

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water & Sewer 1-316-219-8921  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractor's responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at last structure in the easement or right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top of the manhole.
- Geotechnical report available upon request.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

## Benchmarks

BM #1: "□" chiseled on top of curb at south end of return of driveway, 3410 S. Meridian Ave. Elev. = 1283.78 (NAVD 88)

BM #2: "□" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elev. = 1282.43 (NAVD 88)

# STORM SEWER IMPROVEMENTS & WATER LINE ADJUSTMENTS

## to serve FREDDY'S FROZEN CUSTARD

S. MERIDIAN AVE.  
CITY OF WICHITA, KANSAS

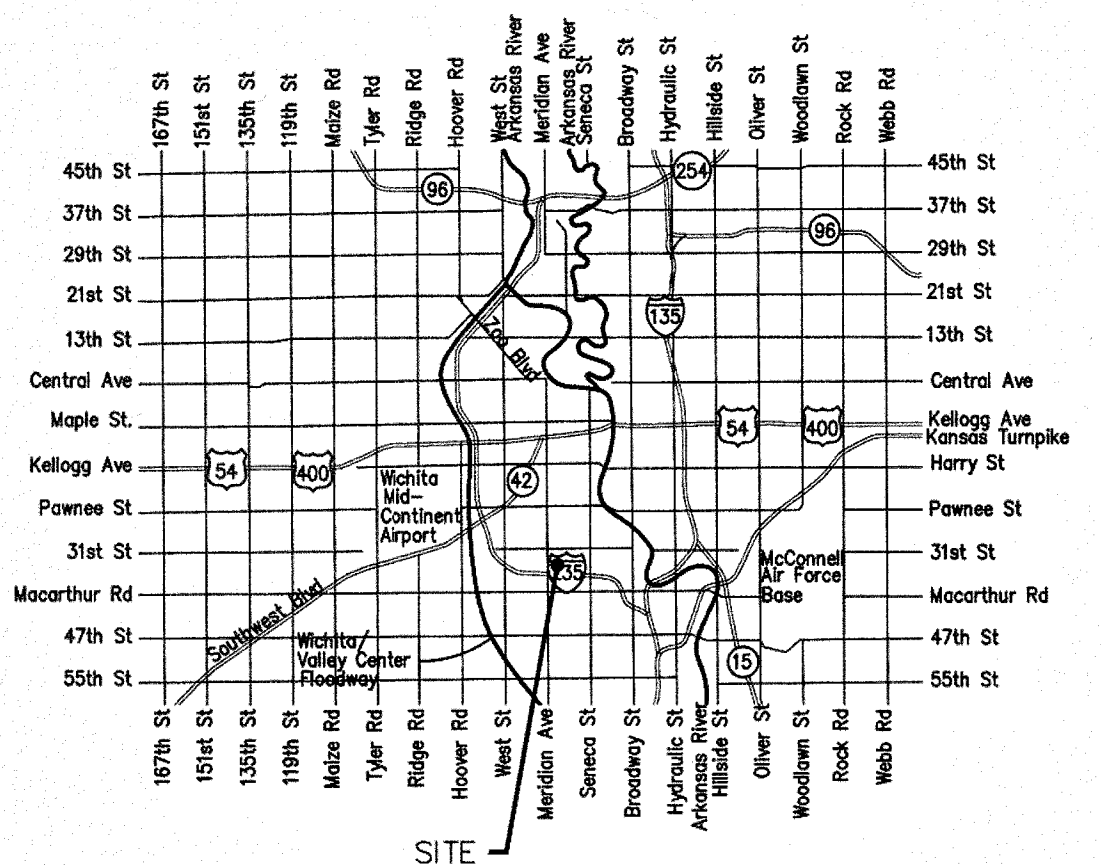
Gary Janzen, P.E. City Engineer

Project Number  
0510 PPD (133119)  
2134 PPW (183021)

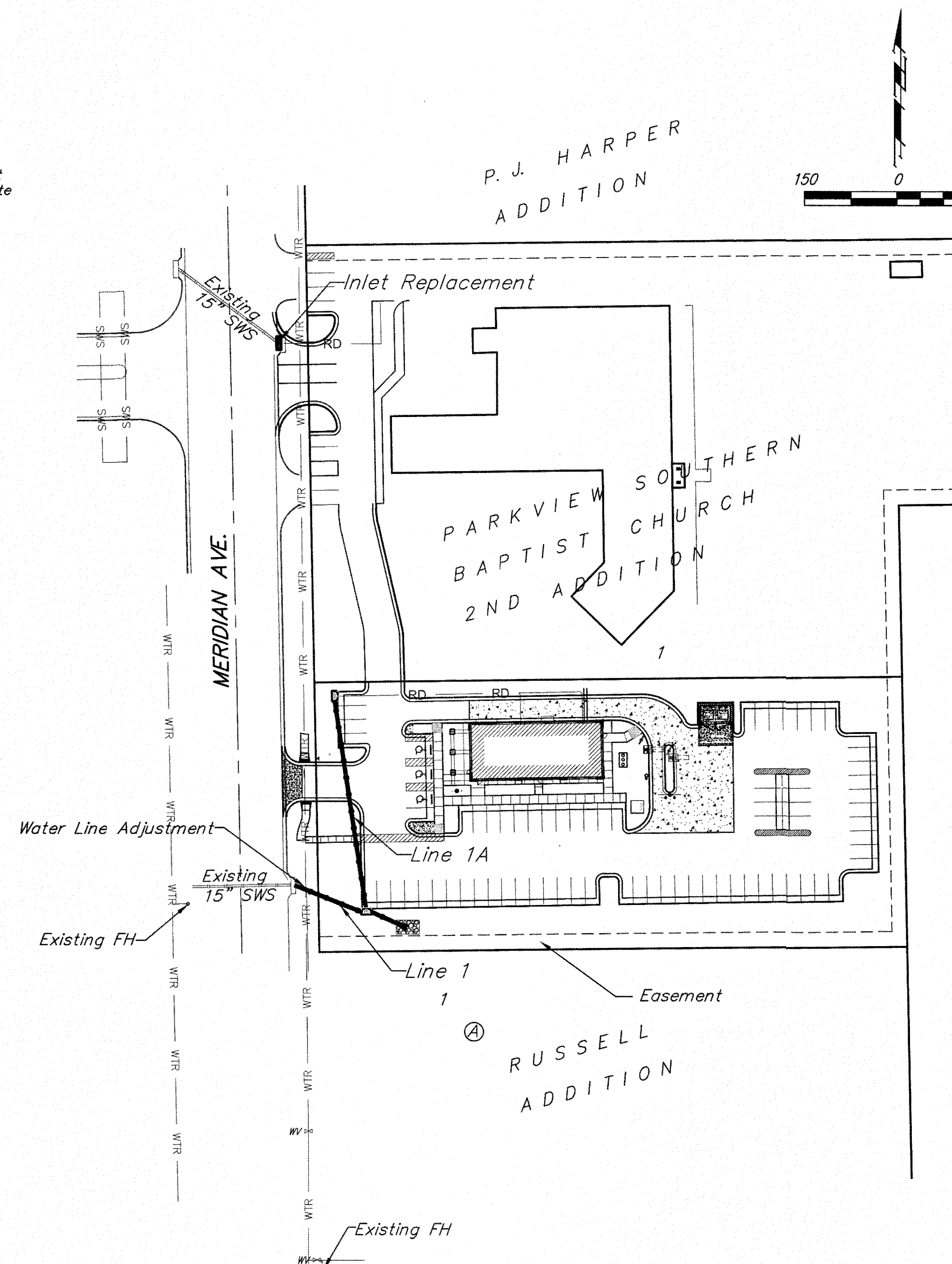
## Sheet Index

Title Sheet	1
Lines 1&1A	2
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SWS Details SW-101, SW-109,  
SW-401, and Erosion Control  
Details available at City of Wichita  
web site at  
<http://www.wichita.gov/PWU/StandardsConstruction/Forms/WebPageStandardsConstruction.aspx>



SITE  
Vicinity Map



APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION  
& BY WICHITA FIRE DEPARTMENT

Engineering *Julianne Kallman* 4-18-18  
Utilities *Greg Kelly* 4-18-18  
Fire Dept. *[Signature]* 4-24-18

NOTE TO CONTRACTORS

Public Property:  
Inspection and testing for the waterline is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Professional Engineer Licensed in the state of Kansas. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the City of Wichita Specifications and Standards and Special Provisions (on file and available in the City Engineer's Office) or on the City's Website.

Private Property:  
Installation and testing for the fire protection line is to be performed by a City of Wichita licensed fire protection contractor in accordance with the fire codes as adopted by the City of Wichita. All material and construction practices for the fire protection line shall comply with the fire codes as adopted by the City of Wichita (available from the City of Wichita Fire Department). The Contractor shall not commence work without notification and approval of the Wichita Fire Department. Inspection of the fire protection line is to be provided by a Licensed Engineering Firm under contract with the Owner/Developer and the Fire Department. The contractor shall not start work until the project inspector is assigned to the project and present on the site. Any work done without inspection will be required to be uncovered for inspection.

An approved copy of these plans signed by City staff are required on-site.

Stormwater Certification:  
New Development

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

Disturbed Area = 1.5 ac.  
Water Quality Treatment: Offsite BMP Program  
Downstream Channel Protection: N/A  
Detention: N/A  
The BMP used for this development is curb inlet protection, silt fence and construction entrance.

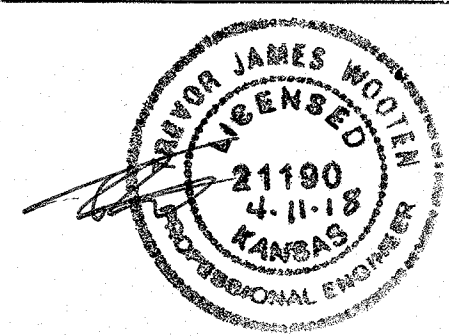
APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS ENGINEERING  
AND STORMWATER DIVISION

Engineering *Julianne Kallman* 4-18-18  
Stormwater *Joe Hrabie PE* 4-13-18

NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection is to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).

An approved copy of these plans signed by City staff are required on-site.

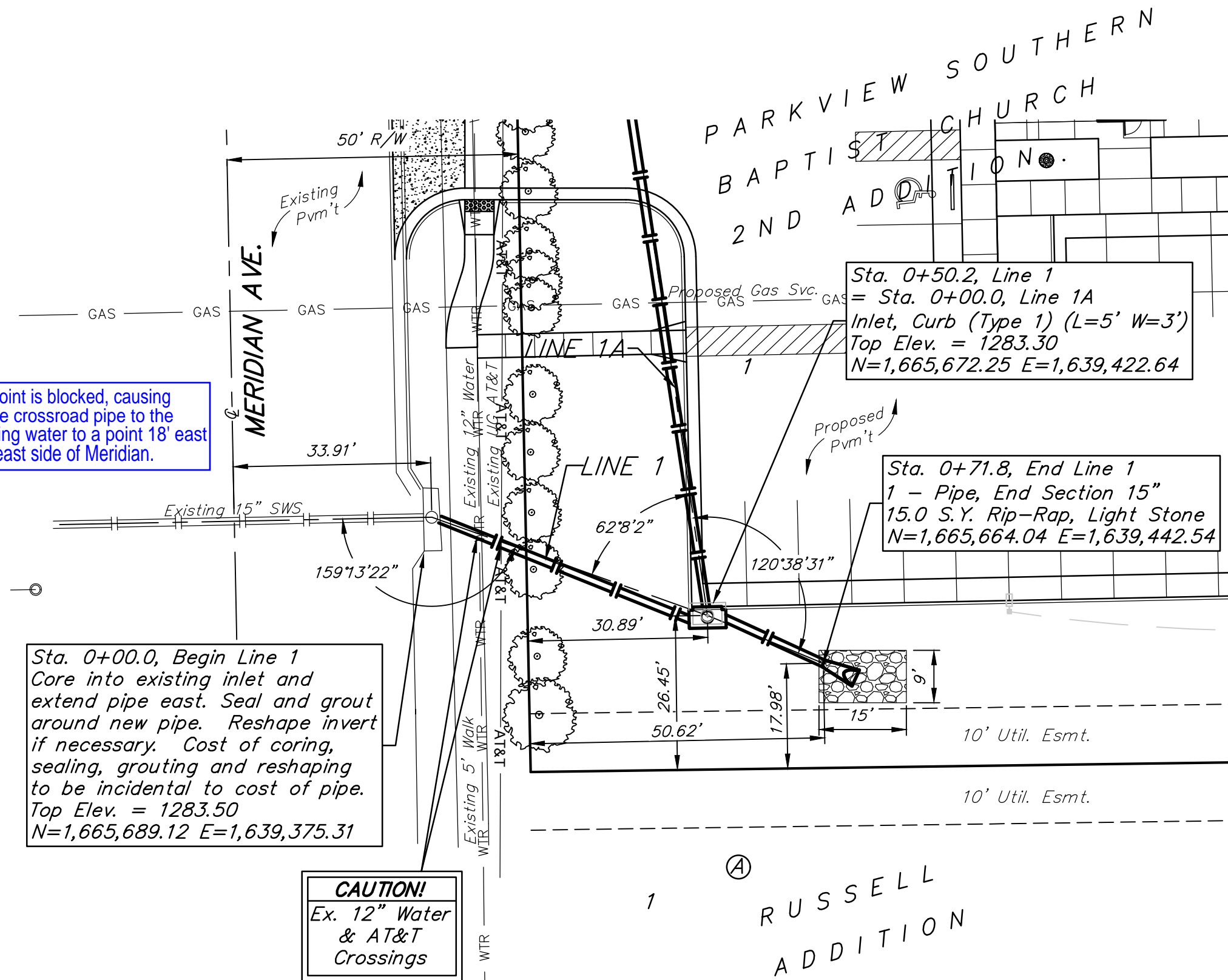


**BENCHMARKS:**

BM #1: "□" chiseled on top of curb at south end of return of driveway, 3410 S. Meridian Ave. Elev. = 1283.78 (NAVD 88)

BM #2: "□" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elev. = 1282.43 (NAVD 88)

Note: Down-stream discharge point is blocked, causing water and sand to back up in the crossroad pipe to the point that the new pipe is standing water to a point 18' east of the existing curb inlet on the east side of Meridian.

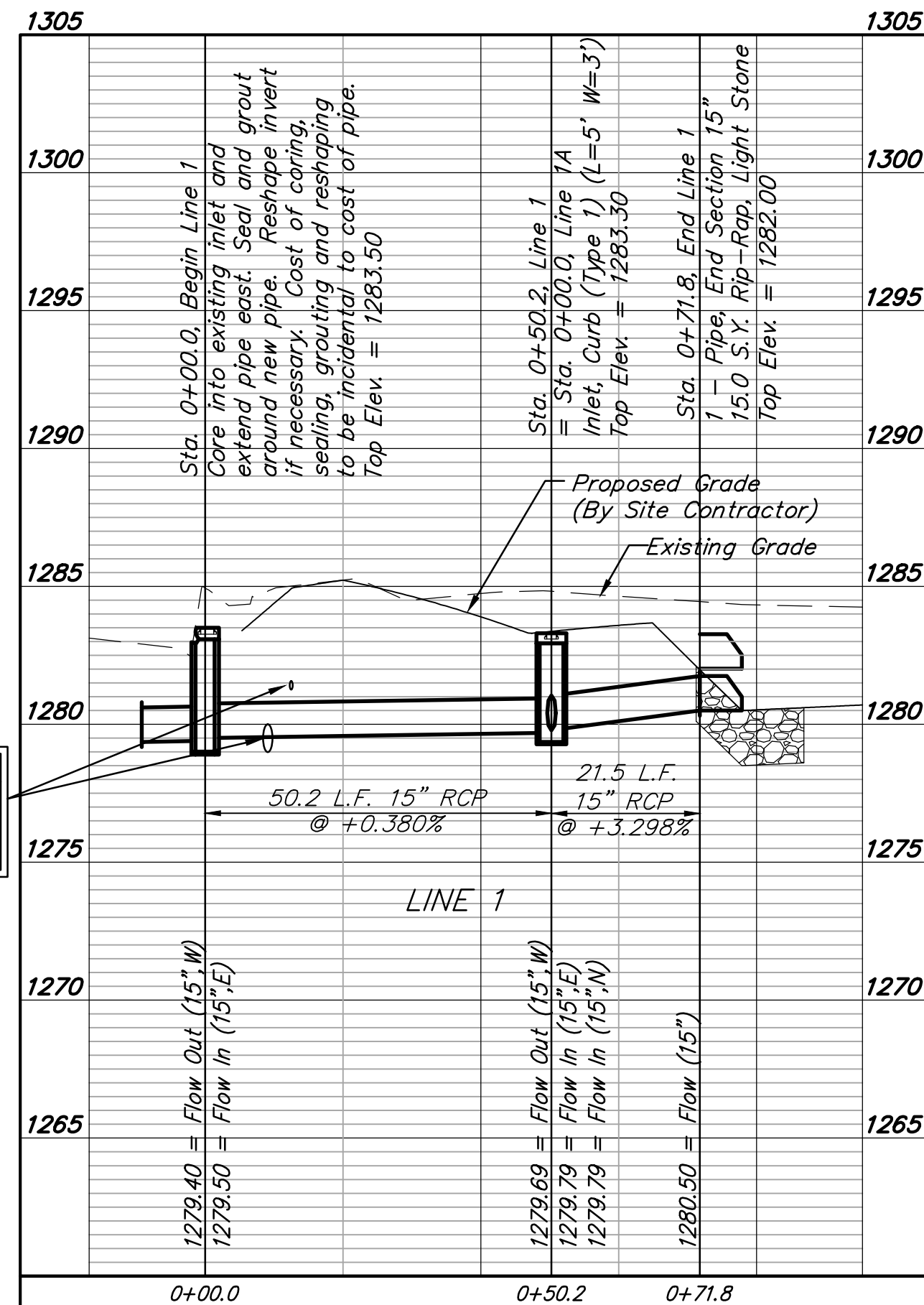


Sta. 0+00.0, Begin Line 1  
Core into existing inlet and extend pipe east. Seal and grout around new pipe. Reshape invert if necessary. Cost of coring, sealing, grouting and reshaping to be incidental to cost of pipe.  
Top Elev. = 1283.50  
N=1,665,689.12 E=1,639,375.31

Sta. 0+50.2, Line 1 = Sta. 0+00.0, Line 1A  
Inlet, Curb (Type 1) (L=5' W=3')  
Top Elev. = 1283.30  
N=1,665,672.25 E=1,639,422.64

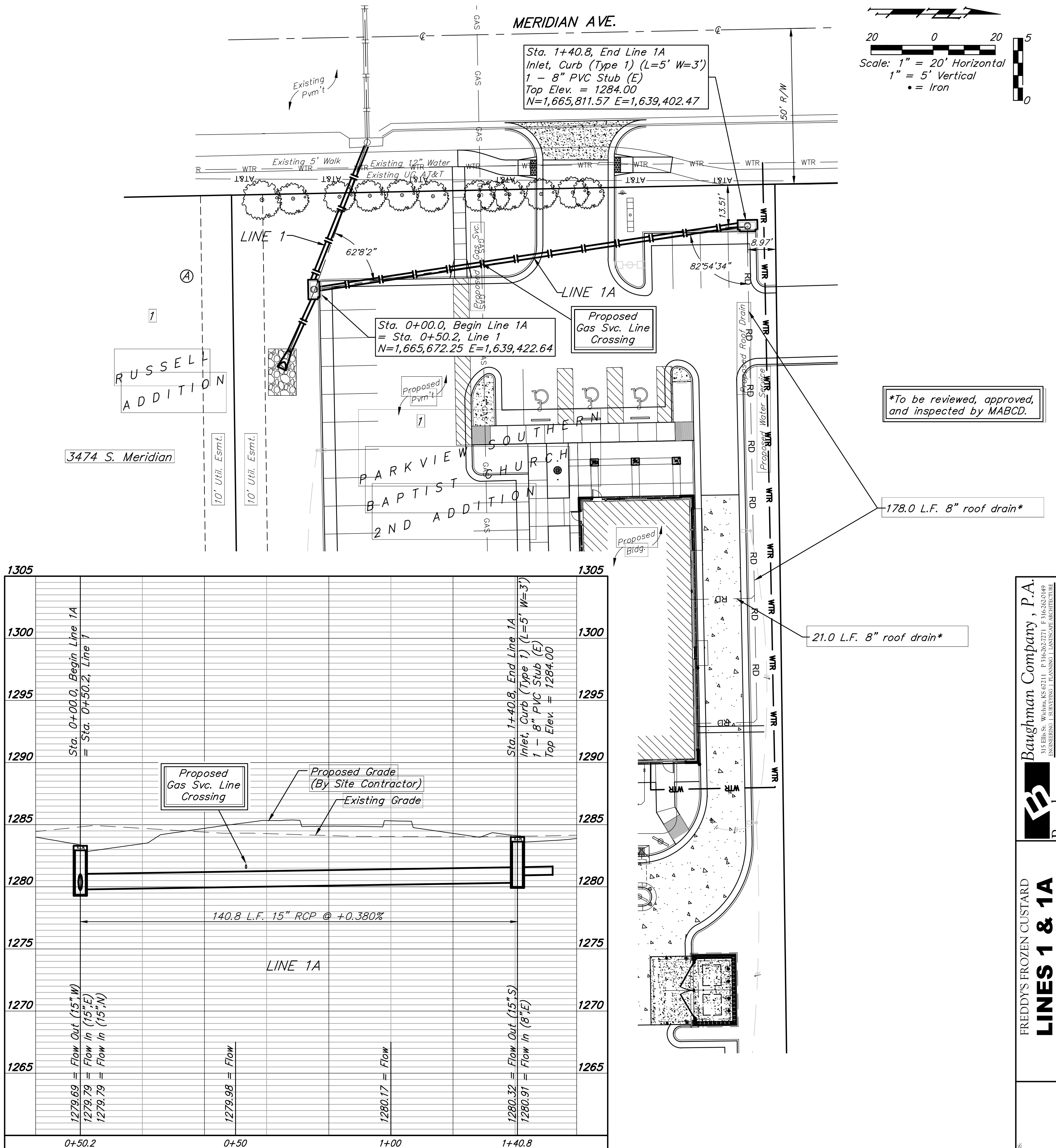
Sta. 0+71.8, End Line 1  
1 - Pipe, End Section 15"  
15.0 S.Y. Rip-Rap, Light Stone  
N=1,665,664.04 E=1,639,442.54

**CAUTION!**  
Ex. 12" Water & AT&T Crossings



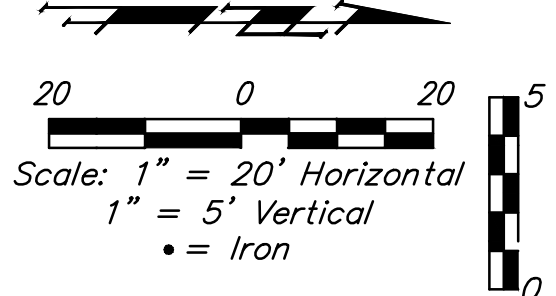
**CAUTION!**  
Ex. 12" Water\* & AT&T Crossings

\* Water line to be lowered, see sheet 3.



Sta. 1+40.8, End Line 1A  
Inlet, Curb (Type 1) (L=5' W=3')  
1 - 8" PVC Stub (E)  
Top Elev. = 1284.00  
N=1,665,811.57 E=1,639,402.47

Sta. 0+00.0, Begin Line 1A = Sta. 0+50.2, Line 1  
N=1,665,672.25 E=1,639,422.64



\*To be reviewed, approved, and inspected by MABCD.

178.0 L.F. 8" roof drain\*

21.0 L.F. 8" roof drain\*

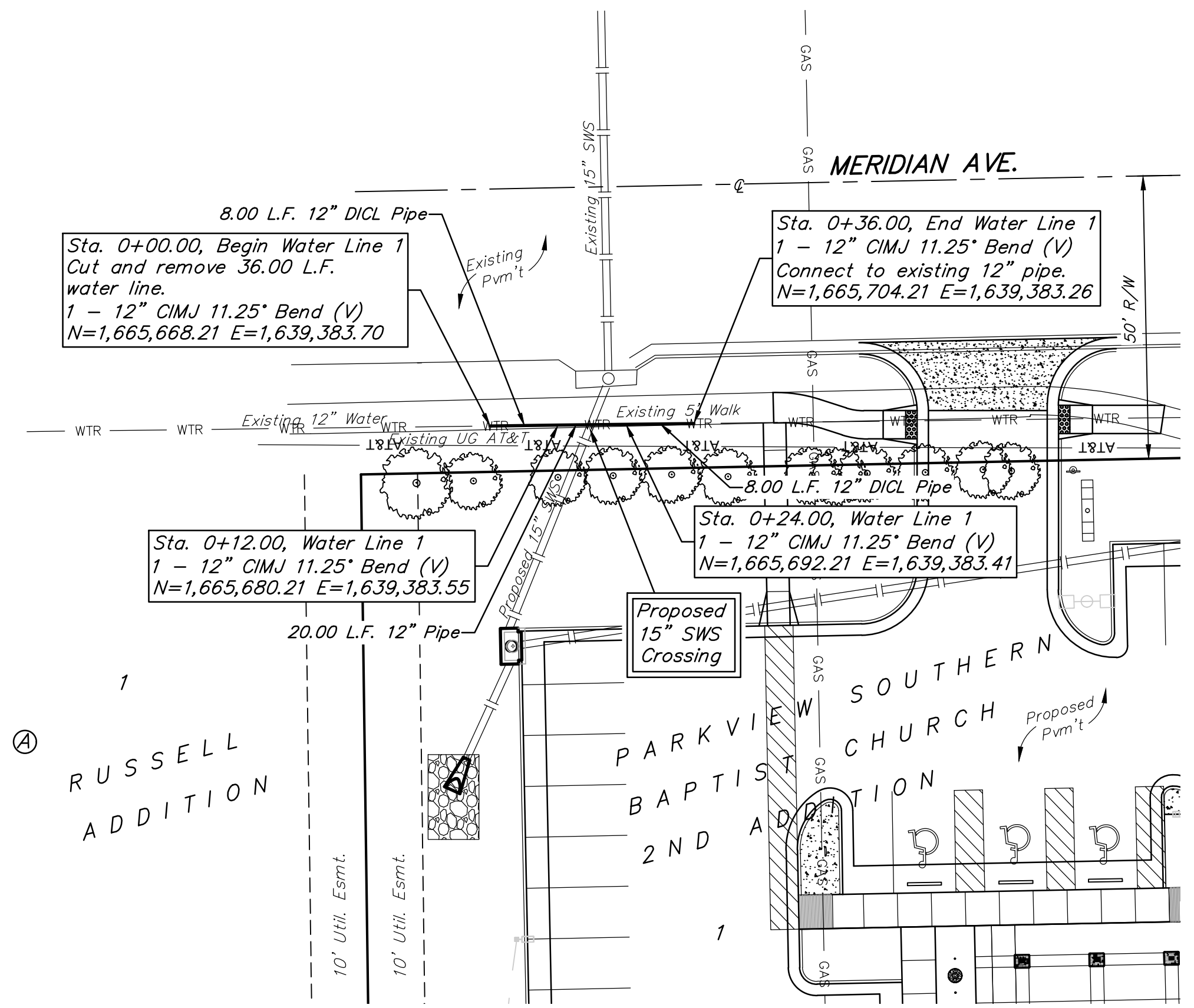
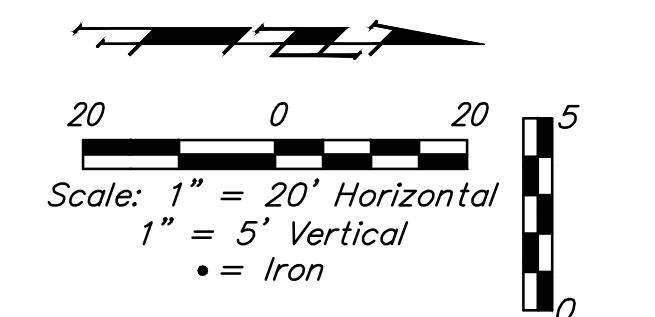
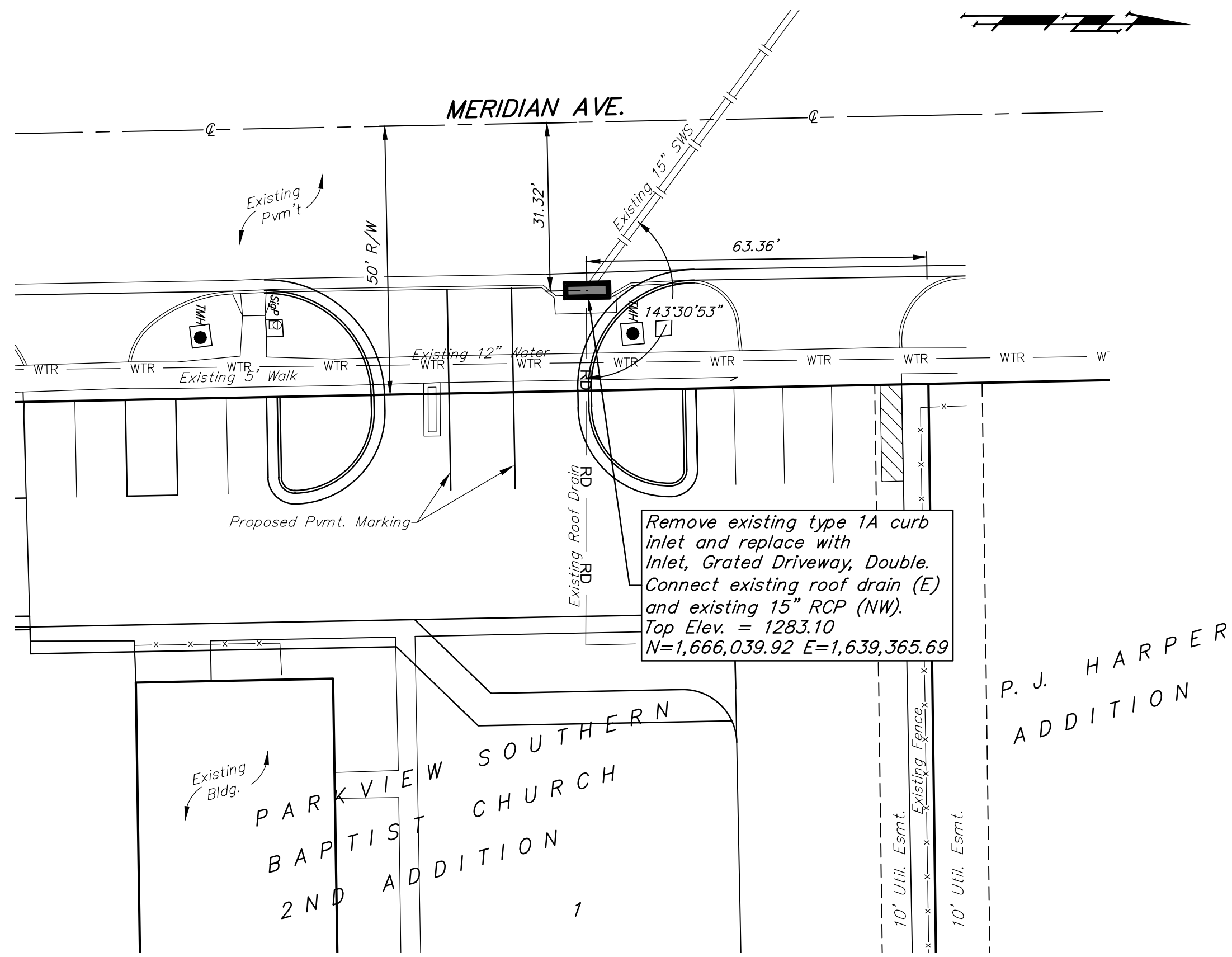
**Baughman Company, P.A.**  
Professional Engineer  
1400 S. Meridian Ave., Suite 100  
Meridian, MS 39307  
Phone: 662-344-1111  
Fax: 662-344-1112  
www.baughman.com

FREDDY'S FROZEN CUSTARD  
**LINES 1 & 1A**  
STORM WATER SEWER IMPROVEMENTS

**BENCHMARKS:**

BM #1: "□" chiseled on top of curb at south end of return at driveway, 3410 S. Meridian Ave. Elev. = 1283.78 (NAVD 88)

BM #2: "□" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elev. = 1282.43 (NAVD 88)



Station	Notes
1305	
1300	
1295	
1290	Remove existing type 1A curb inlet and replace with Inlet, Grated Driveway, Double. Connect existing roof drain (E) and existing 15" RCP (NW). Top Elev. = 1283.10
1285	
1280	
1275	
1270	
1265	
0+00.0	

Existing Grade  
Proposed Grade  
(By Site Contractor)

**DEPTH UNKNOWN**  
Contractor to Verify Depth & Location of Existing 12" Water Line Prior to Construction.

Station	Notes
1305	
1300	
1295	
1290	
1285	
1280	
1275	
1270	
1265	
0+00.00	
0+12.00	
0+24.00	
0+36.00	

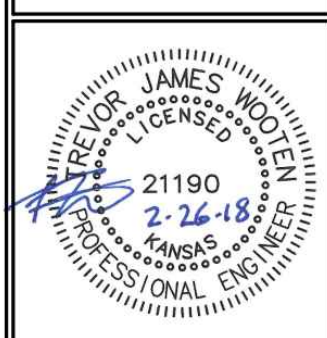
Existing Grade  
Proposed Grade  
(By Site Contractor)



THE DESIGN AND DETAILS DISCLOSED HEREIN ARE THE EXCLUSIVE PROPERTY OF WINTER ARCHITECTS INC. AND SHALL NOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT ITS PRIOR WRITTEN CONSENT.

DAH WINTER, ARCHITECT

**FREDDY'S FROZEN CUSTARD SOUTH MERIDIAN WICHITA, KANSAS**



**WINTER ARCHITECTS**  
1024 EAST FIRST STREET  
WICHITA, KS. 67214  
PH. 316-267-7142

**PROJECT ARCHITECT:**

**DATE**  
02/26/2018  
02/28/2018

**DRAWN BY:**  
**CHECKED BY:**

**SHEET NO.**  
**C3.0**

**Baughman Company, P.A.**  
115 E. WILSON ST. 21110  
ENGINEERING, SURVEYING, PLANNING, LANDSCAPE ARCHITECTURE  
Baughman

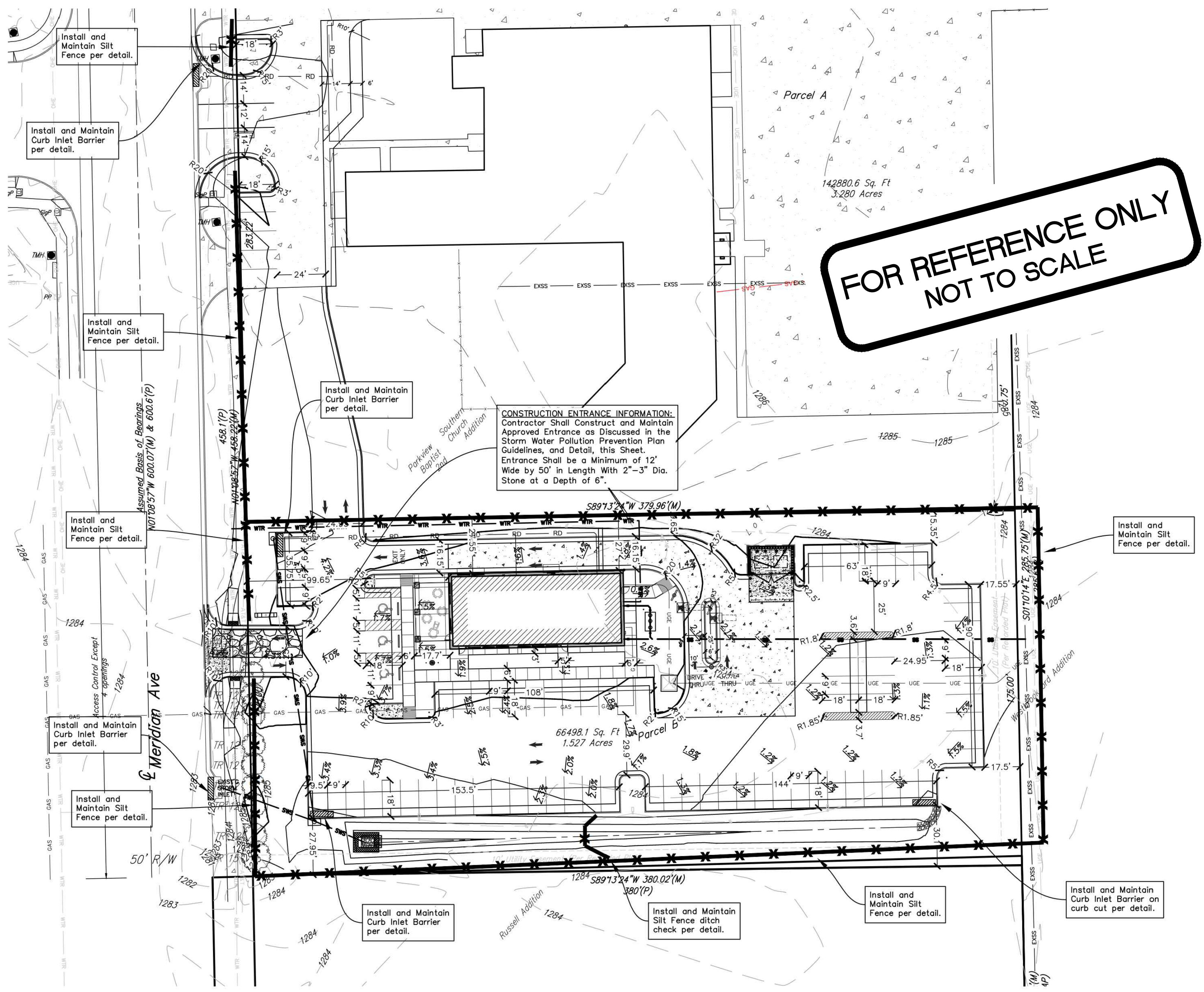
FREDDY'S FROZEN CUSTARD  
**GRADING & EROSION CONTROL PLAN**  
STORM WATER SEWER IMPROVEMENTS

4  
OF  
5

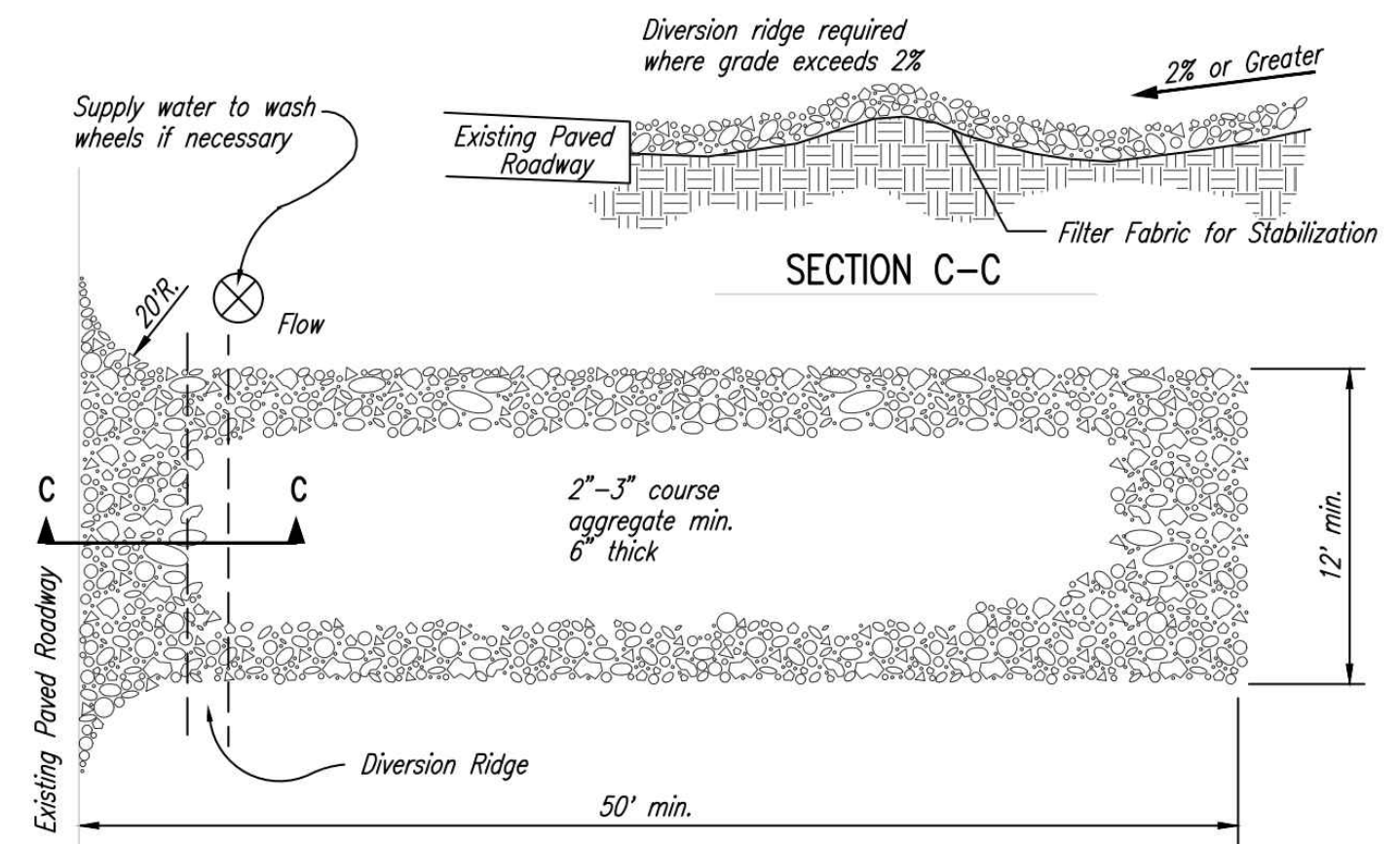
**EROSION CONTROL NOTES**

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
- All exposed areas shall be seeded as specified within 21 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

**FOR REFERENCE ONLY  
NOT TO SCALE**

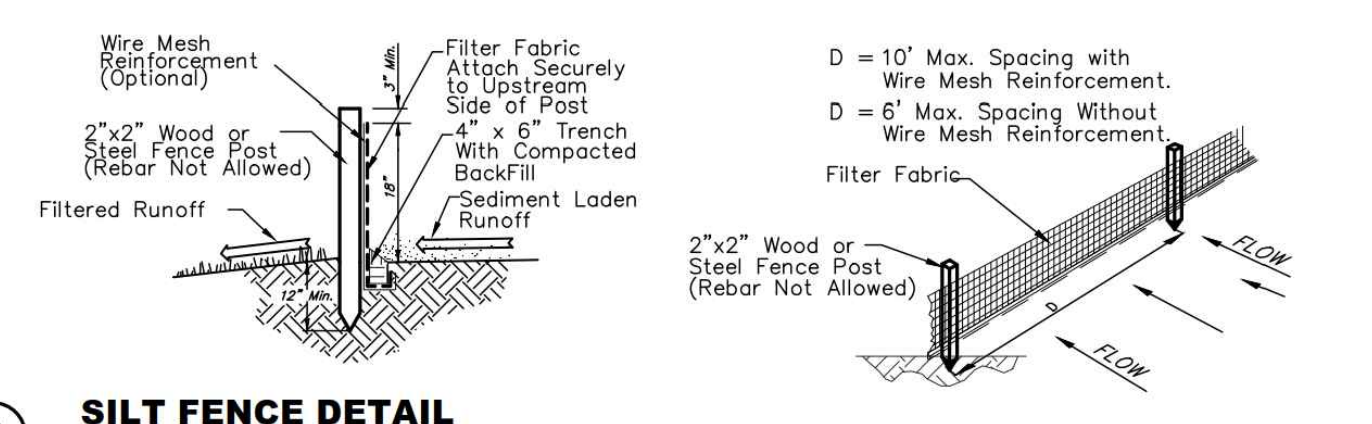


**CONSTRUCTION ENTRANCE INFORMATION:**  
Contractor Shall Construct and Maintain Approved Entrance as Discussed in the Storm Water Pollution Prevention Plan Guidelines, and Detail, this Sheet. Entrance Shall be a Minimum of 12' Wide by 50' in Length With 2"-3" Dia. Stone at a Depth of 6".

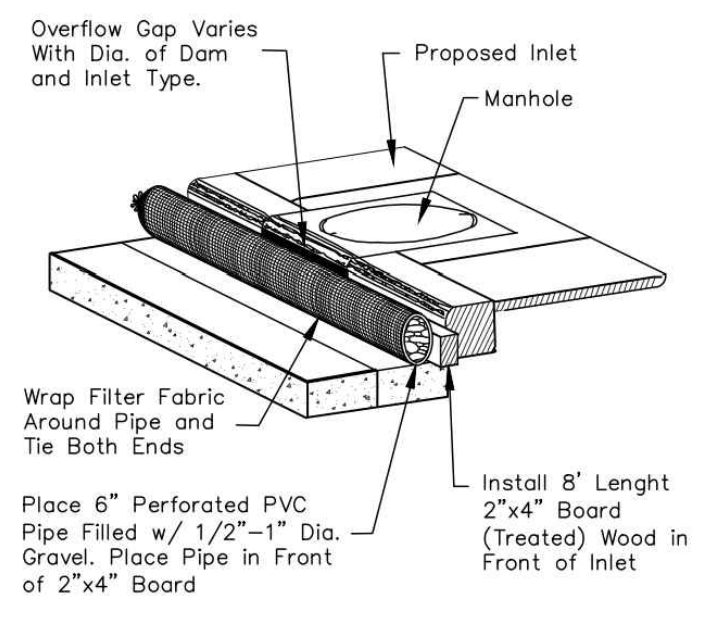


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

**3 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**2 SILT FENCE DETAIL**  
NOT TO SCALE



**1 TYPE 1 INLET PROTECTION**  
NOT TO SCALE

**LEGAL DESCRIPTION**

The south 175.00 feet of Lot 1, Parkview Southern Baptist Church 2nd Addition, Wichita, Kansas.

**SITE INFORMATION**

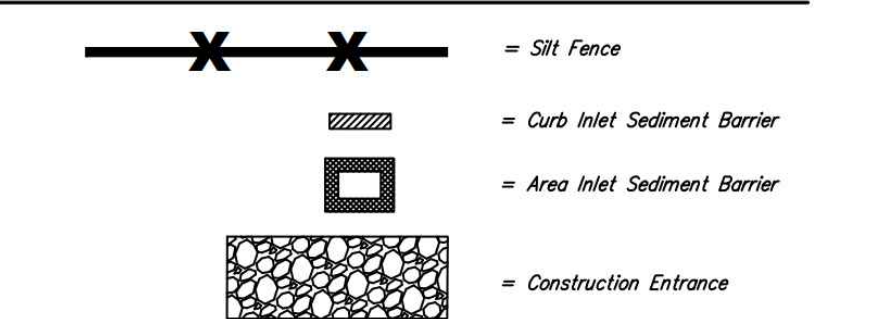
Total Area:	±66,498.1 sq. ft. (1.53 acres)
Disturbed Area:	±79,468.6 sq. ft. (1.82 acres)
Impervious Area, pre-const:	±0 sq. ft. (0 acres)
Impervious Area, post-const:	±43,000.9 sq. ft. (0.99 acres)

**BENCHMARKS**

- Site Benchmark - 1**  
"1" chiseled on top of curb at south end of return of driveway, 3410 S. Meridian Ave. Elevation = 1,283.78 (NAVD 88)
- Site Benchmark - 2**  
"2" chiseled on top of curb at north end of return at the NE corner of the intersection of Meridian and 34th Street. Elevation = 1,282.43 (NAVD 88)

**EROSION CONTROL PLAN**  
Scale 1" = 30' 0"

**EROSION CONTROL LEGEND**

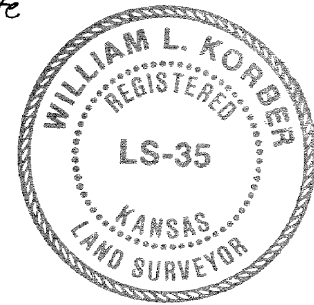


**PARKVIEW SOUTHERN BAPTIST  
CHURCH 2ND ADDITION**  
WICHITA, KANSAS

State of Kansas } ss. We, Baughman Company, P.A.  
Sedwick County } Surveyors in aforesaid county and state do hereby  
certify that we have surveyed and platted "PARKVIEW  
SOUTHERN BAPTIST CHURCH 2ND ADDITION," Wichita,  
Kansas, and that the accompanying plat is a true  
and correct exhibit of the property surveyed de-  
scribed as and being a replat of Block A, Parkview  
Southern Baptist Church Addition, City of Wichita,  
Sedwick County, Kansas, together with a tract  
described as beginning at a point 695.1 feet north  
and 30 feet east of the S.W. corner of the N.W. 1/4  
of Sec. 7, Twp. 28-S, R-1-E of the 6th P.M., Sedwick  
County, Kansas; thence east 400 feet; thence north  
285.6 feet; thence west 400 feet; thence south 285.6  
feet to the place of beginning.

3/8/83  
Date

Baughman Company, P.A.



*William L. Korber*  
William L. Korber  
Surveyor

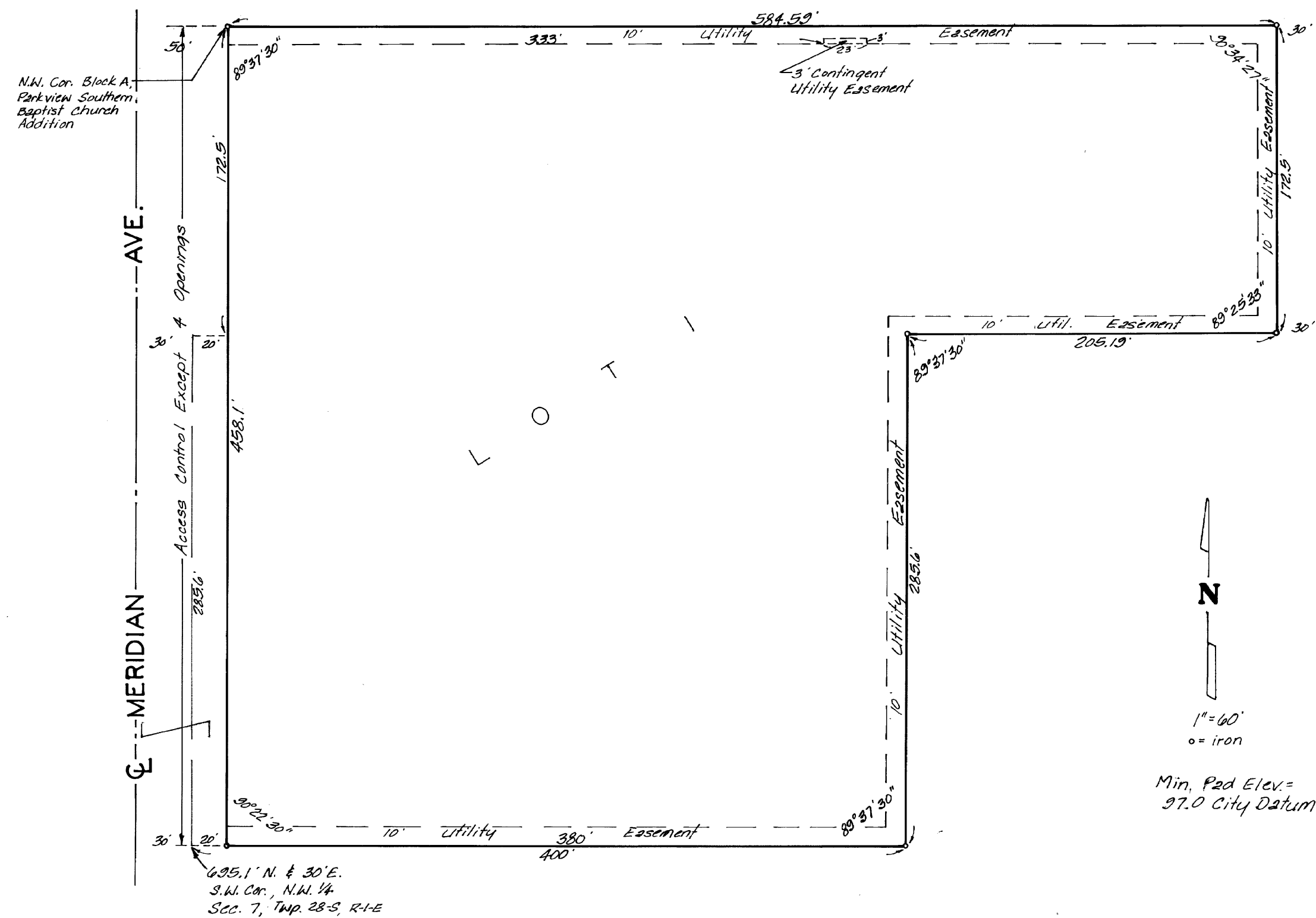
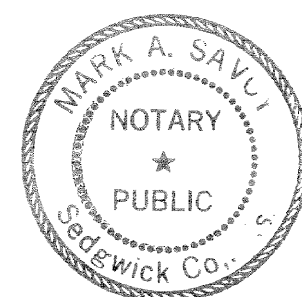
Know all men by these presents  
that we, the undersigned, have caused the land de-  
scribed in the surveyors certificate to be platted  
into a lot and street to be known as "PARKVIEW  
SOUTHERN BAPTIST CHURCH 2ND ADDITION,"  
Wichita, Kansas. All abutters rights of access  
to or from Meridian Ave. over and across the west  
line of Lot 1 are hereby granted to the City of  
Wichita, provided however, that Lot 1 shall have  
access to Meridian Ave. at 4 points as shall be  
determined by the City Engineer of the City of  
Wichita, Kansas. The street is hereby dedicated  
to and for the use of the public. The utility eas-  
ements are hereby granted as indicated for the con-  
struction and maintenance of all public utilities.  
The contingent utility easement is hereby contingently  
granted for construction and maintenance of all public  
utilities, contingent upon the removal or destruction  
of the existing garage or upon the city or any utility  
company's need for the easement. This contingent eas-  
ement grant shall be a covenant running with the land  
and shall be binding on all heirs and subsequent  
owners of that part of subject property by said con-  
tingent easement. No structure shall be constructed  
below a minimum pad elevation of 97.0 City Datum.

Parkview Southern Baptist Church, a Kansas Corporation

*Clyde E. McClain*  
Clyde E. McClain  
President

State of Kansas } ss. Be it remembered that on this  
Sedwick County } 8th day of March 1983, before me, a notary  
public in and for said county and state, came Clyde  
E. McClain, President of Parkview Southern Baptist  
Church, a Kansas Corporation, on behalf of the cor-  
poration.

*Mark A. Savoy*  
Mark A. Savoy  
Notary Public  
My App. Exp. 12 May 1984



**FOR REFERENCE ONLY  
NOT TO SCALE**

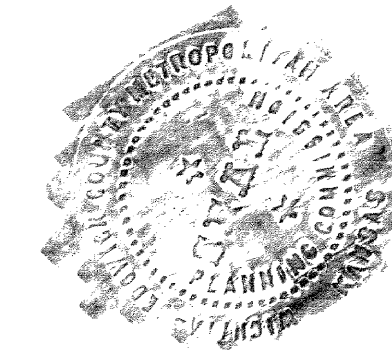
This plat of "PARKVIEW SOUTHERN  
BAPTIST CHURCH 2ND ADDITION," Wichita, Kansas, has  
been submitted to and approved by the Wichita-Sed-  
wick County Metropolitan Area Planning Commission,  
Wichita, Kansas.

Dated this 13<sup>th</sup> day of January 1983.

Wichita-Sedwick County Metropolitan Area Planning  
Commission

*Robert A. Lakin*  
Robert A. Lakin  
Chairman  
*Robert A. Lakin*  
Robert A. Lakin  
Secretary

This plat approved and all dedi-  
cations shown hereon accepted by the Board of Com-  
missioners of Sedwick County, Kansas, this 6<sup>th</sup>  
day of April 1983.



*Jack Spratt*  
Jack Spratt  
Chairman  
*Tom Scott*  
Tom Scott  
Commissioner  
*Donald E. Grogg*  
Donald E. Grogg  
Commissioner  
*Corothy K. White*  
Corothy K. White  
County Clerk

Entered on transfer record this  
6<sup>th</sup> day of April 1983.

*Corothy K. White*  
Corothy K. White  
County Clerk

This plat approved and all dedi-  
cations shown hereon accepted by the Board of  
Commissioners of the City of Wichita, Kansas, this  
22<sup>nd</sup> day of MARCH 1983.

*Robert J. Ehrig*  
Robert J. Ehrig  
Mayor  
*Donald C. Grifick*  
Donald C. Grifick  
City Clerk

State of Kansas } ss. This is to certify that this plat  
Sedwick County } has been filed for record in the office of the  
Register of Deeds, this 7<sup>th</sup> day of April 1983,  
at 10 o'clock A M; and is duly recorded.

# 624895  
*Bette F. McCart*  
Bette F. McCart  
Register of Deeds  
*Ed Resa*  
Ed Resa  
Deputy

20.00

R-1 7-19

R-1 7-29