

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
AT&T 1-800-246-8464
Black Hills Energy 1-800-694-8989
City of Wichita Water & Sewer 1-316-219-8921
City of Wichita Stormwater 1-316-268-4090
City of Wichita Traffic 1-316-268-4034
Cox Communications 1-888-249-3530
Kansas Gas Service 1-888-482-4950
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at last structure in the easement or right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

Benchmarks

BM #1: "□" chiseled on top of curb at south end of return of driveway, 3410 S. Meridian Ave. Elev. = 1283.78 (NAVD 88)

BM #2: "□" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elev. = 1282.43 (NAVD 88)

STORM SEWER IMPROVEMENTS & WATER LINE ADJUSTMENTS

to serve FREDDY'S FROZEN CUSTARD

3450 S. MERIDIAN AVE.
CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer

Project Number
0510 PPD (133119)
2134 PPW (183021)

Sheet Index

Title Sheet	1
Lines 1&1A	2
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Copy of Plat	5

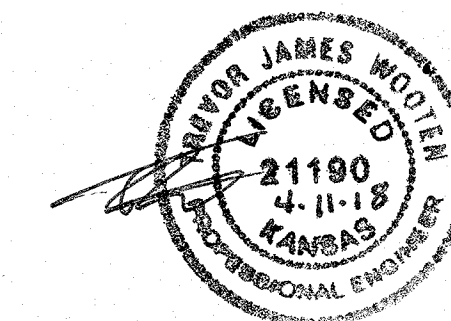
SWS Details SW-101, SW-109,
SW-401, and Erosion Control
Details available at City of Wichita
web site at
[http://www.wichita.gov/PWU/
StandardsConstruction/Forms/
WebPageStandardsConstruction.aspx](http://www.wichita.gov/PWU/StandardsConstruction/Forms/WebPageStandardsConstruction.aspx)

APPROVED AS NOTED
BY WICHITA PUBLIC WORKS
ENGINEERING DIVISION
& BY WICHITA FIRE DEPARTMENT
Engineering Julianne Kallman 4-18-18
Utilities Joe Heible 4-18-18
Fire Dept. Joe Heible 4-24-18
NOTE TO CONTRACTORS

Public Property:
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provisions (on file and available in the City Engineer's Office) or on the City's Website.

Private Property:
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

An approved copy of these plans signed by City staff are required on-site.

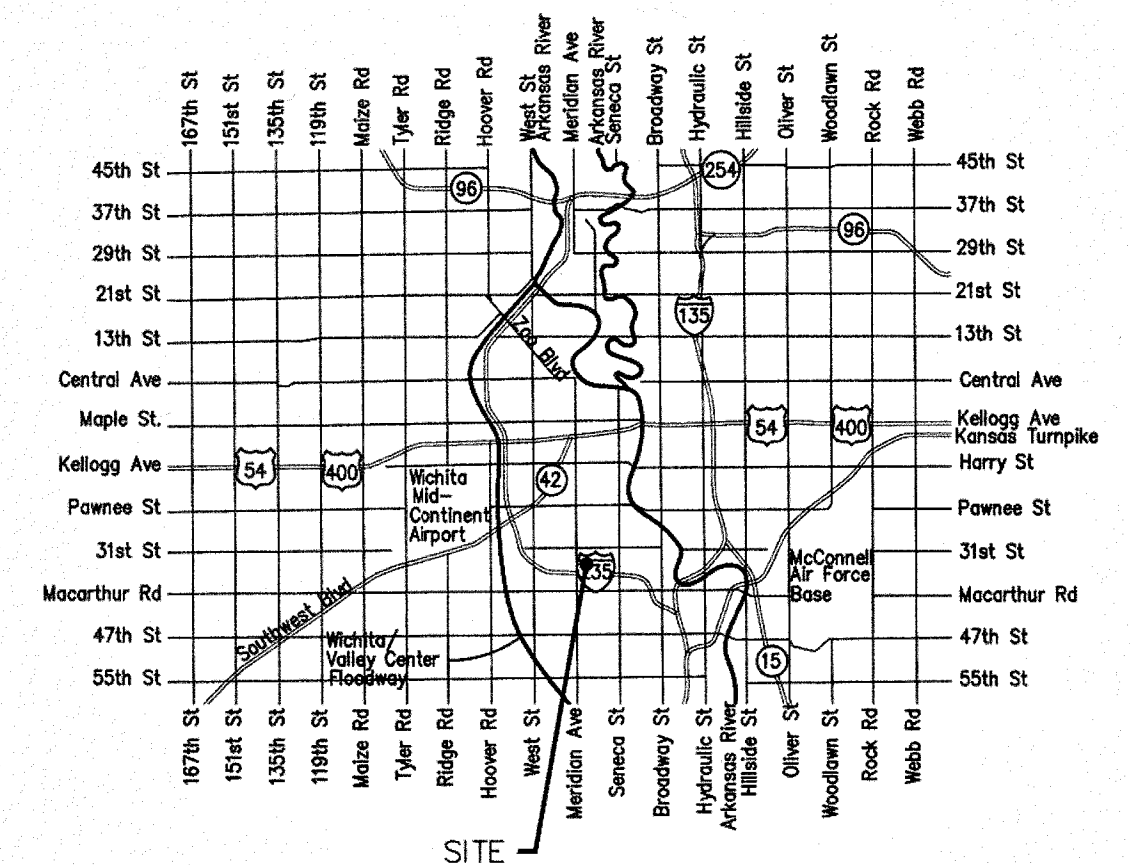


April 2018

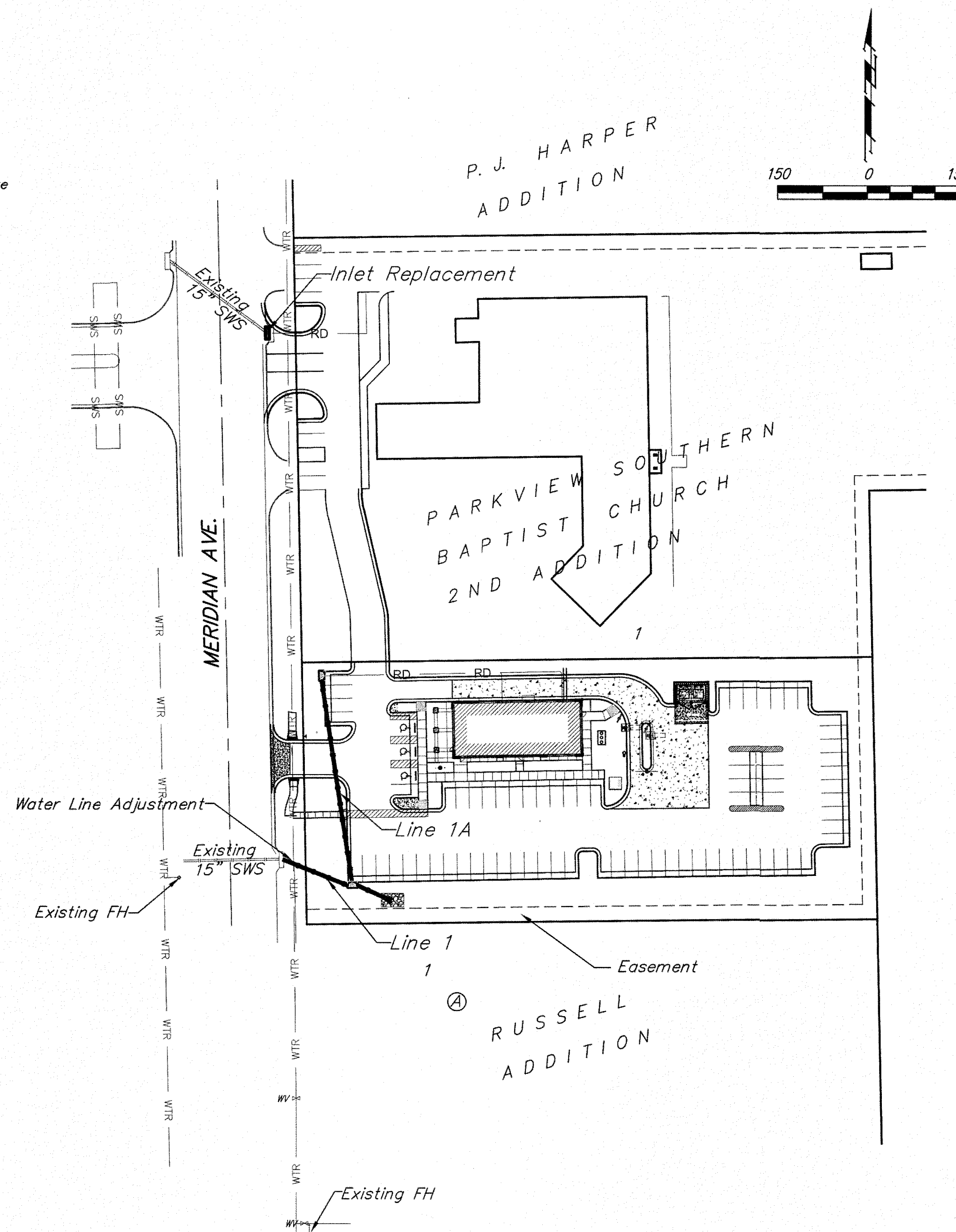


Baughman Company, P.A. 315 Ella St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

G:\Projects\Freddy's South Meridian\Engineering\Phase 1\PPD.dwg



Vicinity Map



Stormwater Certification:
New Development
These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.
Disturbed Area = 1.5 ac.
Water Quality Treatment: Offsite BMP Program
Downstream Channel Protection: N/A
Detention: N/A
The BMP used for this development is curb inlet protection, silt fence and construction entrance.

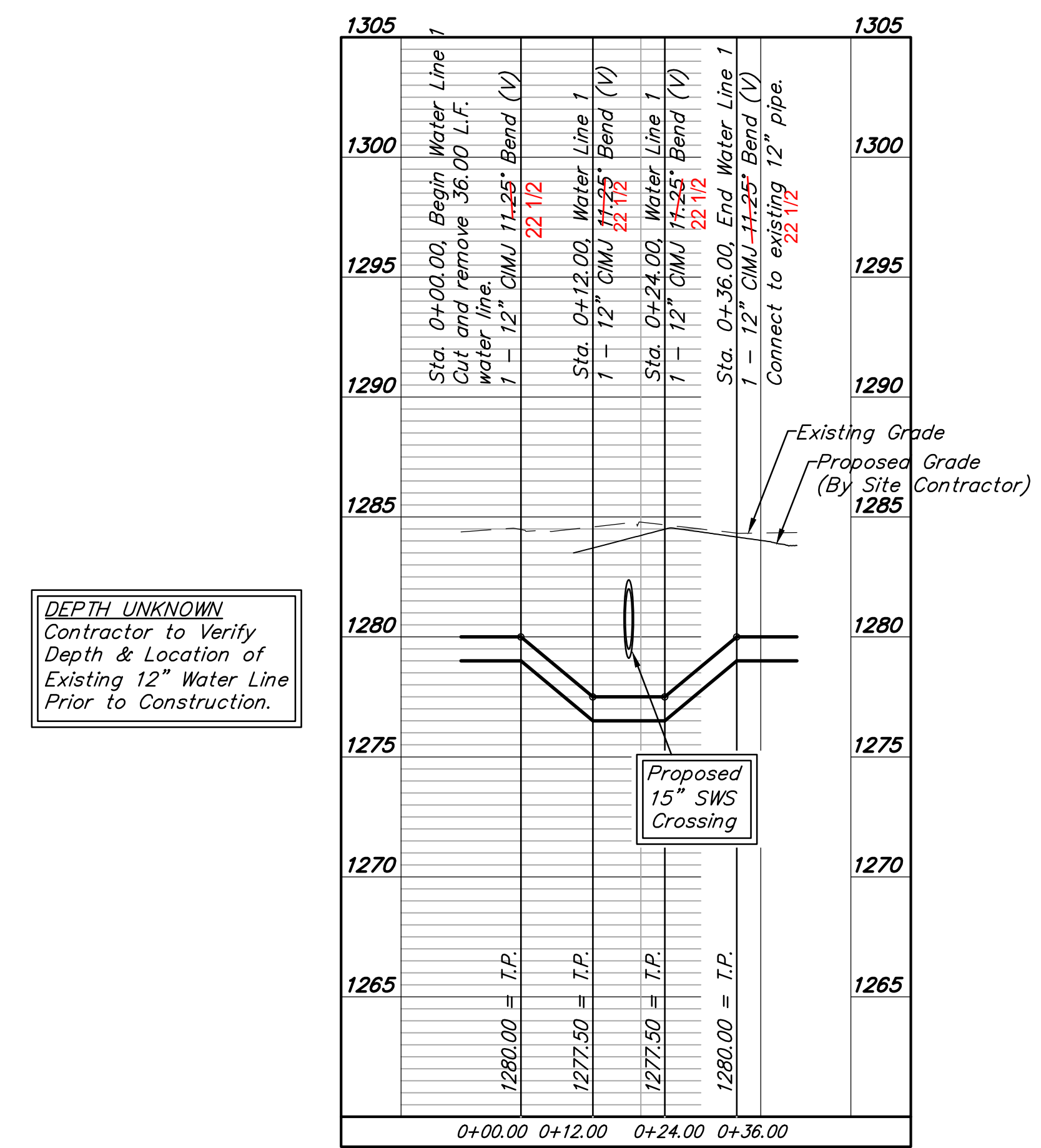
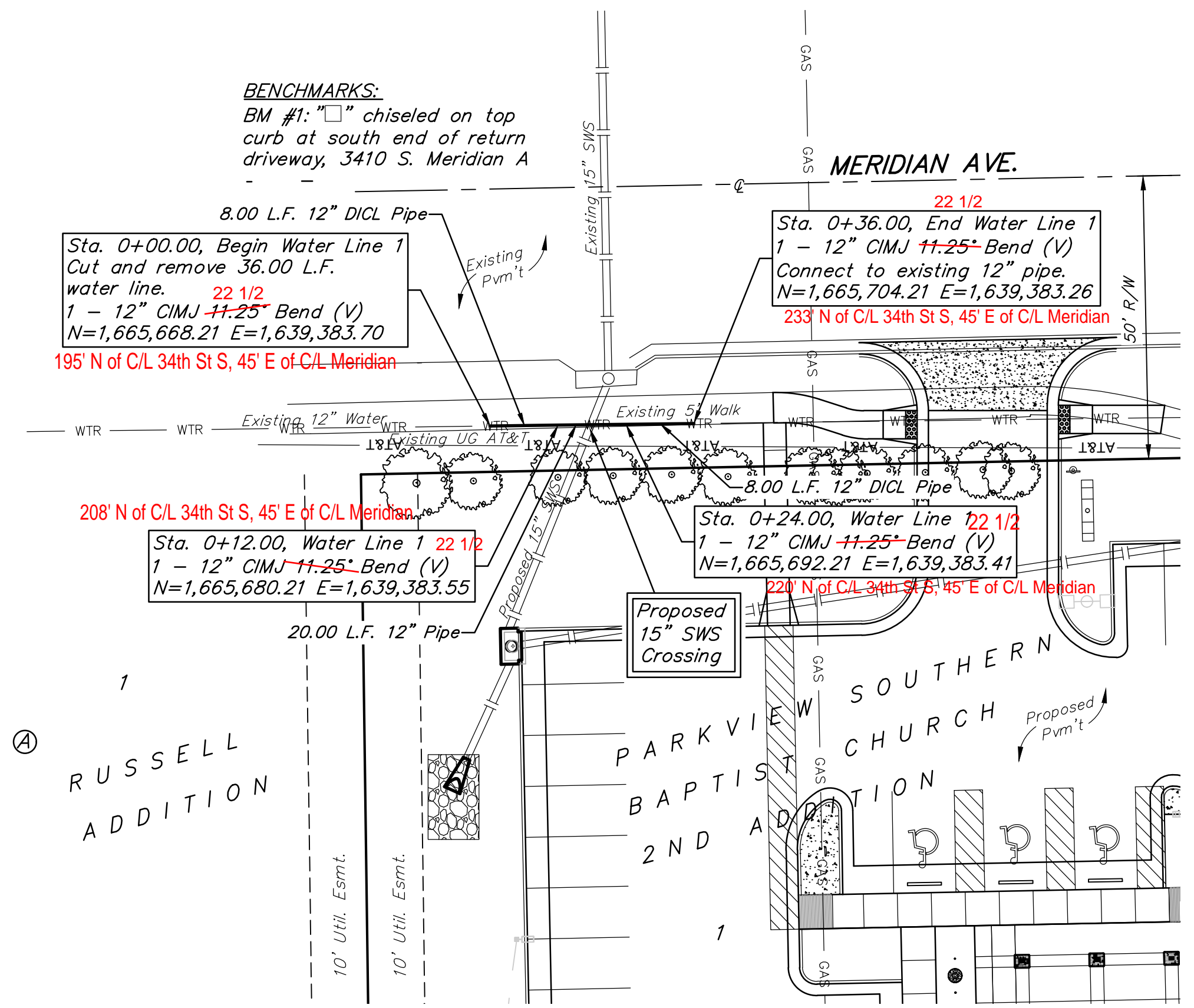
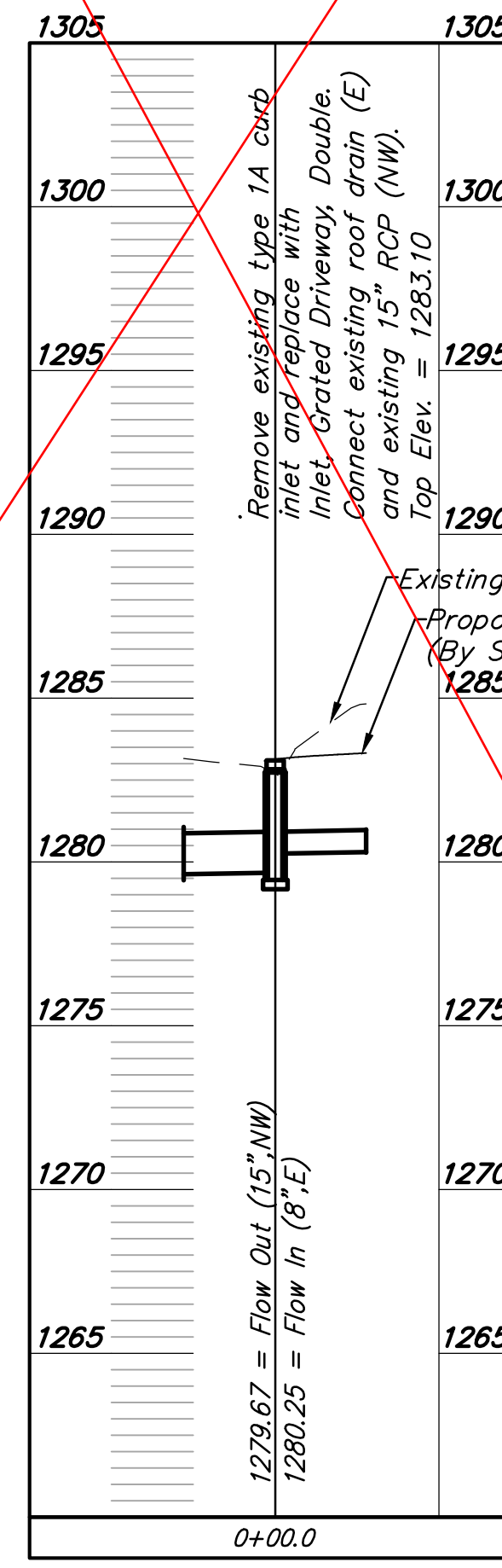
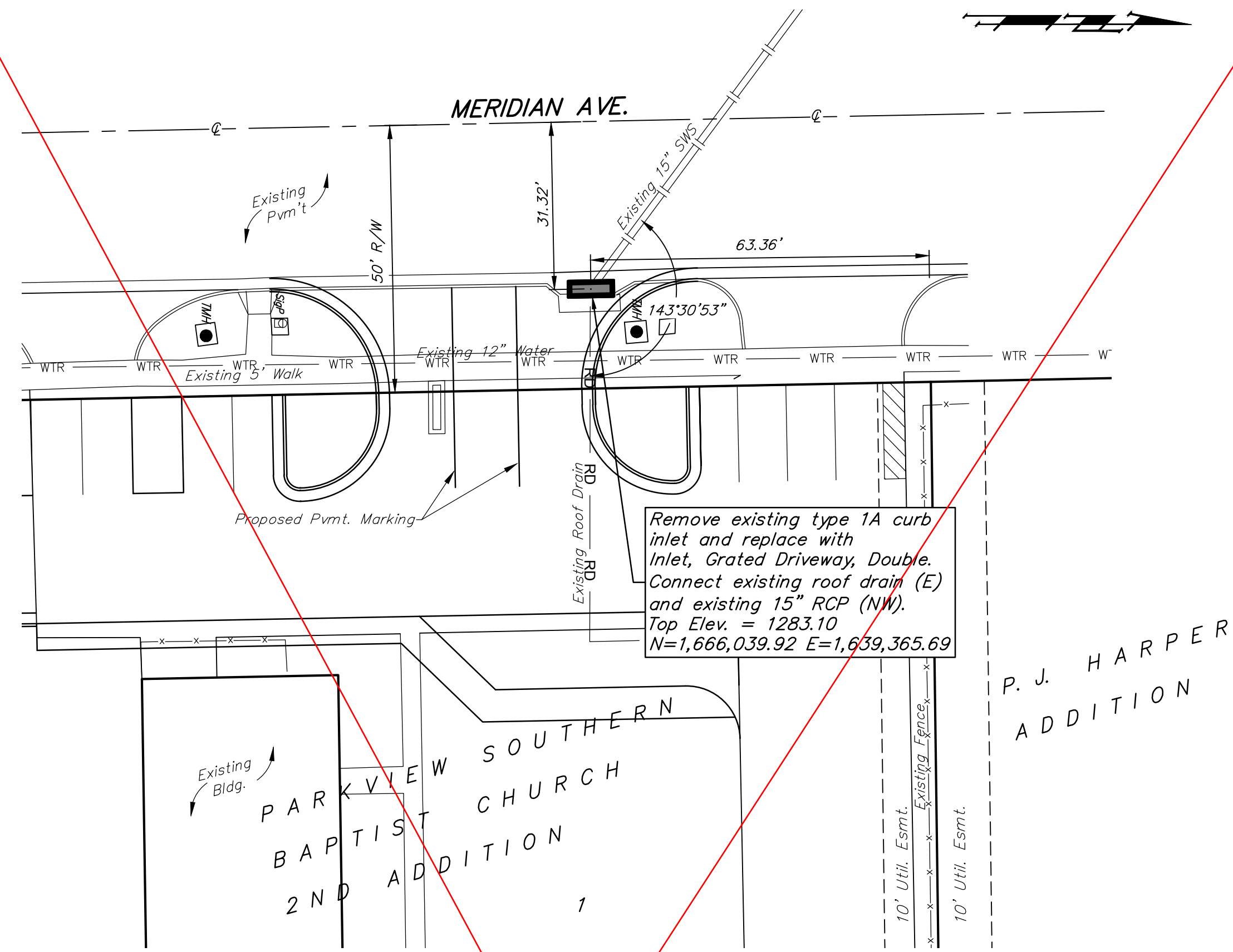
APPROVED AS NOTED
BY WICHITA PUBLIC WORKS ENGINEERING
AND STORMWATER DIVISION
Engineering Julianne Kallman 4-18-18
Stormwater Joe Heible PE 4-15-18
NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).

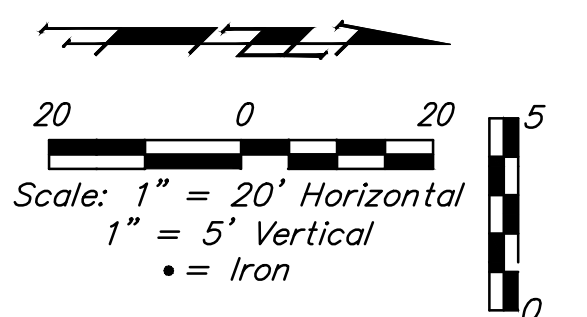
An approved copy of these plans signed by City staff are required on-site.

Elev. - 1283.78 (NAVD 88)

BM #2: "□" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elev. = 1282.43 (NAVD 88)



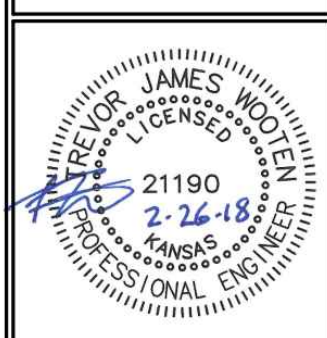
DEPTH UNKNOWN
Contractor to Verify
Depth & Location of
Existing 12" Water Line
Prior to Construction.





THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF WINTER ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.
DAH WINTER, ARCHITECT

FREDDY'S FROZEN CUSTARD SOUTH MERIDIAN WICHITA, KANSAS



WINTER ARCHITECTS
1024 EAST FIRST STREET
WICHITA, KS. 67214
PH. 316-267-7142

PROJECT ARCHITECT:

DATE
02/26/2018
02/28/2018

DRAWN BY:
CHECKED BY:

SHEET NO.
C3.0

Baughman Company, P.A.
115 E. WILSON ST. 2111 PARKWAY, SUITE 100
WICHITA, KANSAS 67202
ENGINEERING, SURVEYING, PLANNING, LANDSCAPE ARCHITECTURE
Baughman

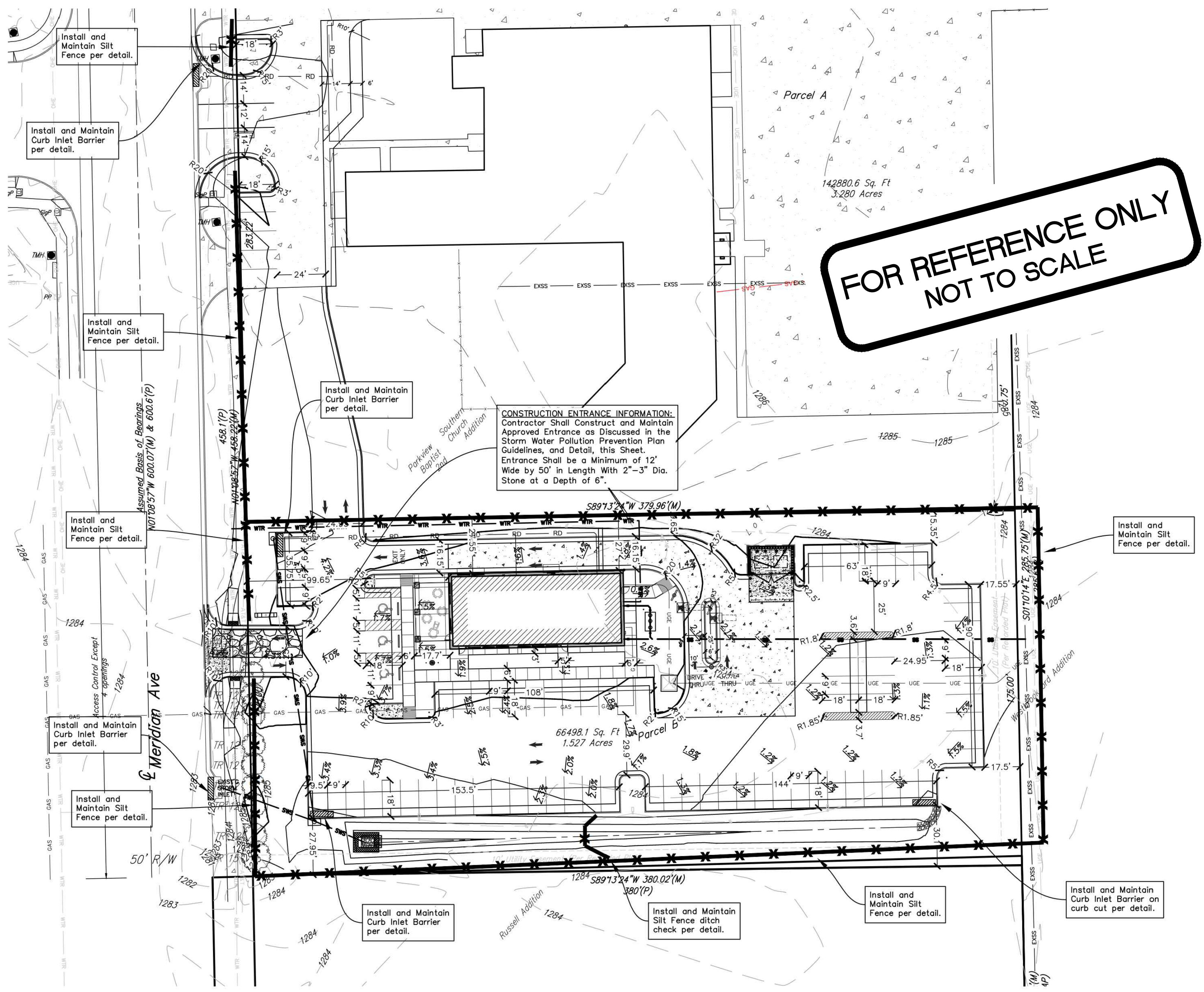
FREDDY'S FROZEN CUSTARD GRADING & EROSION CONTROL PLAN
STORM WATER SEWER IMPROVEMENTS

4 OF 5

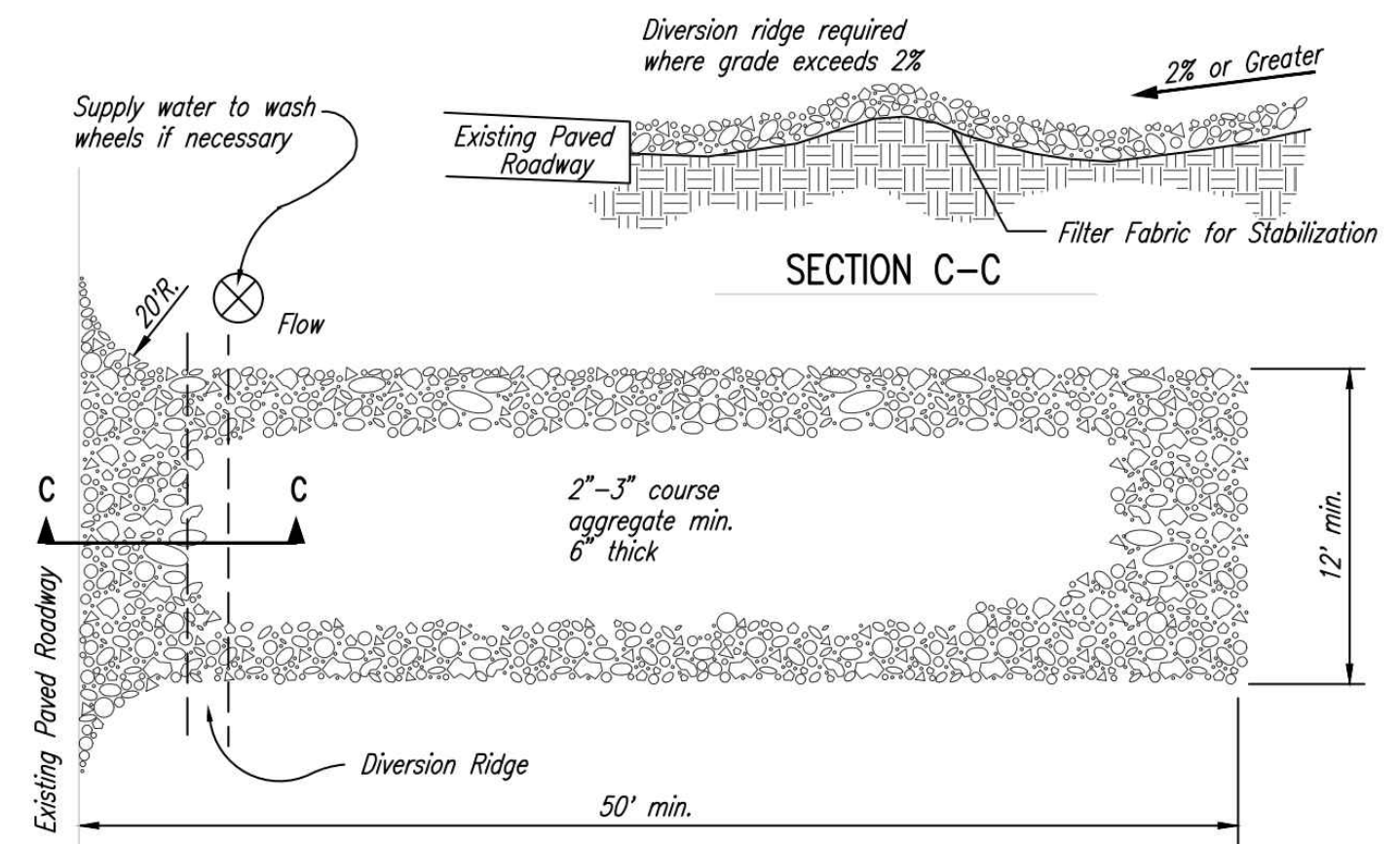
EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 21 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

FOR REFERENCE ONLY NOT TO SCALE

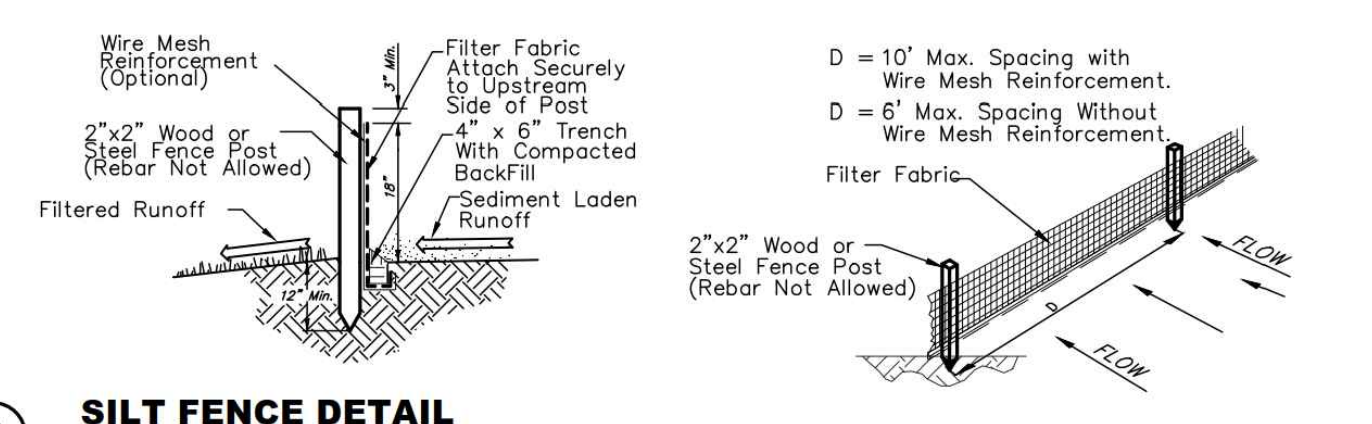


CONSTRUCTION ENTRANCE INFORMATION:
Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines, and Detail, this Sheet. Entrance Shall be a Minimum of 12' Wide by 50' in Length With 2"-3" Dia. Stone at a Depth of 6".

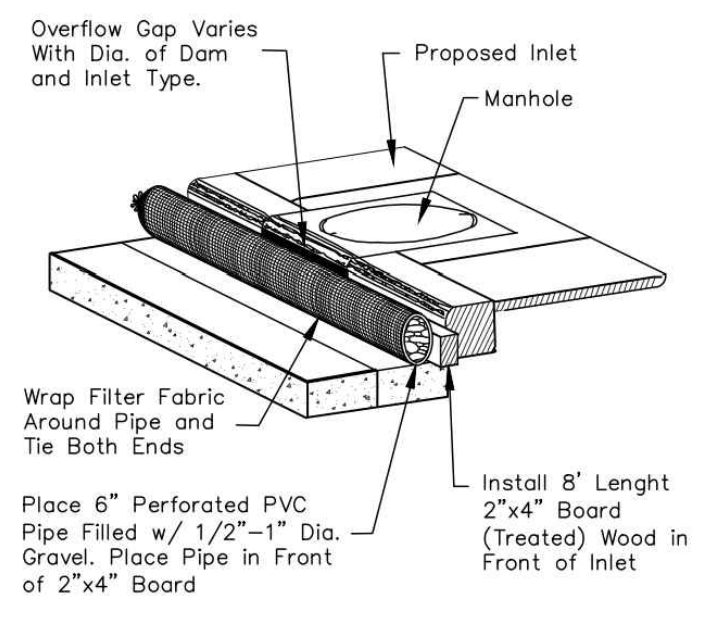


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

3 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



2 SILT FENCE DETAIL
NOT TO SCALE



1 TYPE 1 INLET PROTECTION
NOT TO SCALE

LEGAL DESCRIPTION

The south 175.00 feet of Lot 1, Parkview Southern Baptist Church 2nd Addition, Wichita, Kansas.

SITE INFORMATION

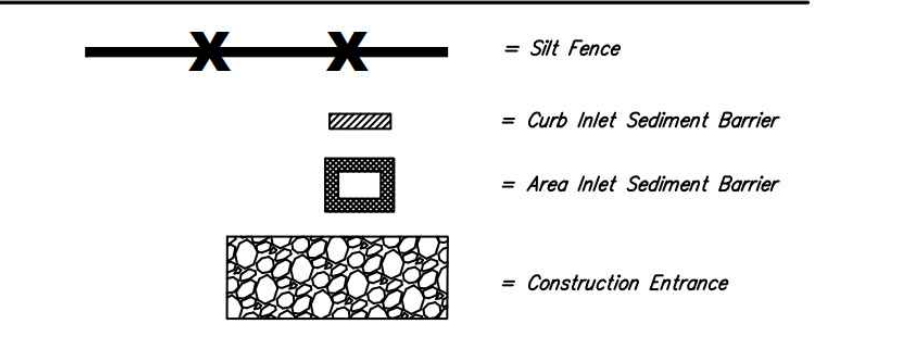
Total Area:	±66,498.1 sq. ft. (1.53 acres)
Disturbed Area:	±79,468.6 sq. ft. (1.82 acres)
Impervious Area, pre-const:	±0 sq. ft. (0 acres)
Impervious Area, post-const:	±43,000.9 sq. ft. (0.99 acres)

BENCHMARKS

- Site Benchmark - 1**
"1" chiseled on top of curb at south end of return of driveway, 3410 S. Meridian Ave. Elevation = 1,283.78 (NAVD 88)
- Site Benchmark - 2**
"2" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elevation = 1,282.43 (NAVD 88)

EROSION CONTROL PLAN
Scale 1" = 30' 0"

EROSION CONTROL LEGEND

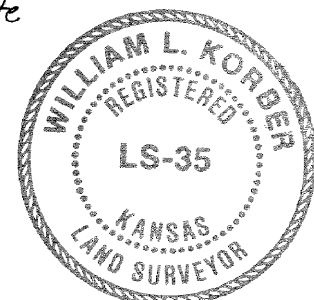


PARKVIEW SOUTHERN BAPTIST CHURCH 2ND ADDITION

WICHITA, KANSAS

State of Kansas } ss. We, Baughman Company, P.A.
Sedwick County }
Surveyors in aforesaid county and state do hereby
certify that we have surveyed and platted "PARKVIEW
SOUTHERN BAPTIST CHURCH 2ND ADDITION," Wichita,
Kansas, and that the accompanying plat is a true
and correct exhibit of the property surveyed de-
scribed as and being a replat of Block A, Parkview
Southern Baptist Church Addition, City of Wichita,
Sedwick County, Kansas, together with a tract
described as beginning at a point 435.1 feet north
and 30 feet east of the S.W. corner of the N.W. 1/4
of Sec. 7, Twp. 28-S, R-1-E of the 6th P.M., Sedwick
County, Kansas; thence east 400 feet; thence north
285.6 feet; thence west 400 feet; thence south 285.6
feet to the place of beginning.

3/8/83
Date
Baughman Company, P.A.
William L. Korber Surveyor
William L. Korber

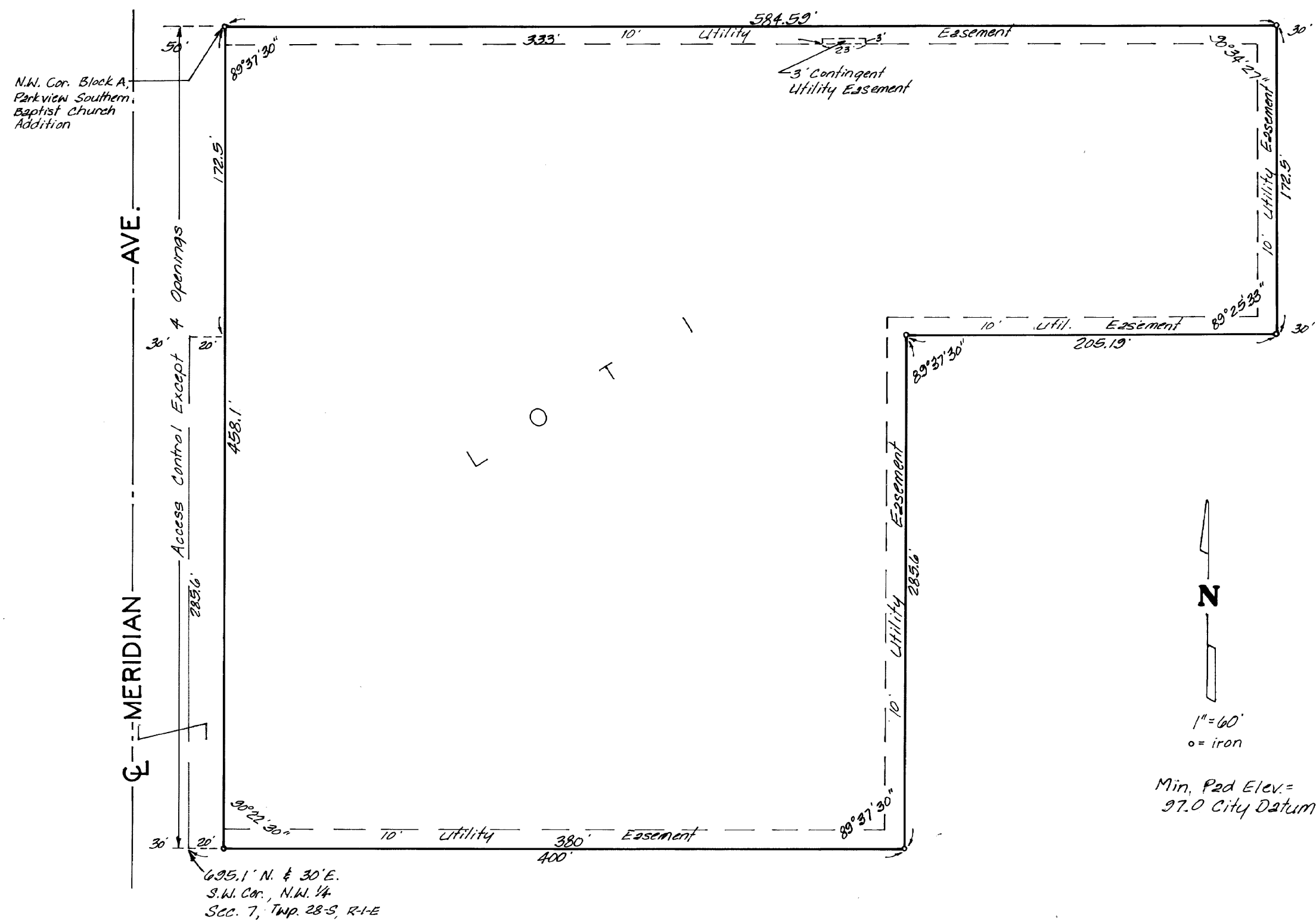
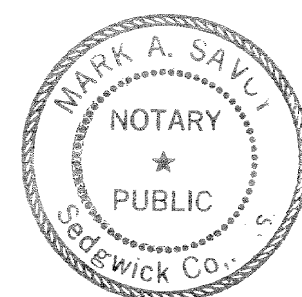


Know all men by these presents
that we, the undersigned, have caused the land de-
scribed in the surveyors certificate to be platted
into a lot and street to be known as "PARKVIEW
SOUTHERN BAPTIST CHURCH 2ND ADDITION,"
Wichita, Kansas. All abutters rights of access
to or from Meridian Ave. over and across the west
line of Lot 1 are hereby granted to the City of
Wichita, provided however, that Lot 1 shall have
access to Meridian Ave. at 4 points as shall be
determined by the City Engineer of the City of
Wichita, Kansas. The street is hereby dedicated
to and for the use of the public. The utility ease-
ments are hereby granted as indicated for the con-
struction and maintenance of all public utilities.
The contingent utility easement is hereby contingently
granted for construction and maintenance of all public
utilities, contingent upon the removal or destruction
of the existing garage or upon the city or any utility
company's need for the easement. This contingent ease-
ment grant shall be a covenant running with the land
and shall be binding on all heirs and subsequent
owners of that part of subject property by said con-
tingent easement. No structure shall be constructed
below a minimum pad elevation of 97.0 City Datum.

Parkview Southern Baptist Church, a Kansas Corporation
Clyde E. McClain President
Clyde E. McClain

State of Kansas } ss. Be it remembered that on this
Sedwick County }
8th day of March 1983, before me, a notary
public in and for said county and state, came Clyde
E. McClain, President of Parkview Southern Baptist
Church, a Kansas Corporation, on behalf of the cor-
poration.

Mark A. Savoy Notary Public
Mark A. Savoy
My App. Exp. 12 May 1984



FOR REFERENCE ONLY
NOT TO SCALE

This plat of "PARKVIEW SOUTHERN
BAPTIST CHURCH 2ND ADDITION," Wichita, Kansas, has
been submitted to and approved by the Wichita-Sed-
wick County Metropolitan Area Planning Commission,
Wichita, Kansas.

Dated this 13th day of January 1983.

Wichita-Sedwick County Metropolitan Area Planning
Commission

Robert A. Lakin Chairman
Robert A. Lakin
Robert A. Lakin Secretary
Robert A. Lakin

This plat approved and all dedi-
cations shown hereon accepted by the Board of Com-
missioners of Sedwick County, Kansas, this 6th
day of April 1983.

Jack Spratt Chairman
Jack Spratt
Tom Scott Commissioner
Tom Scott
Donald E. Grogg Commissioner
Donald E. Grogg
Corothy K. White County Clerk
Corothy K. White

Entered on transfer record this
6th day of April 1983.

Corothy K. White County Clerk
Corothy K. White

This plat approved and all dedi-
cations shown hereon accepted by the Board of
Commissioners of the City of Wichita, Kansas, this
22nd day of MARCH 1983.

Robert J. Ehrig Mayor
Robert J. Ehrig
Donald C. Grifick City Clerk
Donald C. Grifick

State of Kansas } ss. This is to certify that this plat
Sedwick County }
has been filed for record in the office of the
Register of Deeds, this 7th day of April 1983,
at 10 o'clock A M; and is duly recorded.

624895
Bette F. McCart Register of Deeds
Bette F. McCart
Ed Resa Deputy
Ed Resa

20.00

R-1 7-19

R-1 7-29