

GENERAL NOTES:

- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:
 Kansas One-Call 687-2470
 The Contractor must notify the following in case of an emergency:
 Cox Communications 262-4270
 Kansas Gas Service 1-888-482-4950
 Westar Energy 383-8650
 Aquila Energy 1-888-482-4950
 SBC Telephone 268-2245
 City of Wichita Water Dept. 268-4563
 City of Wichita Sewer Maint. 268-4024
 City of Wichita Storm Sewer Maint. 268-4090
 City of Wichita Traffic Maint. 268-4034
- Utility service lines, poles, valve boxes, meters, and etcetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- All areas disturbed during construction within Street R/Ws shall be seeded, mulched, and fertilized as follows unless otherwise noted (Permanent Seeding):
 Seed: Kansas Premium Fescue Blend: 8 lbs./1000 sq. ft.
 Mulch: Prairie Hay: 2 tons/acre
 Fertilizer: 12-24-12: 850 lbs./acre
 All other areas disturbed during construction shall be seeded and mulched as follows (Temporary Seeding):
 Seed: Rye Grass: 5 lbs./1000 Sq. Ft.
 Mulch: Prairie Hay: 2 tons/acre
 All costs associated with seeding, mulching, and fertilizing shall be included in bid item "Site Clearing & Restoration" All seeding operations shall conform to City of Wichita Standard Specifications.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction would require additional archaeological investigations unless buried in a previously approved borrow location.
- The Contractor shall be responsible for preserving any shown property irons. The Contractor will be required to re-establish visible property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state law.
- A saw cut of at least one-half the depth of existing surface courses of one-fourth the depth of the existing total pavement thickness shall be provided at locations where proposed construction abuts an existing surface course or pavement for which partial removal of that surface or pavement is required. Sawn joint to facilitate removal within three (3) feet of existing joints will not be permitted and for such instances the limits of removal shall extend to the existing joint. Such saw cuts will not be paid for directly and this cost shall be considered as subsidiary to the removal of the surface or pavement.
- Fences within the public right-of-way which are in direct conflict with proposed new construction shall be removed and stockpiled on the land owners property by the Contractor with the Engineer's approval. Cost to be INCIDENTAL to "Site Clearing and Restoration".
- The Contractor shall give all property owners and/or tenants of developed property abutting the project limits a minimum of ten (10) days advance notice prior to start of construction.
- Mailboxes within the limits of the project shall be removed and replaced by the Contractor as approved by the Engineer. The Contractor shall be required to make Satisfactory Provisions for Mail Delivery to Properties affected by this project during construction.
- Driveway widths and locations are tentative. The Contractor shall be required to obtain properly executed driveway request forms signed by the Property Owner or his Authorized Representative verifying such driveway widths and locations. Such forms shall be submitted to the Engineer for his review and Approval.
- All Driveway Entrance Pipe within the project limits shall be Removed & Disposed of by The Contractor unless otherwise noted on the plan. Removal of such pipes shall conform to the applicable section of the Standard Specifications. INCIDENTAL to bid item "Removal of Structures".
- Contractor shall provide access to apartment buildings at all times.

PAVING IMPROVEMENTS FOR KESSLER STREET

From the North Line of Kellogg Drive to the South Line of Taft

to serve

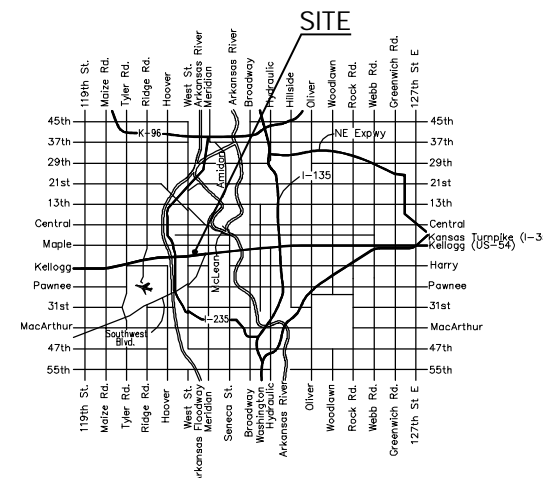
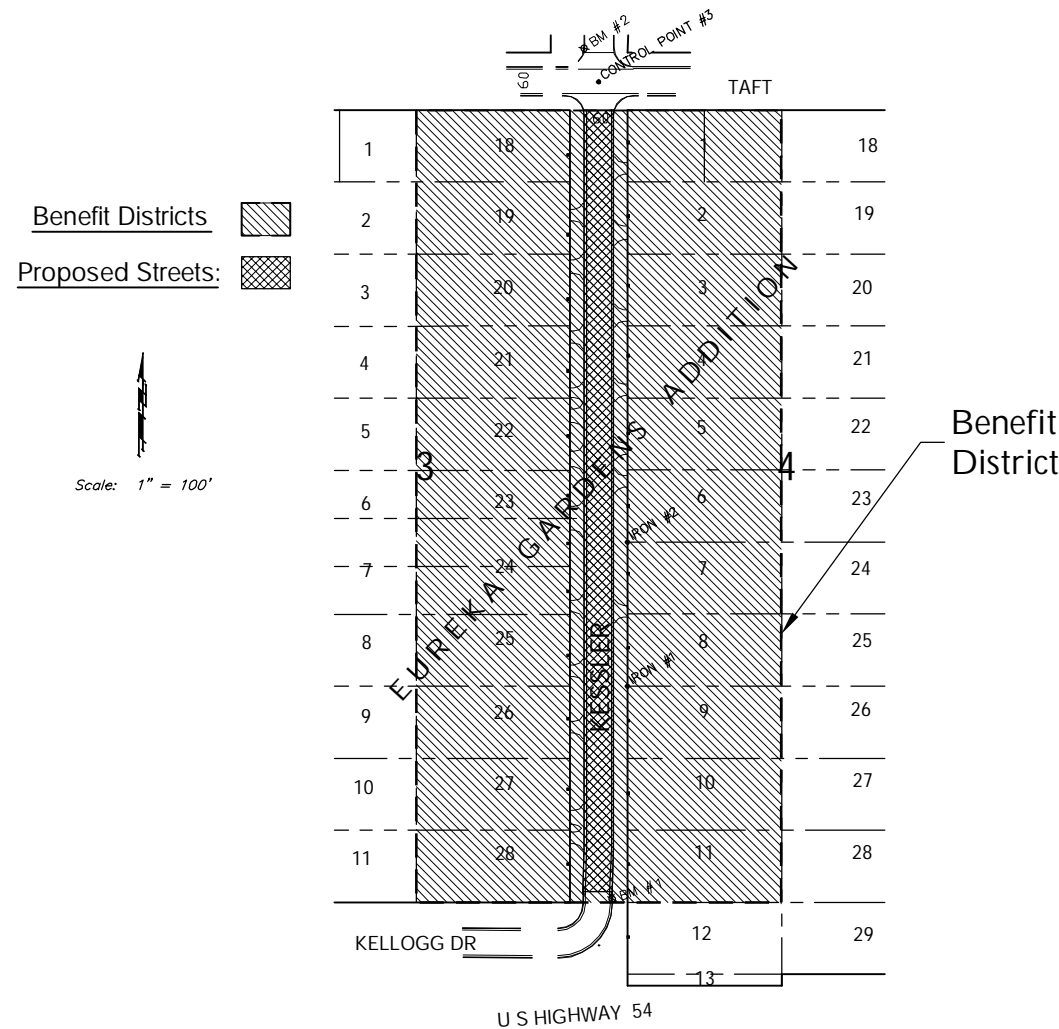
All of Lots 18 through 28 inclusive, Block 3, and all of Lots 1 through 11 inclusive Block 4, Eureka Gardens Addition

CITY OF WICHITA, KANSAS

James Armour, P.E. Acting City Engineer

Project Number
472-84041

O.C.A. Number
765891



Benchmarks

- Benchmark: "□" cut TC Illinois St South of Taft, West Side adjacent to Lot 13, Blk 1, Eureka Gardens Addn. Elev. = 115.47 City Datum
- Benchmark #1: "□" cut Top Front CL Catch Basin @ South End Kessler East side. Elev = 111.51 City Datum
- Benchmark #2: "□" cut TC North end NW Cb Return @ Taft and Kessler Elev = 115.19 City Datum

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Control Points

- Sta 12+07.14 Kessler, 30' Rt.= Iron @ NW Cor. of Lot 9, Block 4, Eureka Gardens Addition, Lodge West Apartments Property
- Sta 14+20.29 Kessler, 30' Rt. = Iron @ NW Cor. of Lot 7, Block 4, Eureka Gardens Addition, 548 Kessler Property
- Sta 19+00 Kessler = CL Intersection Kessler @ Taft = 30' N & 30' W of Iron NW Cor. Lot 1, Block 4, Eureka Gardens Addition

Project Earthwork Totals

Excavation = 1246 C.Y.
 Fill = 222 C.Y.
 Total Project Length
 814.09' = 0.15 Miles