

DOWNTOWN PARKING IMPROVEMENTS

BUILDING WALL

Repair North Property Line

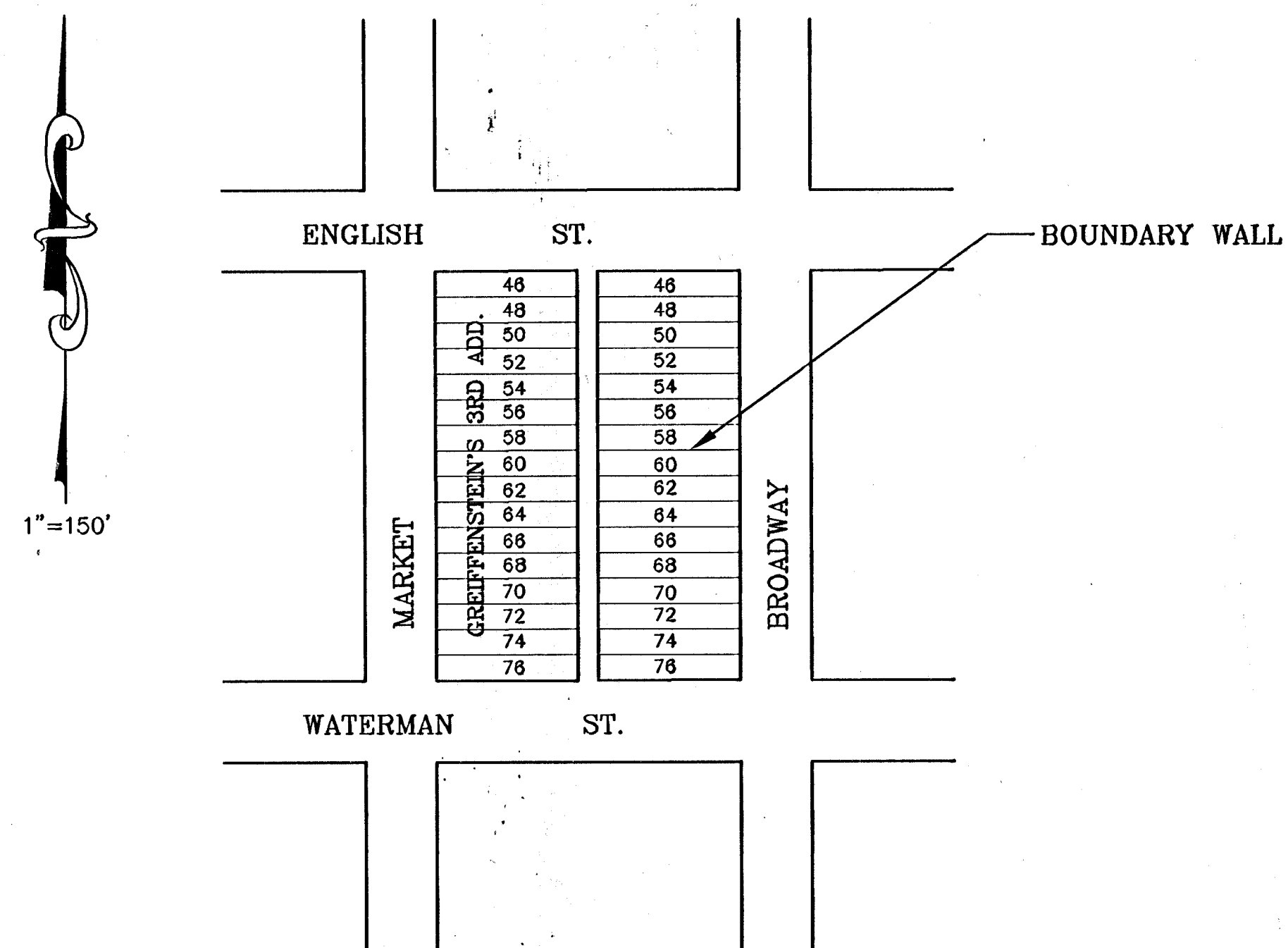
319 South Broadway

PROJ. NO. 472-82420

INDEX NO. 790840

CITY OF WICHITA, KANSAS

M. E. LINDEBAK - CITY ENGINEER



LEGEND

- PP-X - POWER POLE AND DEADMAN
- KGE - ELECTRIC BOX
- LP - LIGHT POLE
- WM - WATER METER
- SS - STORM SEWER PIPE
- W - WATER LINE
- SS - SANITARY SEWER LINE
- GA - GAS LINE
- T - TELEPHONE LINE
- PM - PARKING METER

Attention: Notes 1A, 1B, and 1C are applicable to work in this contract. All other notes on this sheet do not apply and shall be considered as void.

GENERAL NOTES:

PROPERTY SURVEY BY: MID-KANSAS ENGINEERING CONSULTANTS INC. WICHITA, KANSAS
PRESENT SITE ZONING: 'D' CENTRAL BUSINESS DISTRICT
BENCHMARK:

BM-1 'D' CUT ON SW CORNER OF SIGNAL POLE BASE ON THE NE CORNER OF MARKET AND WATERMAN STREETS.
ELEV. = 11021

BM-2 'D' CUT ON SE CORNER OF SIGNAL POLE BASE ON THE SE CORNER OF BROADWAY AND ENGLISH STREETS.
ELEV. = 11053

PROPOSED PARKING: 48 (2 HANDICAP STALLS INCL.)

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE START OF CONSTRUCTION.

CONTRACTOR IS TO PROVIDE ALL SAFETY BARRIERS, FENCING ETC. AROUND CONSTRUCTION SITE AS REQUIRED BY LOCAL REGULATIONS.

TOTAL AREA: 18,663.49 SQ. FT. (.428 ACRES)
LANDSCAPE AREA: 2,828.18 SQ. FT.
PERMEABLE PAVEMENT: 119,419 SQ. FT.
IMPERVIOUS AREA: 148,336 SQ. FT.

REQUIRED STREET YARD LANDSCAPE AREA: NONE BY CURRENT LANDSCAPE ORDINANCE
NEW STREET YARD LANDSCAPE AREA: 342 SQ. FT. (PARKING TO SIDEWALK)

NOTE: 8" WATER LINE EXISTS IN WEST R/W OF BROADWAY
8" WATER LINE EXISTS IN WEST R/W OF MARKET.

NOTE: UTILITIES SHOWN ARE AS PER UTILITY COMPANY RECORDS AND/OR FLAGGED LOCATIONS AND SHOULD BE VERIFIED BEFORE ANY CONSTRUCTION IS UNDER TAKEN.

LEGAL DESCRIPTION:

Lots 58, 60, 62, 64, 66, on Broadway Ave., Greiffenstein's Addition, Wichita, Kansas.

UNIT PAVER NOTES:

UNIT PAVERS ARE TO MATCH THOSE THAT ARE TO BE INSTALLED AT THE SIDEWALKS OF WILLIAMS STREET BETWEEN BROADWAY AND MARKET STREET.

THE UNIT PAVER COLOR PATTERN ON THE PLAN (IN THE PARKING LOT DRIVE AND NEAR THE RAMPS AT THE SIDEWALK) ARE REPRESENTATIVE OF THE PATTERN TO BE INSTALLED. RANDOMLY, FROM EAST TO WEST, THE DARKER ACCENT COLORS ARE TO BE ADDED INTO THE TAN BASE COLOR CREATING A GRADUAL CHANGE OF COLOR FROM TAN THROUGH BROWN, THROUGH QUARRY RED, THROUGH LIMESTONE GRAY TO THE FINAL COLOR, CHARCOAL. THE WESTERN MOST ROWS OF THE DRIVE PAVERS ARE TO BE ENTIRELY CHARCOAL IN COLOR.

SIDEWALK:
TYPE/SHAPE: HANOVER-FREST CONCRETE PAVER, 12"x12"x2 1/2" NOMINAL DIMENSIONS
COLOR/FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH (ACCENTS)

PARKING LOT DRIVE:
TYPE/SHAPE: HANOVER-FREST CONCRETE PAVER 4"x8"x3" NOMINAL DIMENSIONS
COLOR/FINISH: TAN/TUDOR FINISH BROWN/TUDOR FINISH QUARRY RED/TUDOR FINISH LIMESTONE GRAY/TUDOR FINISH CHARCOAL/TUDOR FINISH

PATTERN: HERRINGBONE LAY-OUT BLENDED COLOR, FROM LIGHT TO DARK (EAST TO WEST)

NOTE 1A

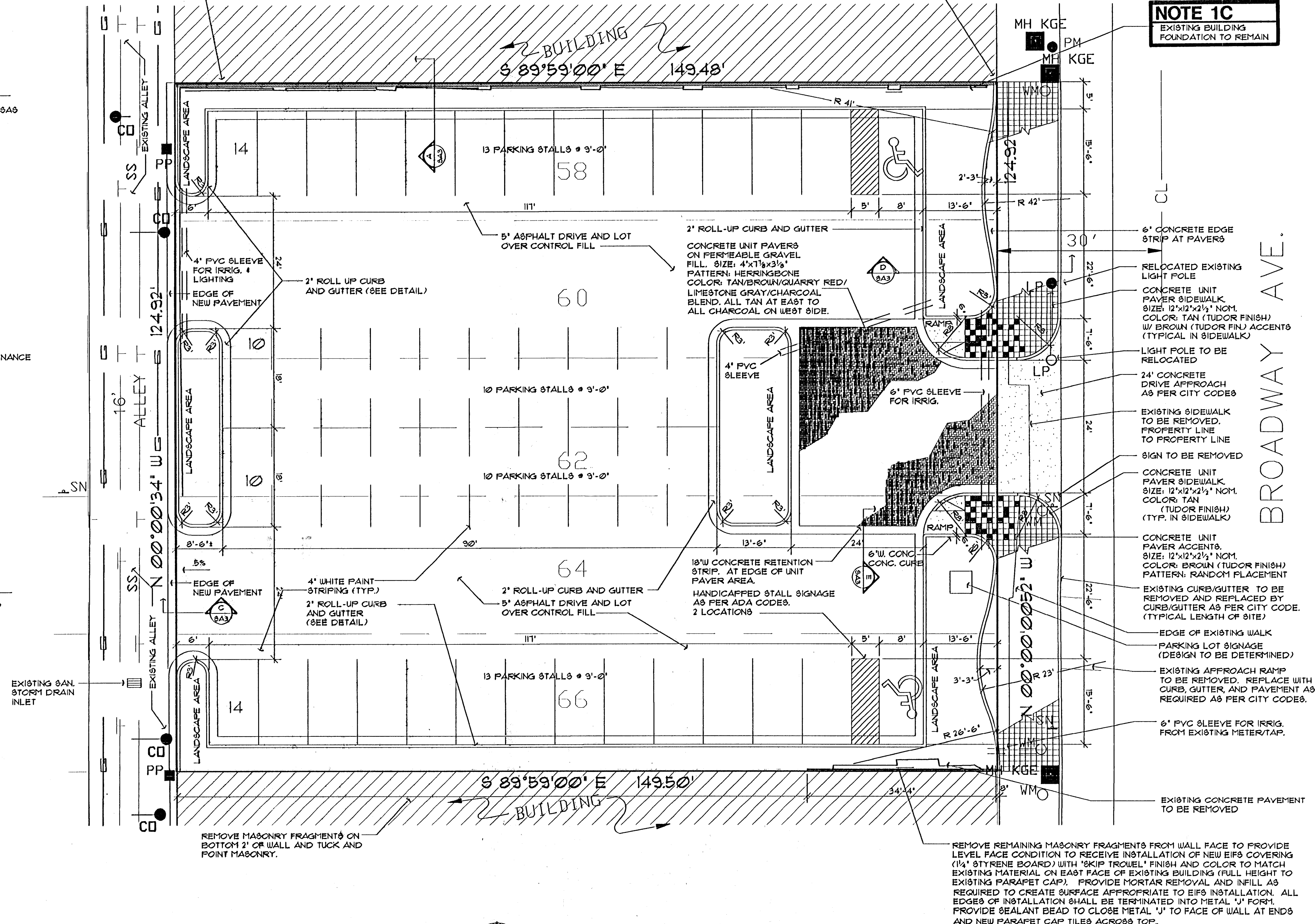
REMOVE REMAINING MASONRY FRAGMENTS (FROM PREVIOUS DEMOLITION) FROM FACE OF PARKING GARAGE STRUCTURE AS REQUIRED AND INSTALL NEW BRICK VENEER WALL ON EXISTING FOUNDATION LEDGE UP TO BOTTOM OF EXISTING BUILDING WINDOWS. SEE REF. WALL SECTION.

NOTE 1B

HOLD NEW MASONRY VENEER END BACK 2' FROM FRONT BLDG. RETURN END FACE BRICK INTO SIDE WALL TO CLOSE VOID BEHIND VENEER - SEPARATE W/ 1/2" FIBER BOARD ADHERED TO BUILDING FACE AND COVER JOINT WITH SEALANT BEAD - TYPICAL FRONT AND BACK OF BUILDING.

NOTE 1C

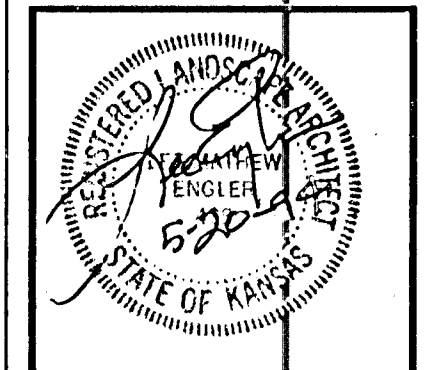
EXISTING BUILDING FOUNDATION TO REMAIN



SITE LAY-OUT PLAN

SCALE: 1" = 10'-0"

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319 & 325 BROADWAY
PARKING LOT
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WICHITA, KANSAS

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PARKING LOT
319 & 325 BROADWAY
WICHITA, KANSAS

SITE LAY-OUT
PLAN

SA-1
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