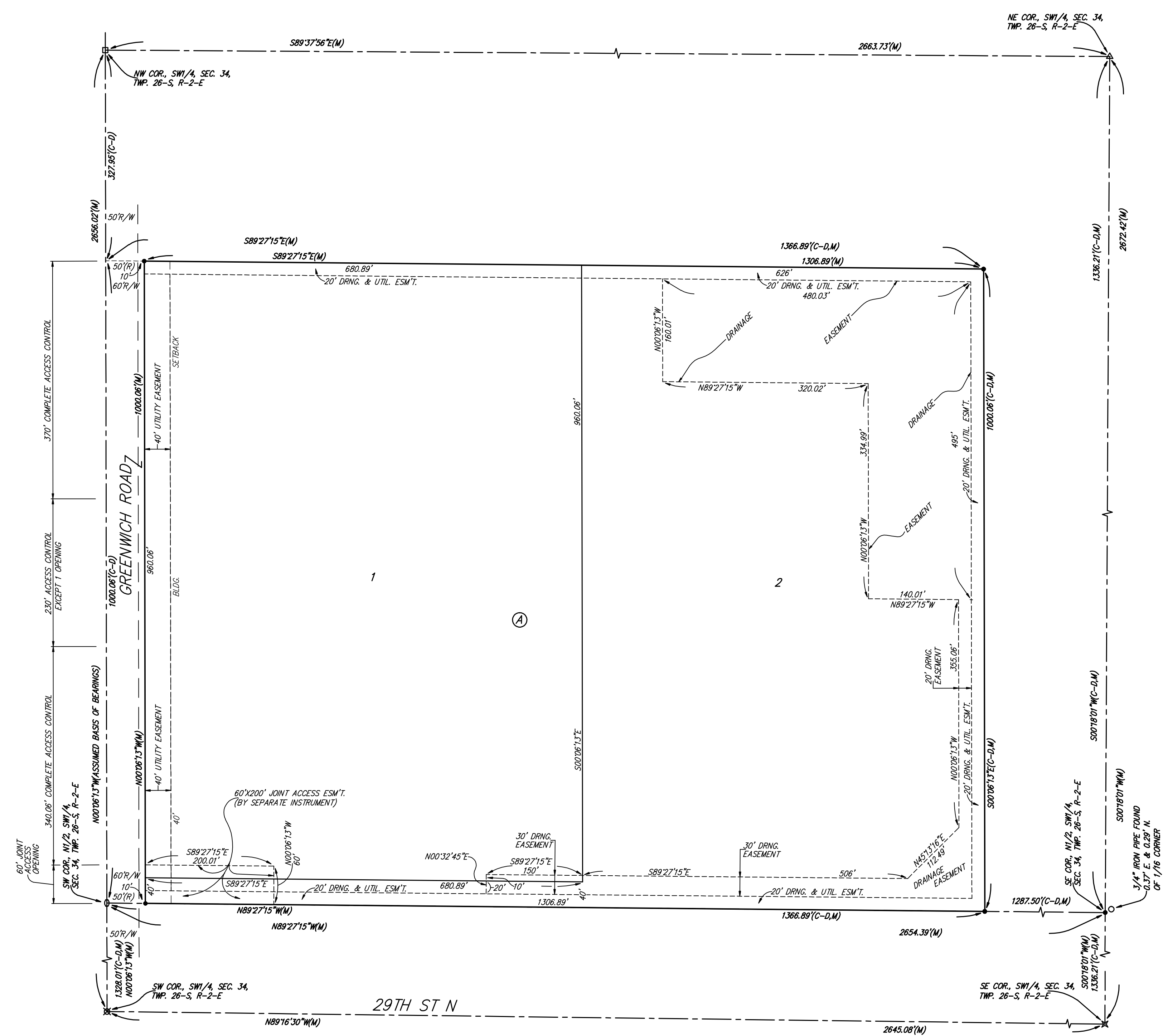


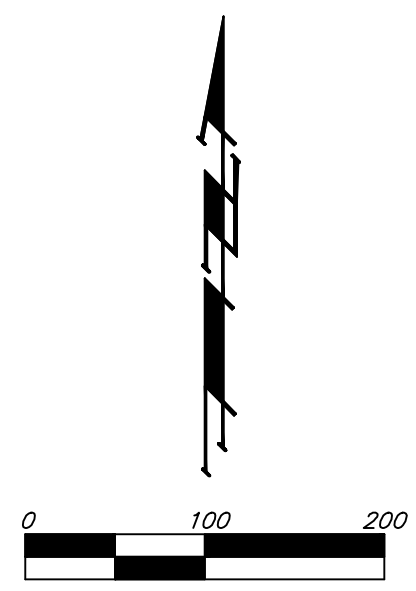
NORTH GREENWICH ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



- = #4 REBAR W/ "BAUGHMAN" CAP (SET)
- ⊕ = #5 REBAR OVER STONE (FOUND)
- ⊗ = 3/4" IRON IN THIMBLE (FOUND)
- = 3/4" IRON (FOUND)
- = #6 REBAR (FOUND)
- ◇ = RAILROAD SPIKE (FOUND)
- △ = STONE (FOUND)

MINIMUM BUILDING PAD ELEVATIONS FOR LOWEST OPENING TO THE STRUCTURES		
LOT	BLOCK	ELEVATION NAVD88
1, 2	A	1375.5

BENCHMARK:
 RR SPIKE IN ASPHALT, SW COR., N1/2 SW1/4, SEC. 34, TWP. 26-S, R-2-E. ELEV. = 1400.59 NAVD88
 RR SPIKE IN E. FACE OF POWER POLE, 174± N. OF S. LINE, N1/2 SW1/4 & 49± E. OF W. LINE, SW1/4, SEC. 34, TWP. 26-S, R-2-E. ELEV. = 1398.64 NAVD88
 RR SPIKE IN S. FACE OF POWER POLE, 294± S. OF N. LINE, SW1/4, & 48± E. OF W. LINE, SW1/4, SEC. 34, TWP. 26-S, R-2-E. ELEV. = 1398.14 NAVD88



State of Kansas) SS We, Baughman Company, P.A., Surveyors in
 Sedgwick County) aforesaid county and state do hereby certify that we have surveyed and
 platted "NORTH GREENWICH ADDITION", Wichita, Sedgwick County, Kansas
 and that the accompanying plat is a true and correct exhibit of the
 property surveyed, described as the south 1000.00 feet of the west 1366.80
 feet of the N1/2 of the SW1/4 of Sec. 34, Twp. 26-S, R-2-E of the 6th P.M.,
 Sedgwick County, Kansas, subject to road rights-of-way of record.
 Existing public easements and dedications
 being vacated by virtue of K.S.A. 12-512(b).
 Baughman Company, P.A.

_____, Surveyor
 Michael G. Conrey

Know all men by these presents that we,
 the undersigned, have caused the land in the surveyors certificate to be
 platted into Lots, a Block, and Streets, to be known as "NORTH
 GREENWICH ADDITION", Wichita, Sedgwick County, Kansas. The utility
 easement is hereby granted as indicated for the construction and
 maintenance of all public utilities. The drainage easements are hereby
 granted as indicated for drainage purposes. The drainage and utility
 easements are hereby granted as indicated for drainage purposes and for
 the construction and maintenance of all public utilities. The street is
 hereby dedicated to and for the use of the public. Access controls shall
 be as depicted on the face of the plat and are hereby granted to the
 City of Wichita, Kansas. The permitted opening locations shall be as
 determined by the City Engineer of the City of Wichita, Kansas. The
 Minimum Building Pad Elevations for the lowest opening to the structures
 shall be as indicated on the face of the plat. FEMA floodplain and
 regulatory floodway boundaries are subject to periodic change, and such
 change may effect the intended land use within the subdivision.

Greenwich Investments, LLC
 a Kansas limited liability company
 Ritchie Associates, Inc., Manager

_____, Vice-President
 Rob Ramseyer

State of Kansas) SS The foregoing instrument acknowledged before
 Sedgwick County) me, this _____ day of _____, 2009, by Rob Ramseyer, Vice-
 President of Ritchie Associates, Inc., as Manager of Greenwich Investments,
 LLC, a Kansas limited liability company, on behalf of the limited liability
 company.

_____, Notary Public
 My App't. Exp. _____

We the undersigned holders of a mortgage on the
 above described property, do hereby consent to this plat of "NORTH
 GREENWICH ADDITION", Wichita, Sedgwick County, Kansas.
 INTRUST Bank, N.A.

State of Kansas) SS The foregoing instrument acknowledged be-
 fore me, this _____ day of _____, 2009, by _____,
 _____ of INTRUST Bank, N.A., on behalf of the bank.
 _____, Notary Public
 My App't. Exp. _____

This plat of "NORTH GREENWICH ADDITION",
 Wichita, Sedgwick County, Kansas has been submitted to and approved by
 the Wichita-Sedgwick County Metropolitan Area Planning Commission,
 Wichita, Kansas.
 Dated this _____ day of _____, 2009.
 Wichita-Sedgwick County Metropolitan Area Planning Commission

_____, Chair
 Darrell Downing
 _____, Secretary
 John L. Schlegel

This plat approved and all dedications
 shown hereon accepted by the City Council of the City of Wichita,
 Kansas, this _____ day of _____, 2009.

_____, Mayor
 Carl Brewer
 _____, City Clerk
 Karen Sublett

Reviewed in accordance with K.S.A. 58-2005
 on this _____ day of _____, 2009.

_____, Vice-President
 Rob Ramseyer

Tricia L. Robella, L.S. #1246
 Deputy County Surveyor
 Sedgwick County, Kansas

Entered on transfer record this _____ day
 of _____, 2009.

_____, County Clerk
 Kelly B. Arnold

State of Kansas) SS This is to certify that this plat has been
 Sedgwick County) filed for record in the office of the Register of Deeds, this _____ day
 of _____, 2009 at _____ o'clock _____ M.; and is duly recorded.

_____, Register of Deeds
 Bill Meek

_____, Deputy
 Tonya Buckingham

NOTE:
 A drainage plan has been developed for this subdivision and is on file with
 the City of Wichita, Kansas. Drainage intent shall remain as depicted or as
 modified with the approval of the City Engineer of the City of Wichita,
 Kansas. No obstructions which impede the flow of this drainage plan shall
 be allowed.

NOTE:
 ADDITIONAL BUILDING SETBACK REQUIREMENTS
 AND RESTRICTIONS PER NORTH GREENWICH
 DEVELOPMENT COMMUNITY UNIT PLAN DP-316.

Baughman Company, P.A.
 315 11th St. Wichita, KS 67211 P 316-263-7271 F 316-263-0149
 Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE
 RP\PLAT\NORTH GREENWICH DEVELOPMENT\NORTH GREENWICH.DWG\MOC