

CONSTRUCTION PLANS FOR
PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS
TO
THE CITY OF WICHITA, KANSAS
SHAWN BRYAN, P.E. - STORMWATER ENGINEER
OCA NO. 660508
468-84074

GENERAL NOTES:

1. Contractor will be required to provide a minimum advance notice of 48 hours to utility companies prior to starting any excavation as follows:

Kansas One Call	1-800-344-7233
In the event of emergency, contractor must notify:	
Cox Communications	262-4270 or 263-2061
Kansas Gas	263-7511
Westar Energy	264-1141
Aquila Gas	941-1608
SBC Communications	1-571-2611
Wichita Water Dept.	268-4908

2. Utility service lines, poles, valve boxes, meters and etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
3. Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved.

All suitable excavation shall be wasted on low lying lots within the addition before any material is disposed of off site.

4. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.

5. Trees and shrubs in the proposed easement and which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.

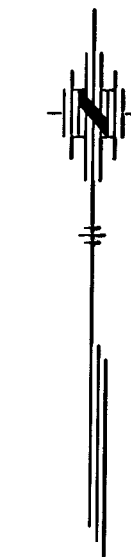
6. The Contractor shall be responsible for preserving property irons. The Contractor will be required to reestablish any property irons which are damaged or destroyed by his construction operations. Such irons shall be reestablished by a licensed land surveyor in accordance with state laws.

7. All disturbed areas shall be seeded with permanent seed (fescue) grass at a rate of 300 lbs per acre.

8. Contractor shall maintain all existing BMPs on project site during construction. Contractor shall repair or replace any existing BMPs that are damaged (cost subsidiary to site restoration). If BMPs were damaged prior to contractor beginning work on project, notify construction inspector or engineer.

9. Contractor shall replace topsoil to a surface thickness of 12 inches on all areas disturbed. Topsoil shall be free from trash, debris and surface vegetation more than six (6) inches in height. After all work has been completed, topsoil shall be placed and graded. (Cost shall be subsidiary to Project)

10. Contractor shall notify Presbyterian Manor one week in advance of construction. 942-7456



No Scale



PROJECT SITE

INDEX

TITLE SHEET	SHEET 1
PLAN AND PROFILE	SHEET 2
DROP INLET DETAIL	SHEET 3
EROSION CONTROL DETAILS	SHEETS 4-6
PLATS	SHEETS 7-8

BENCH MARKS

City of Wichita Datum

1. " + " Cut on North side of manhole ring
Elevation 132.64
2. COW Bench Mark at SE corner of 13th & Anna
30.20' South of centerline and 49.10' East of centerline
Elevation 129.11

MARCH 2005

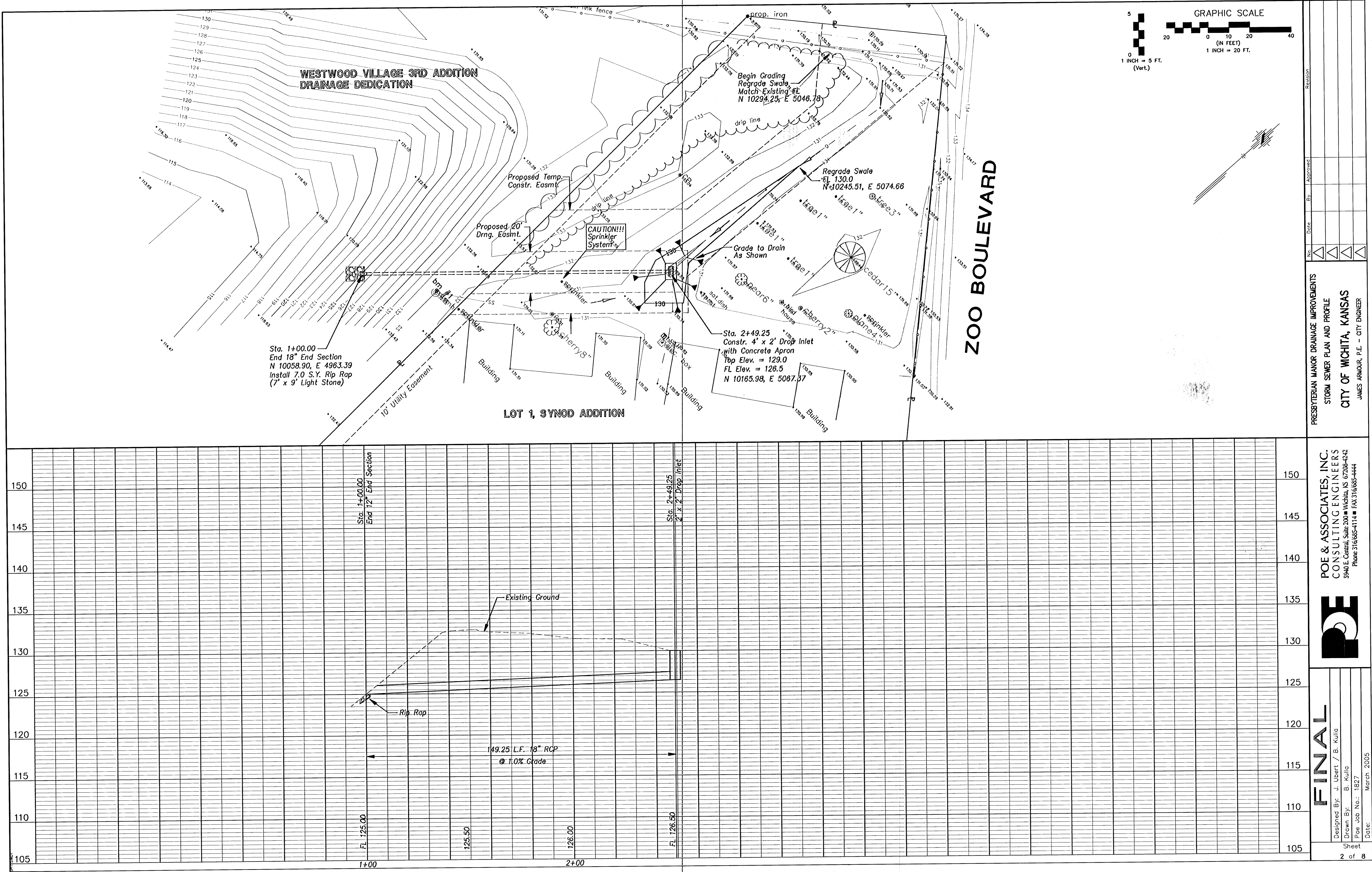
PLANS PREPARED
BY



POE & ASSOCIATES, INC.
CONSULTING ENGINEERS
5940 E. Central, Suite 200 ■ Wichita, KS 67208-4242
Phone 316/685-4114 ■ FAX 316/685-4444

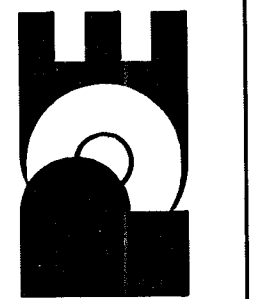


Z:\027\000000.dwg Thu Apr 07 11:13:16 2005 Bernard Kulla, POE & Associates, Inc.



PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS
STORM SEWER PLAN AND PROFILE
CITY OF WICHITA, KANSAS
JAMES ARMOUR, P.E. - CITY ENGINEER

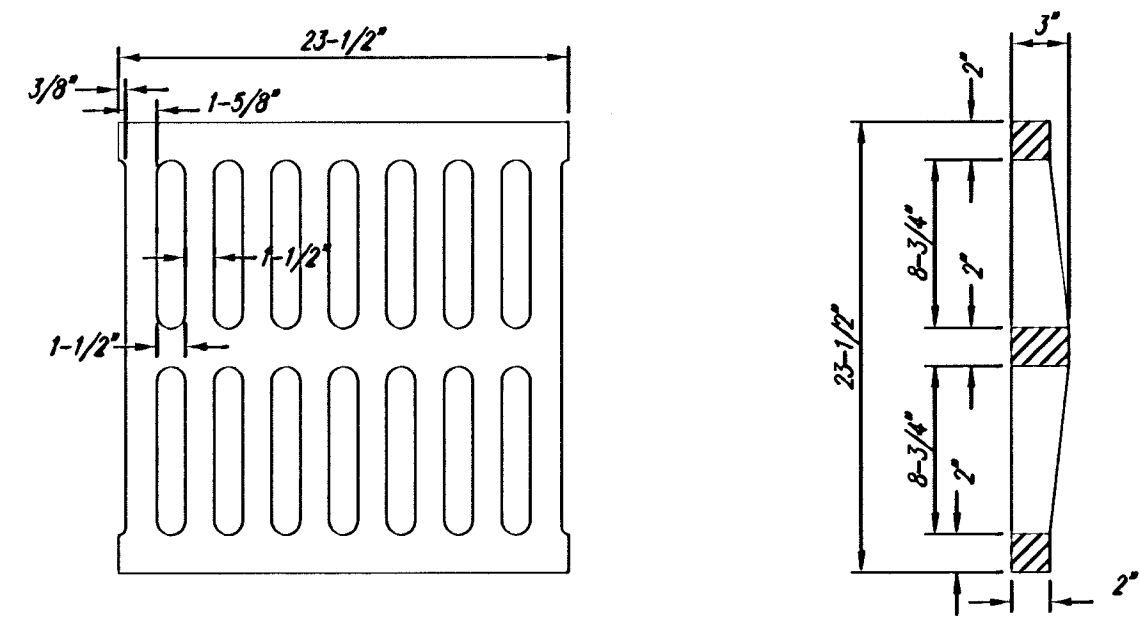
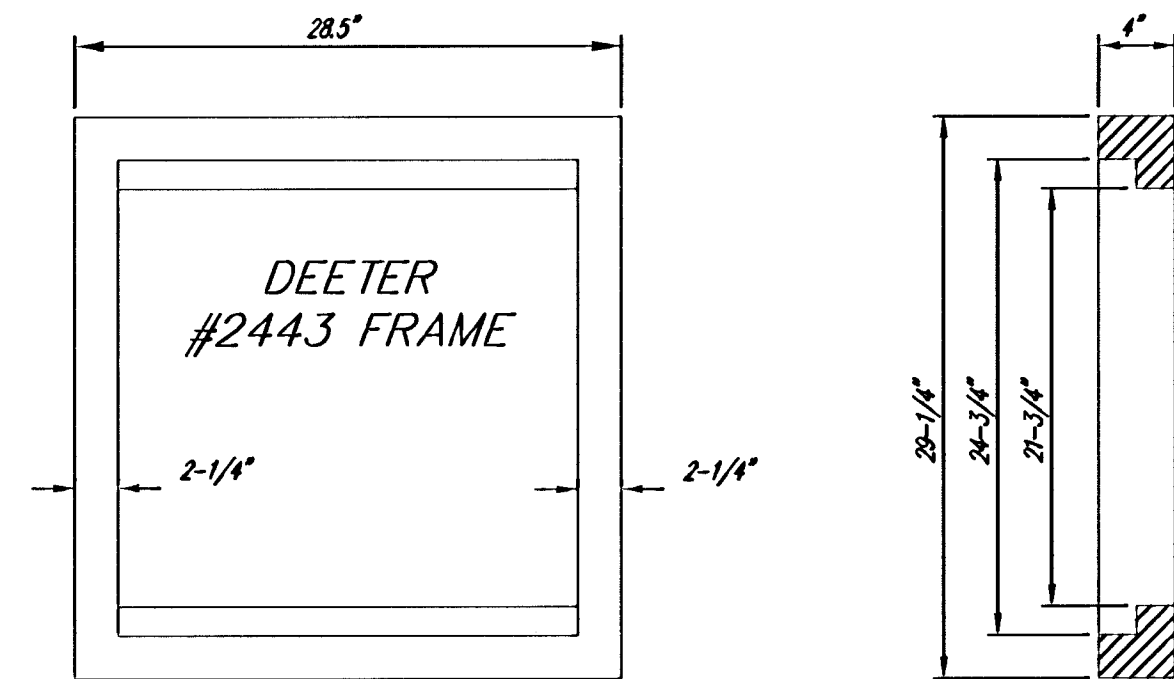
POE & ASSOCIATES, INC.
CONSULTING ENGINEERS
5940 E. Central, Suite 200 • Wichita, KS 67208-4242
Phone 316/685-4114 • FAX 316/685-4444



FINAL

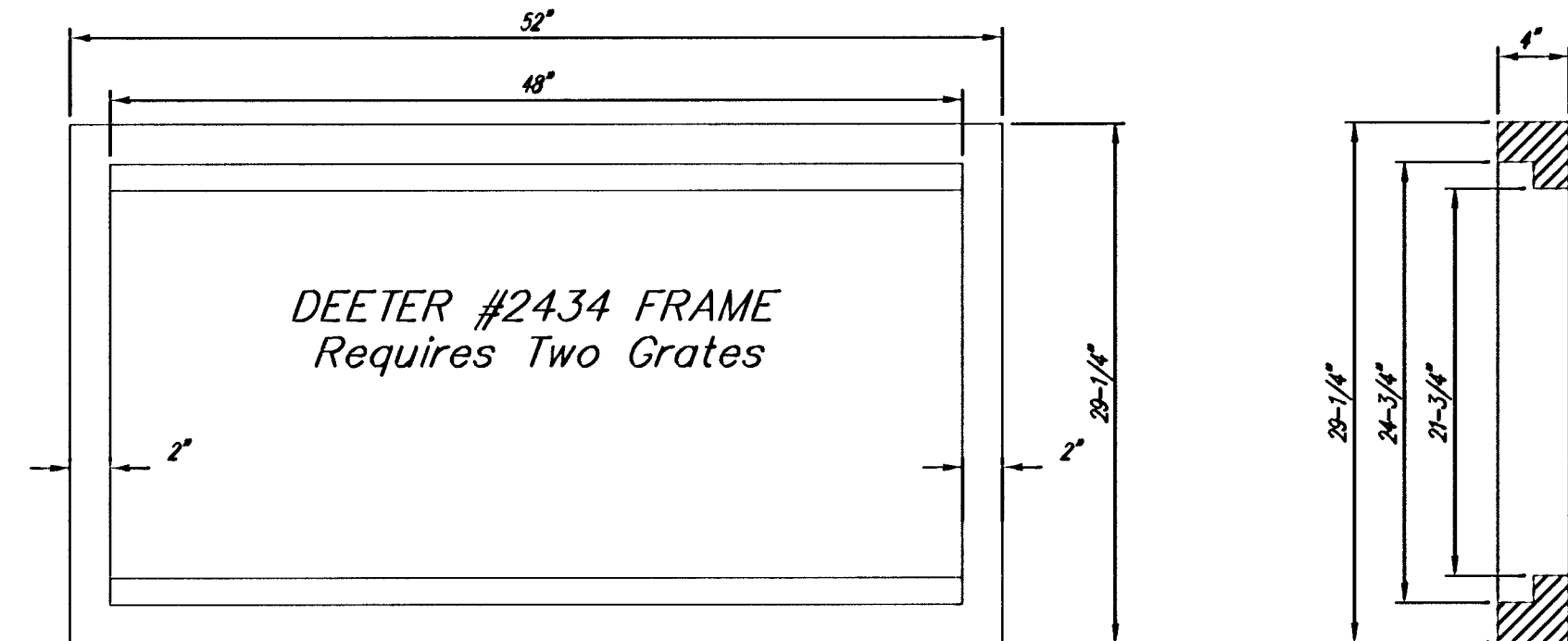
Designed By: J. Ubert / B. Kulla
Drawn By: B. Kulla
Poe Job No.: 1627
Date: March 2005

Sheet
2 of 8



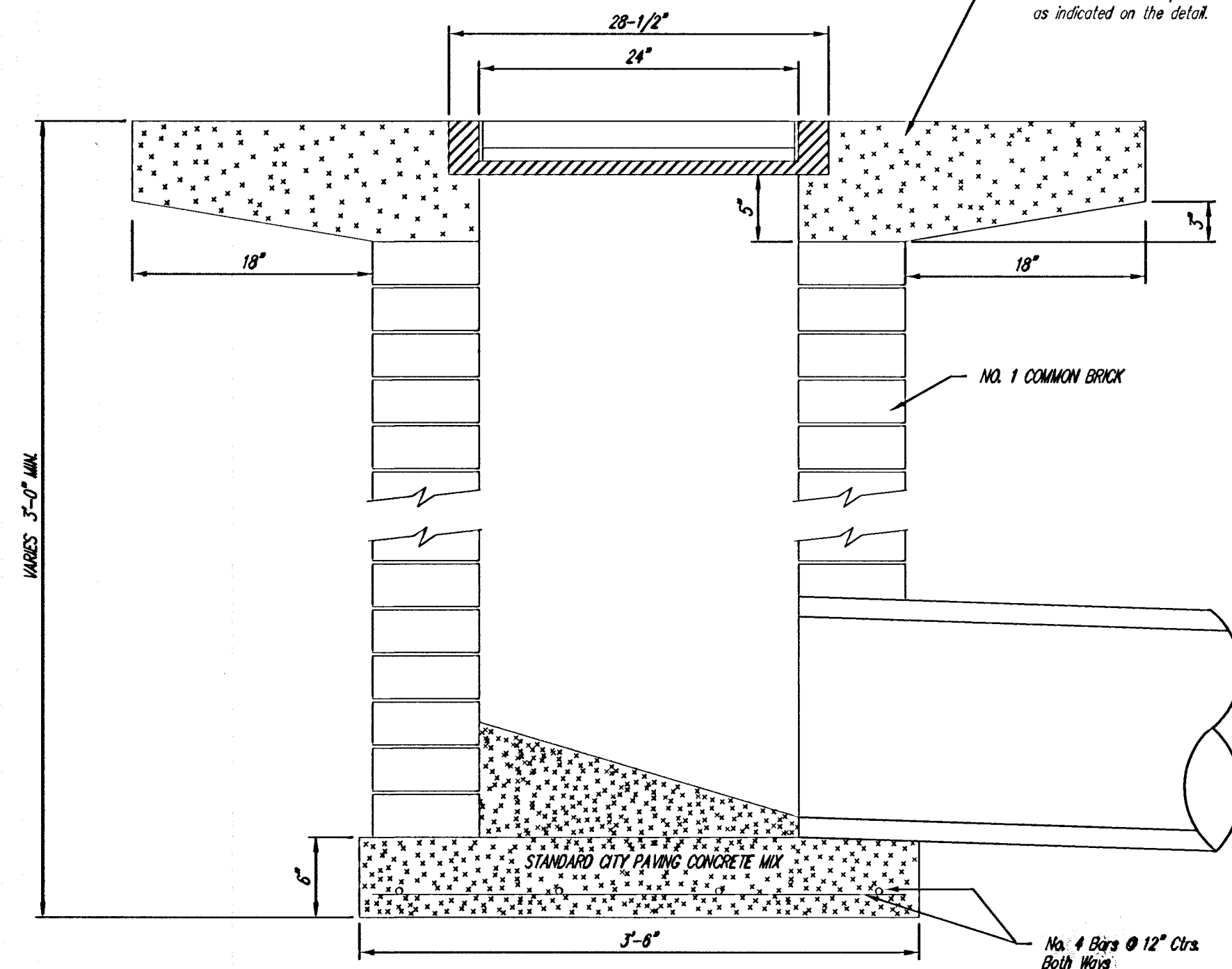
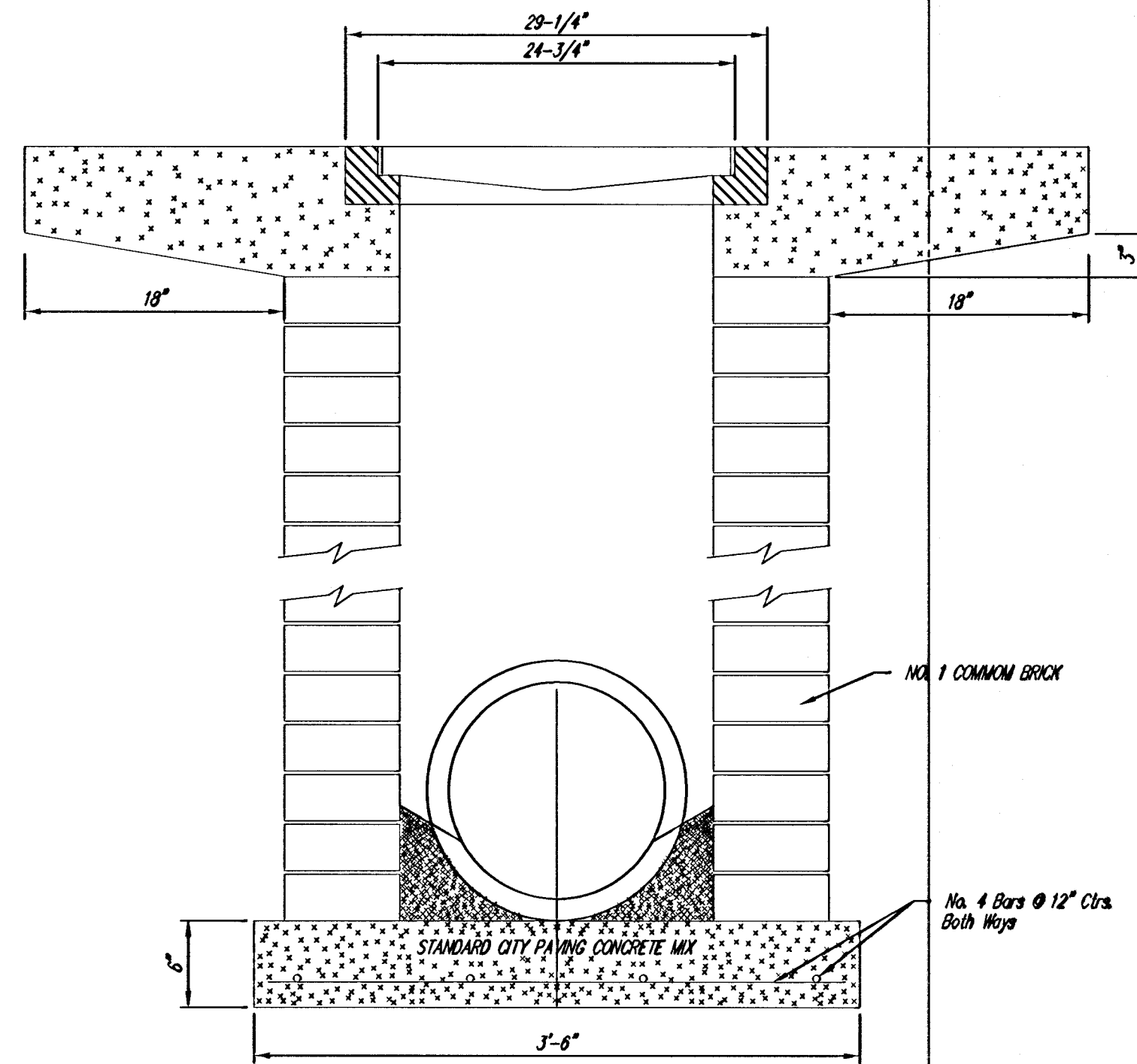
DEETER #2433 GRATE

24" x 24" Frame and Grate Detail

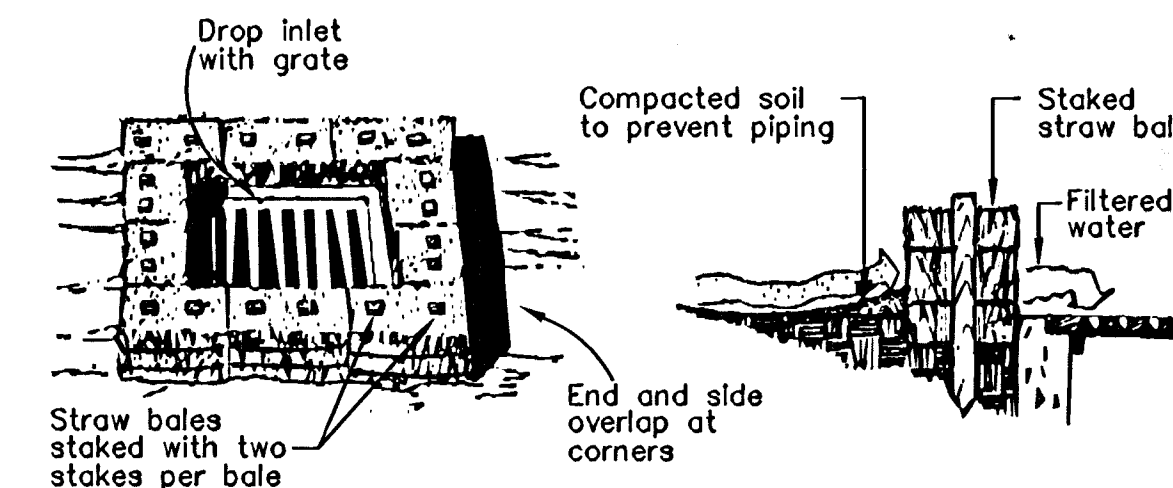
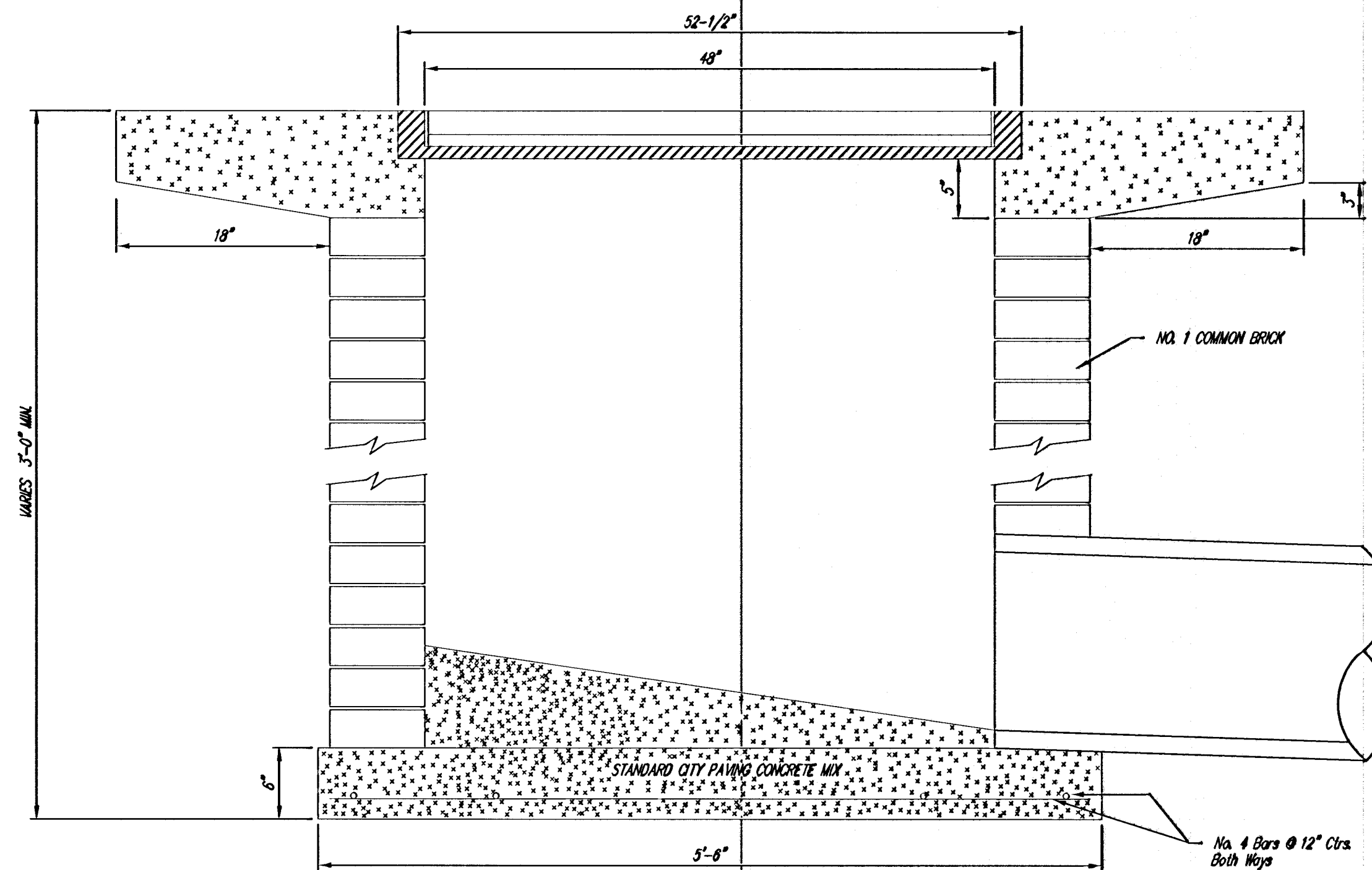


Double 24" x 24" Frame Detail

NOTE: Grates shall be imprinted on the top surface with "CITY OF WICHITA" using letters at least 1" in height. Other marking methods may be approved by the engineer.



Note: Concrete apron shall be constructed around the inlet when inlet is located in an unpaved area. Where the inlet is adjacent to pavement, the pavement thickness shall be figured to the inlet in 18 inches as indicated on the detail.



HAY BALE SEDIMENT BARRIER

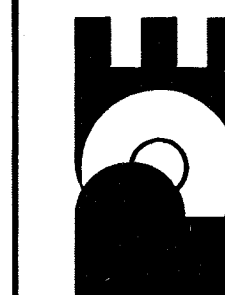
FINAL

Designed By: J. Ubert / B. Kulla
Drawn By: B. Kulla

Poe Job No.: 1827

Date: March 2005

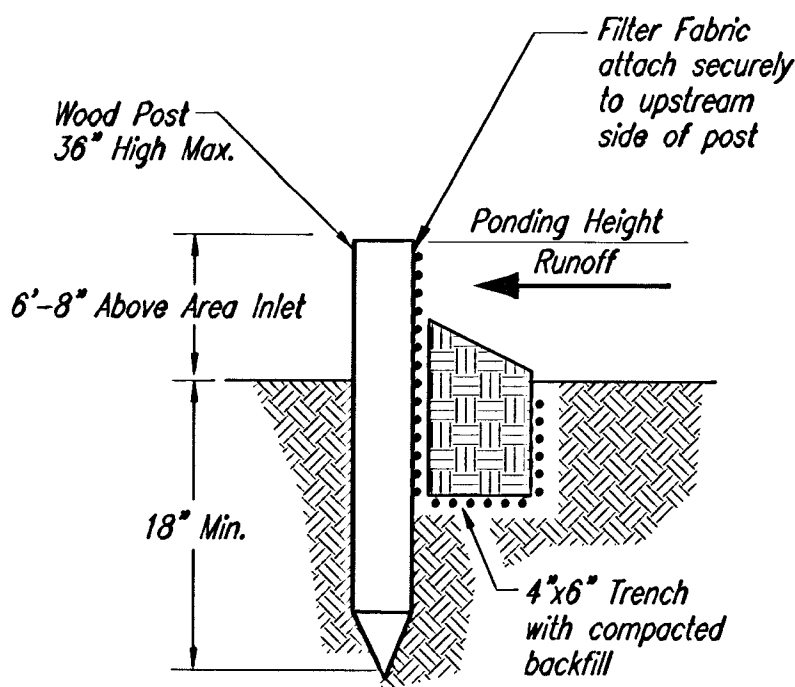
POE & ASSOCIATES, INC.
CONSULTING ENGINEERS
5940 E. Central, Suite 200 ■ Wichita, KS 67208-4242
Phone 316/685-4114 ■ FAX 316/685-4444



PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS
DROP INLET DETAIL

CITY OF WICHITA, KANSAS
JAMES ARMOUR, P.E. - CITY ENGINEER

Z:\327\base.dwg Thu Apr 07 11:13:19 2005 Bernard Kulla, Poe & Associates, Inc.

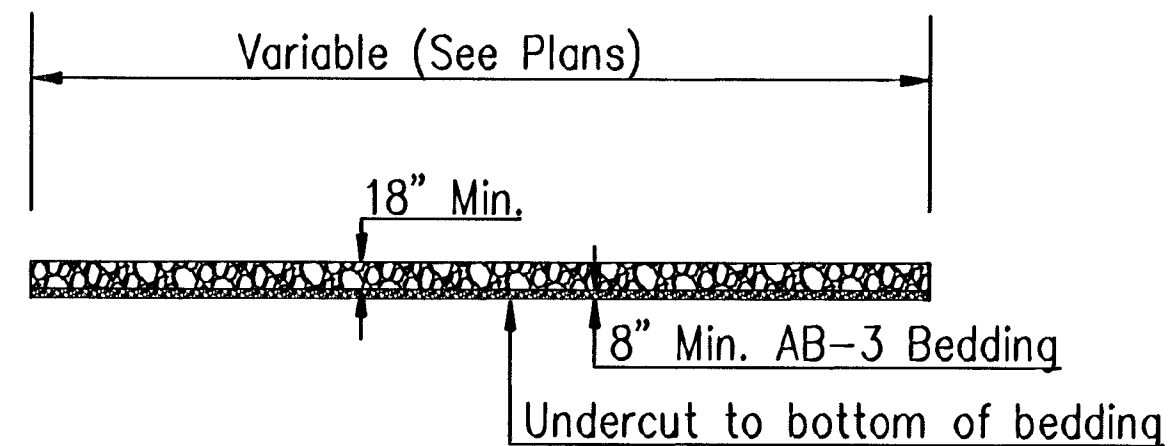


SILT FENCE BARRIERS

SILT FENCE BARRIERS

Material Specification:

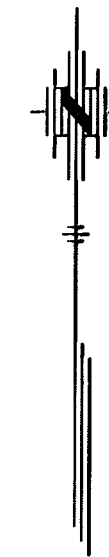
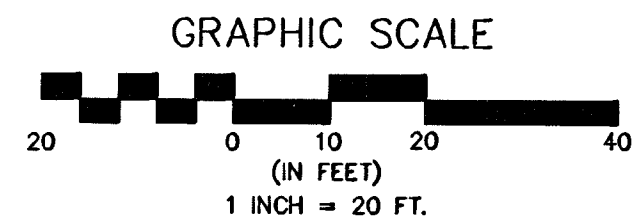
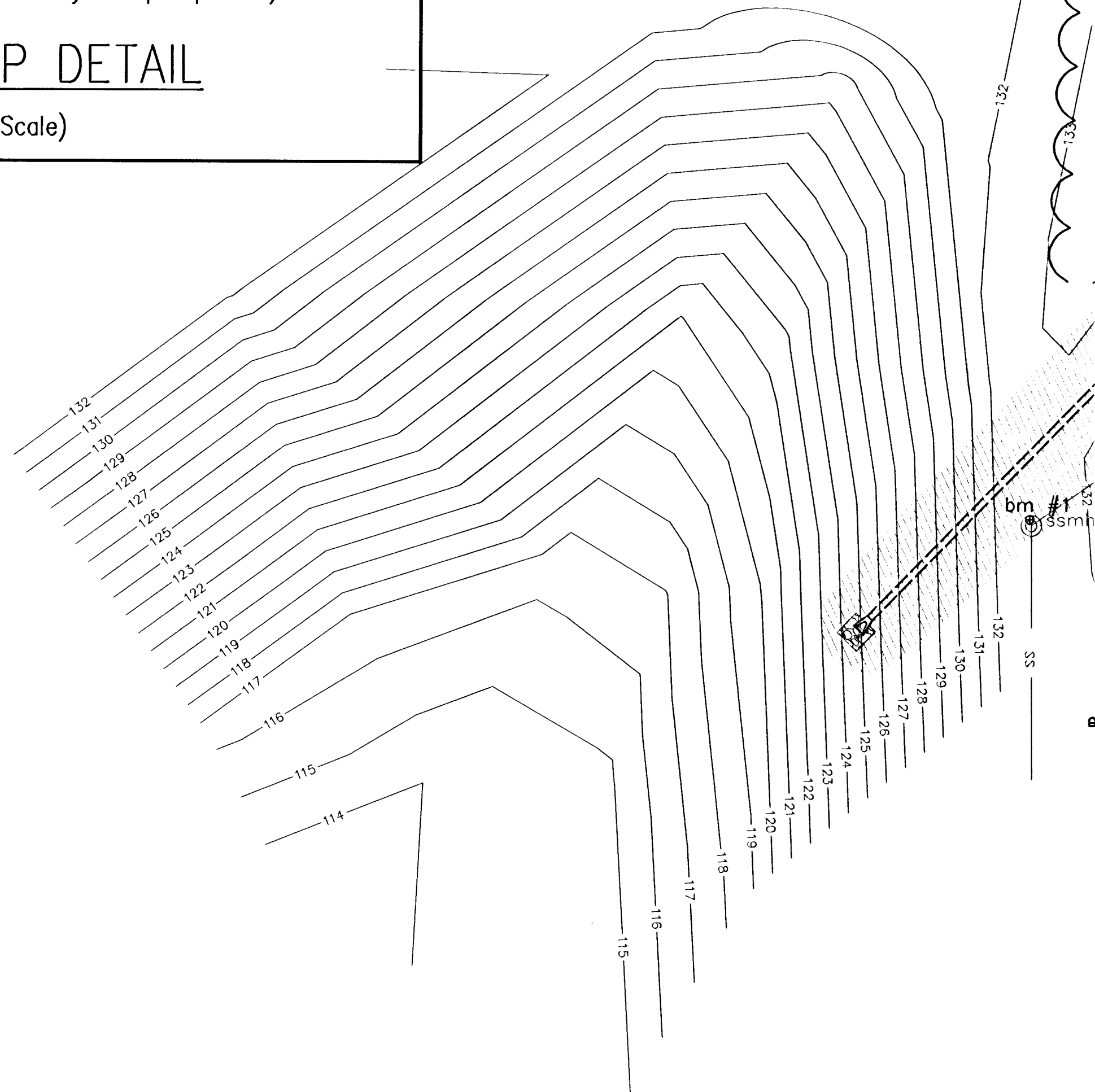
Silt fence fabric should conform to the AASHTO M288 96 silt fence specification. The posts used to support the silt fence fabric should be a hardwood material with the following minimum dimensions: 2" square (nominal) by 3' long. Silt fence fabric should be attached to the wooden posts with staples, wire, zip ties, or nails.



Light Stone Rip Rap shall be used
(Bedding shall be subsidiary to rip rap cost)

RIP RAP DETAIL

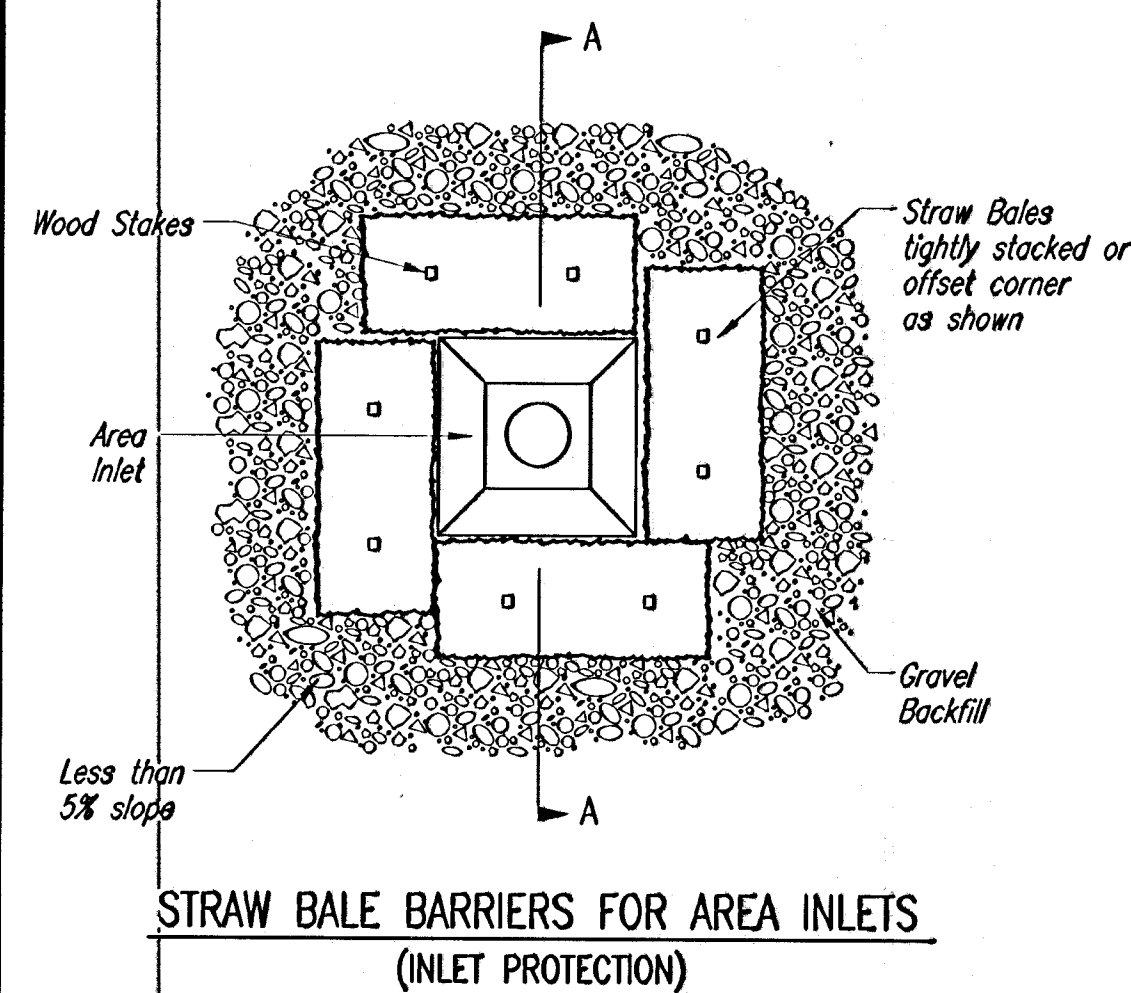
(No Scale)



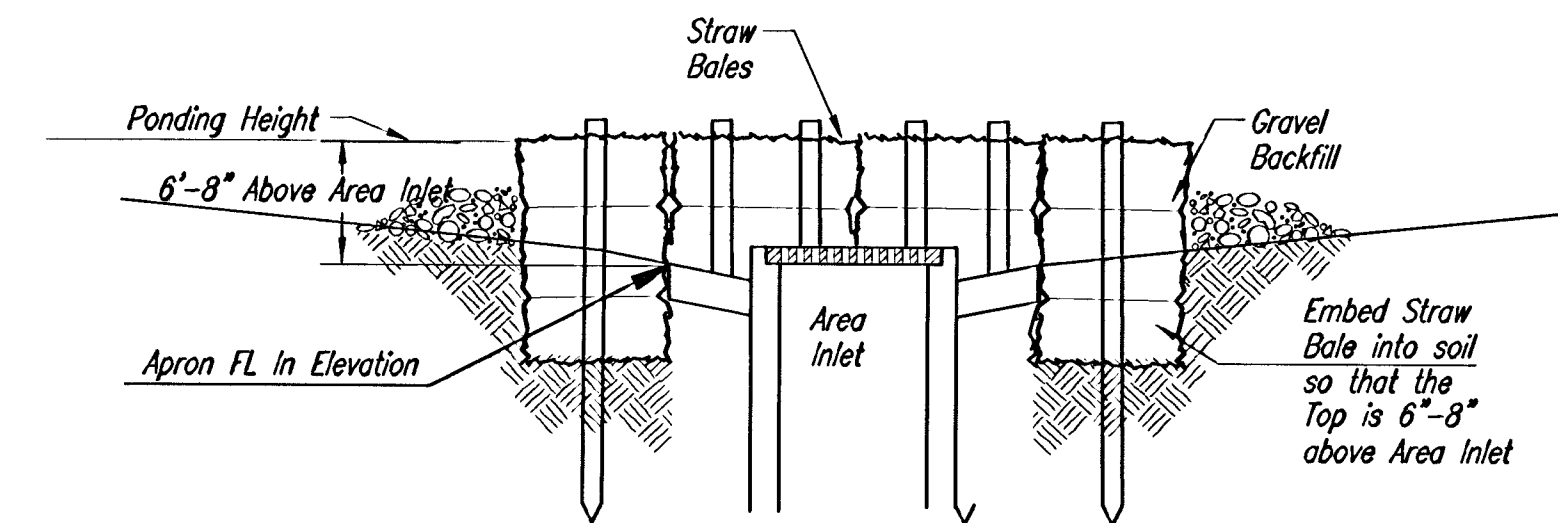
LEGEND

- Permanent Seeding Area
(300 lb/acre Fescue Grass)
Total Area = 0.24 Acres
- SEDIMENT BARRIER
(Hay Bales to be used around inlet)

NOTE: Contractor shall maintain all existing BMPs on project site during construction. Contractor shall repair or replace any existing BMPs that are damaged (Cost subsidiary to site restoration). If BMP(s) were damaged prior to contractor beginning work on project, notify construction inspector or engineer.



STRAW BALE BARRIERS FOR AREA INLETS
(INLET PROTECTION)



Material Specification:

Bale area inlet barriers should be constructed of wheat straw, oat straw, prairie hay, or bromegrass hay that is free of weeds declared noxious by the Kansas State Board of Agriculture. The stakes used to anchor the bales should be a hardwood material with the following minimum dimensions: 2" square (nominal) by 4' long.

FINAL

Designed By: J. Ubert / B. Kulla
Drawn By: B. Kulla
Poe Job No.: 1827
Date: March 2005



POE & ASSOCIATES, INC.
CONSULTING ENGINEERS
5940 E. Central, Suite 200 ■ Wichita, KS 67208-4242
Phone 316/685-4114 ■ FAX 316/685-4444

PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS
STORM WATER POLLUTION PREVENTION PLAN
CITY OF WICHITA, KANSAS
JAMES ARMOUR, P.E. - CITY ENGINEER

No.	Date	By	Approved	Revision
1				
2				
3				
4				

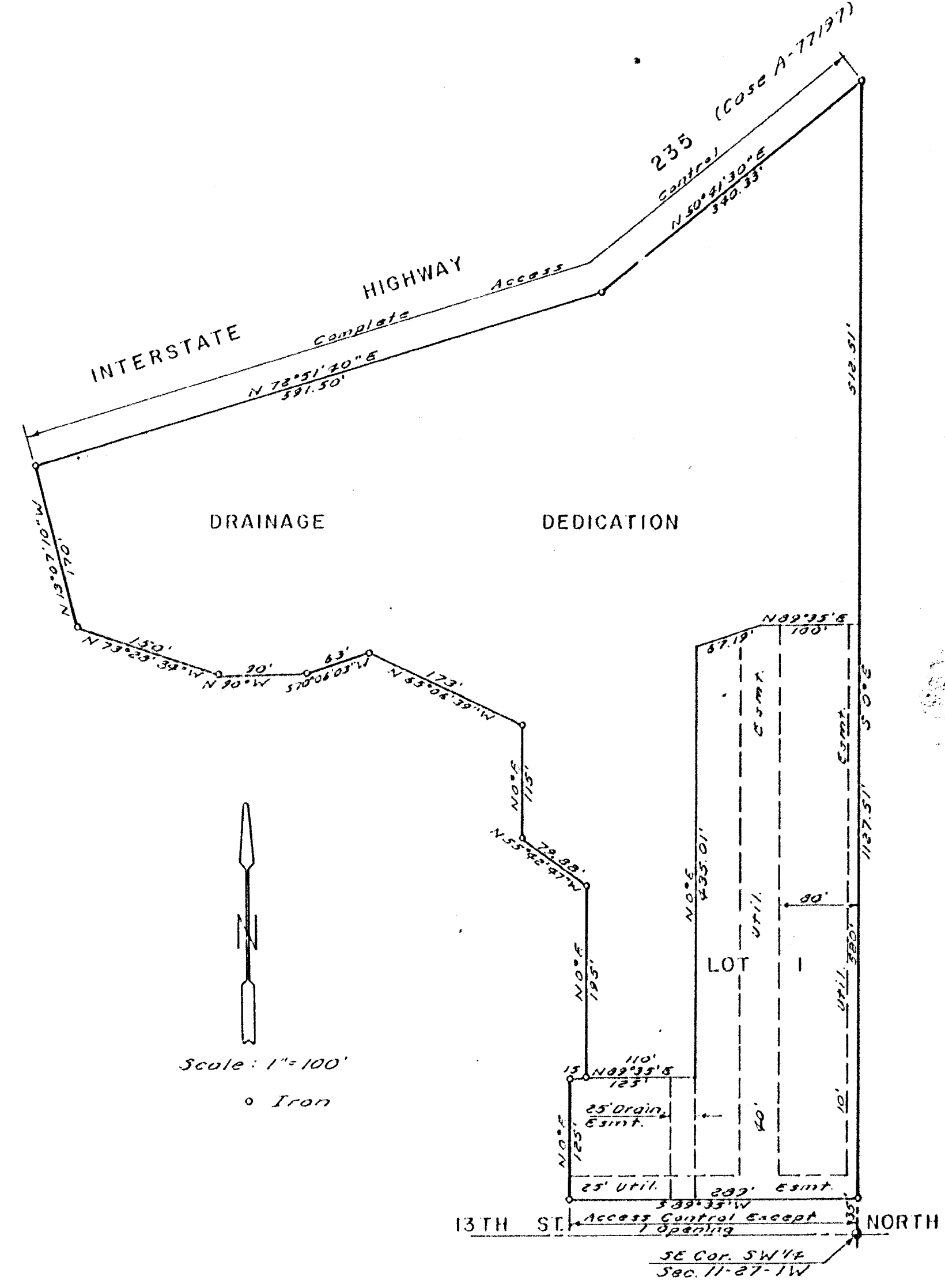
08-9 1-5

08-9 1-5

WESTWOOD VILLAGE 3RD ADDITION

WICHITA, KANSAS

LIBRARY COPY
SEDFWICK COUNTY, KANSAS
REGISTER OF DEEDS
LARRY CONSOLVER



Know all men by these presents, that we, the undersigned, have caused the land described in the surveyors certificate to be platted into a lot and drainage dedication to be known as "WESTWOOD VILLAGE 3RD ADDITION", Wichita, Kansas. The drainage dedication is hereby dedicated for drainage purposes. The easements are hereby granted as indicated for the construction and maintenance of public utilities. All abutters rights of access to 13th St. North are hereby granted to the City of Wichita, Kansas, except, however, that Lot 1 shall have access to 13th St. North at one location over the south line of said Lot 1, said location to be determined by the City Engineer.

Sheffield Place, Inc.
Bill Bachman President

Dennis R. Niedens Secretary

City of Wichita, Kansas
R.C. Brown Mayor
Donald C. Gisick City Clerk

State of Kansas } S.S. The foregoing instrument was acknowledged before me this 19th day of April, 1982, by Sheffield Place, Inc., by C. Bill Bachman, President.
Marjorie M. Walker Notary Public
My Commission Expires August 9, 1984.

State of Kansas } S.S. The foregoing instrument was acknowledged before me this 19th day of April, 1982, by Dennis R. Niedens and Rosemary Niedens, his wife.
Shirley K. Koppitz Notary Public
My Commission Expires June 9, 1985.

State of Kansas } S.S. The foregoing instrument was acknowledged before me this 19th day of April, 1982, by the City of Wichita, Kansas, by R.C. Brown, Mayor, and Donald C. Gisick, City Clerk.
Debra D. Frerking Notary Public
My Commission Expires 3-22-84.

We, the State Bank of Colwich, Kansas, holder of a mortgage on part of the above described property, do hereby consent to this plat of "WESTWOOD VILLAGE 3RD ADDITION".
John F. Schubert President

State Bank of Colwich, Kansas.
John F. Schubert President

This plat of "WESTWOOD VILLAGE 3RD ADDITION", Wichita, Kansas, has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas. Dated this 19th day of November, 1981.

Wichita-Sedgwick County Metropolitan Area Planning Commission
Robert A. Lakin Chairman
Robert A. Lakin Secretary

This plat approved and all dedications shown hereon accepted by the Board of City Commissioners, Wichita, Kansas, this 6th day of April, 1982.

R.C. Brown Mayor
Donald C. Gisick City Clerk

This plat approved and all dedications shown hereon accepted by the Board of County Commissioners, Sedgwick County, Kansas, this 19th day of April, 1982.

Shirley K. Koppitz Chairman
Debra D. Frerking Commissioner
Debra D. Frerking Commissioner
Debra D. Frerking County Clerk
Michael T. Sawyer Deputy

Entered on transfer record this 19th day of April, 1982.

Debra D. Frerking County Clerk
Michael T. Sawyer Deputy

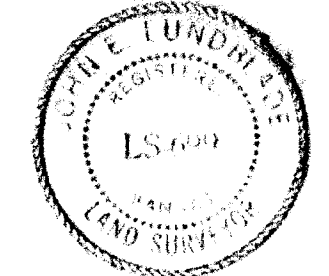
State of Kansas } S.S. This is to certify that this plat has been filed for record in the Office of the Register of Deeds this 19th day of April, 1982, at 11:32 o'clock, A.M., and is duly recorded.

Bette F. McCut Register of Deeds
Pat Kattler Deputy

State of Kansas } S.S. The foregoing instrument was acknowledged before me this 19th day of February, 1982, by the State Bank of Colwich, Kansas, by John F. Schubert, President.
John F. Schubert Notary Public
My Commission Expires August 30, 1982.

State of Kansas } S.S. We, Baughman Company, P.A., Surveyors in aforesaid county and state, do hereby certify that we have surveyed and platted "WESTWOOD VILLAGE 3RD ADDITION", Wichita, Kansas, and that the accompanying plat is a true and correct exhibit of the property surveyed, described as a replat of Lots 1 thru 15, Block 2; Lot 16, Block 1; The Reserve, and Anna Circle and Anna Court as platted in Westwood Village Addition, Wichita, Kansas, located in the SW 1/4 of Section 11, T27S, R1W. The above Circle and Court along with platted building setbacks, utility and drainage easements are being vacated by virtue of KSA 1970 Supp. 12-512(b).
Date Nov. 18, 1981. Baughman Company, P.A.

John E. Baughman Surveyor



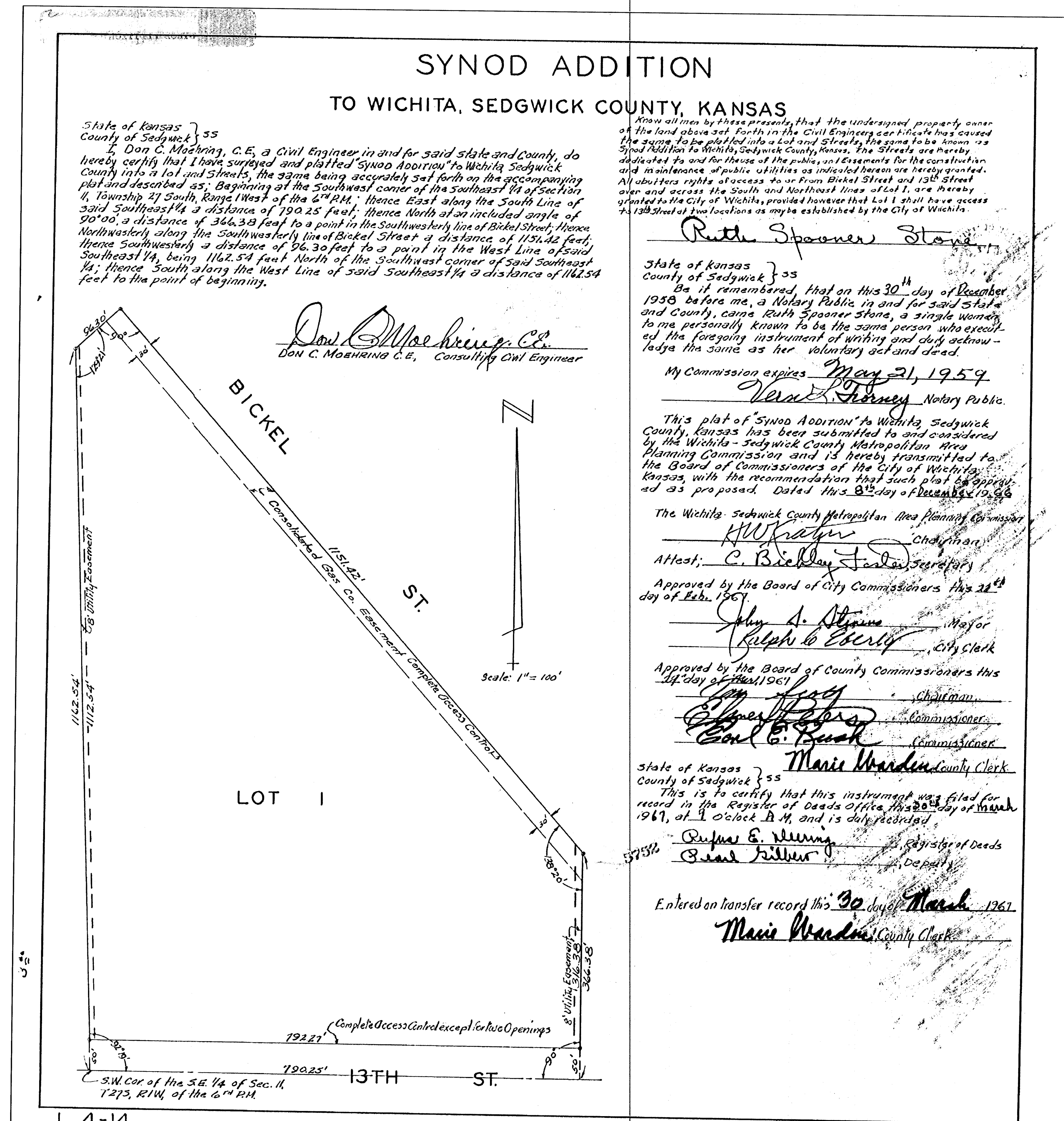
20.00

S-1 6-30

Restrictive Cov. F 523 P 505

S-1 6-30

PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS			
WESTWOOD VILLAGE 3RD PLAT			
CITY OF WICHITA, KANSAS			
JAMES ARMOUR, P.E. - CITY ENGINEER			
POE & ASSOCIATES, INC.			
CONSULTING ENGINEERS			
5540 E. Central, Suite 200 • Wichita, KS 67208-4242			
Phone: 316/685-4114 • FAX: 316/685-4444			
FINAL			
Designed By:	J. Ubert / B. Kulla		
Drawn By:	B. Kulla		
Poe Job No.:	1827		
Date:	March 2005		
Sheet 7 of 8			



Know all men by these presents, that the undersigned property owner of the land above set forth in the Civil Engineers certificate has caused the same to be plotted into a lot and streets, the same to be known as Synod Addition to Wichita, Sedgwick County, Kansas. The Streets are hereby dedicated to and for the use of the public, and easements for the construction and maintenance of public utilities as indicated herein are hereby granted. All abutters rights of access to or from Bickel Street and 13th Street over and across the South and Northeast lines of Lot I, are hereby granted to the City of Wichita, provided however that Lot I shall have access to 13th Street at the locations as maybe established by the City of Wichita.

Ruth Spooner Stone

State of Kansas } ss
County of Sedgwick } ss

Be it remembered, that on this 30th day of December 1958 before me, a Notary Public in and for said State and County, came Ruth Spooner Stone, a single woman, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the same as her voluntary act and deed.

My Commission expires May 21, 1959
Vern J. Stoney Notary Public

This plat of 'Synod Addition' to Wichita, Sedgwick County, Kansas has been submitted to and considered by the Wichita - Sedgwick County Metropolitan Area Planning Commission and is hereby transmitted to the Board of Commissioners of the City of Wichita, Kansas, with the recommendation that such plat be approved as proposed. Dated this 8th day of December 1958.

The Wichita - Sedgwick County Metropolitan Area Planning Commission
H.W. Kiefer Chairman

Attest: *C. Bickel* Secretary

Approved by the Board of City Commissioners this 22nd day of February 1961.

John A. Stame Mayor
Ralph E. Scher City Clerk

Approved by the Board of County Commissioners this 24th day of March 1961.

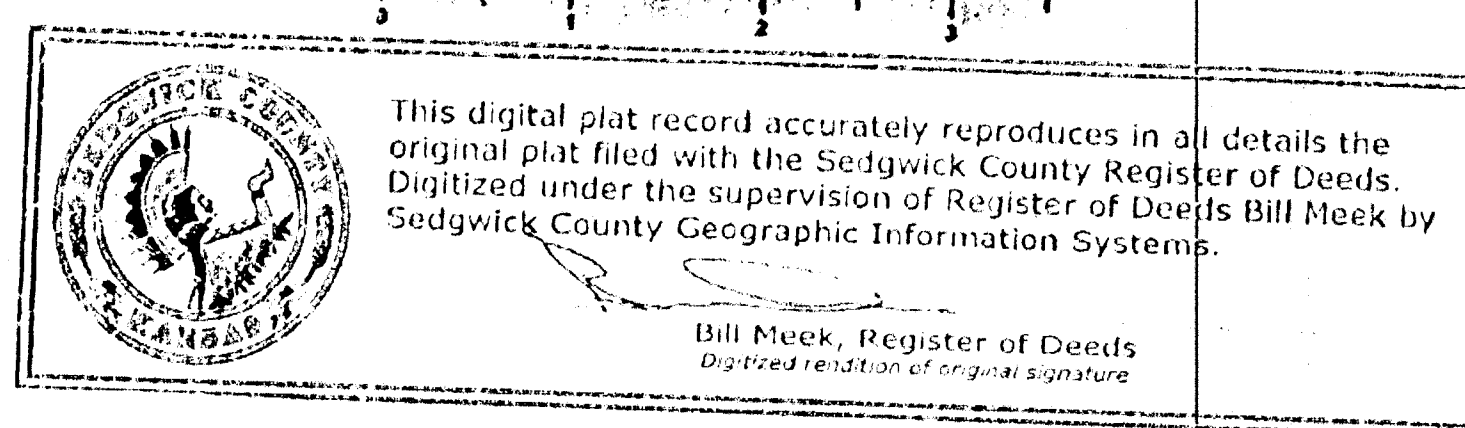
John A. Stame Chairman
Edmund E. Kuehn Commissioner
Marie Warden County Clerk

State of Kansas } ss
County of Sedgwick } ss

This is to certify that this instrument was filed for record in the Register of Deeds Office this 20th day of March 1961, at 1 o'clock A.M. and is duly recorded.

Ralph E. Scher Register of Deeds
Marie Warden Deputy

Entered on transfer record this 30th day of March 1961.
Marie Warden County Clerk



18-00-40-81

FINAL		POE & ASSOCIATES, INC. CONSULTING ENGINEERS 5940 E. Central, Suite 200 • Wichita, KS 67208-4242 Phone 316/685-4114 • FAX 316/685-4444	PRESBYTERIAN MANOR DRAINAGE IMPROVEMENTS SYNOD ADDITION PLAT CITY OF WICHITA, KANSAS JAMES ARMOUR, P.E. - CITY ENGINEER		Revision			
No.	Date	By	Approved	Revised				
1								
2								
3								
4								