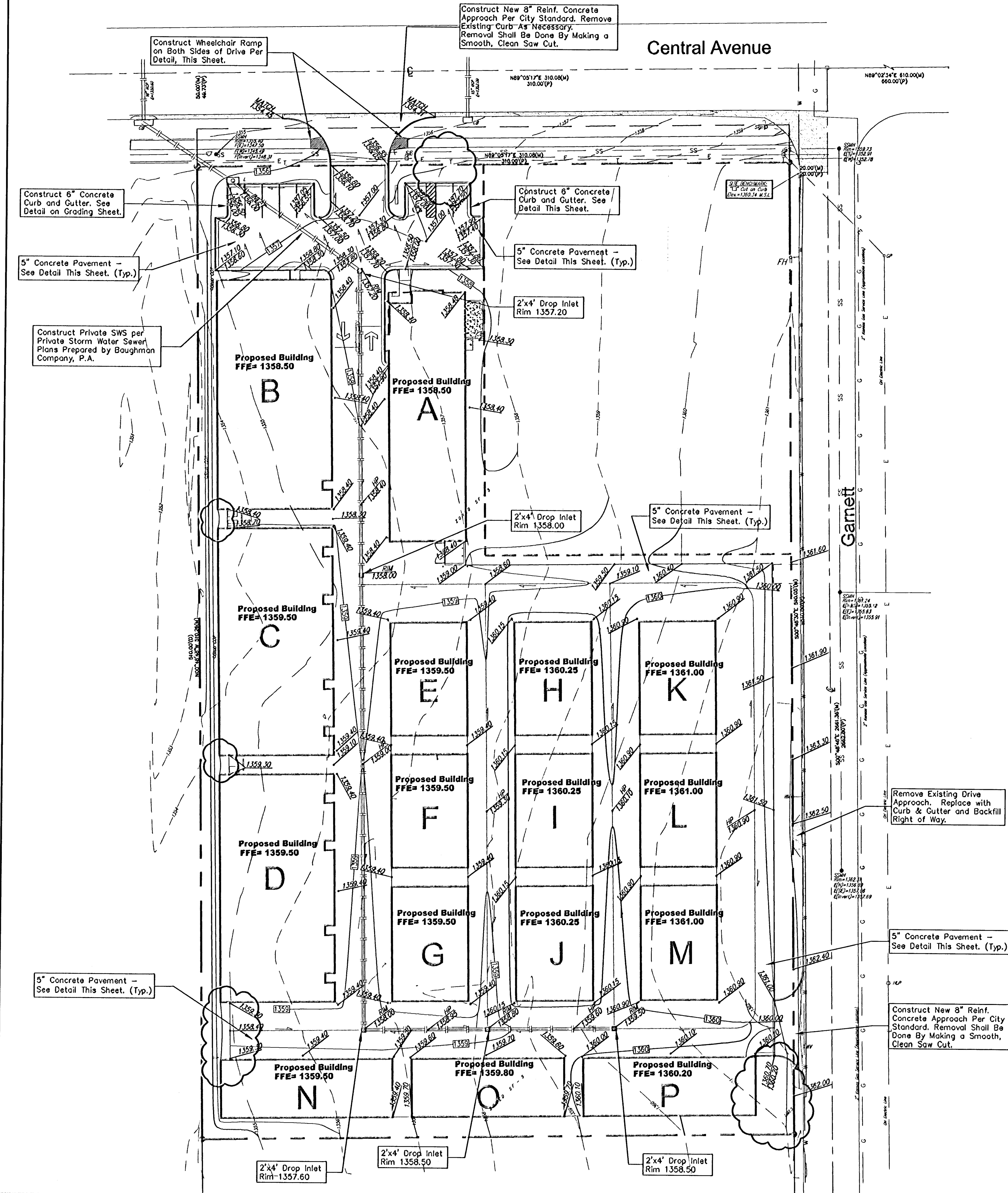




BENCHMARK

"□" Cut on the SW Corner of Central and Garnett.
Elev. = 1360.34 M.S.L.

SITE INFORMATION

Total Area: ±125,368 sq. ft. (2.88 acres)
Impervious Area: ±109,081 sq. ft. (2.51 acres)
Building (Office) Area: 1,635 sq. ft.
Parking Required: 1 per 250 sq. ft.=7 spaces
1 Accessible Space Required
Parking Provided: 9 Spaces, plus 1 Accessible Stall

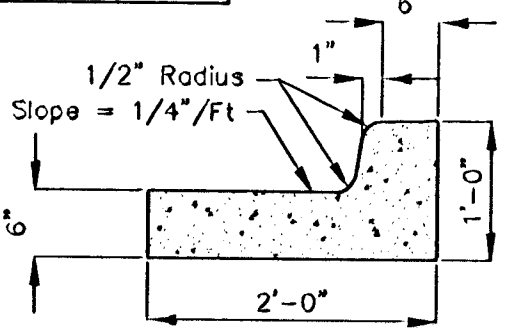
GRADING NOTES

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
Kansas Gas Service (Gas).....1-888-482-4950
Aquila Energy (Gas).....1-800-303-0357
Westar Energy (Electric).....383-8650
Cox Communications (Cablevision).....262-4270
AT&T (Phone).....268-2759
City of Wichita Water Dept. (Water).....268-4563 or 268-4908
City of Wichita Sewer Maint.(San. Sewer).....268-4024 or 262-6000
City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
City of Wich Traffic Maint.(Traf. Control).....268-4034 or 268-4203
Conoco Pipeline Co. (Petroleum).....1-800-231-2551
Williams Pipeline Co. (Petroleum).....529-6600 or 1-800-324-9698
Raytheon (Jet Fuel).....676-5300
Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signing and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. Subgrade to be compacted to 98% Standard Proctor Density and treated with 4 to 6 percent lime or 14 to 16 percent class "C" fly ash. Refer to pavement details to verify depths and Paving type.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.

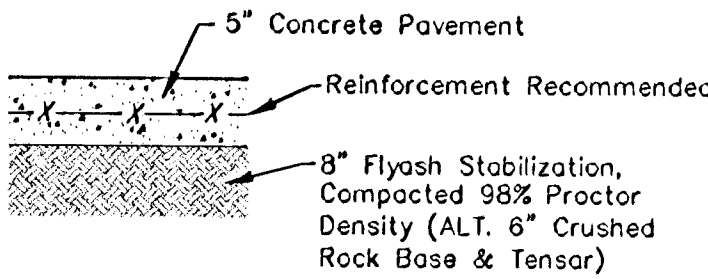
LEGAL DESCRIPTION

Lot 2, EXCEPT the South 100 feet thereof, and EXCEPT the North 205 feet of the East 160 feet thereof, in Gilders Gardens Subdivision, Sedgwick County, Kansas.

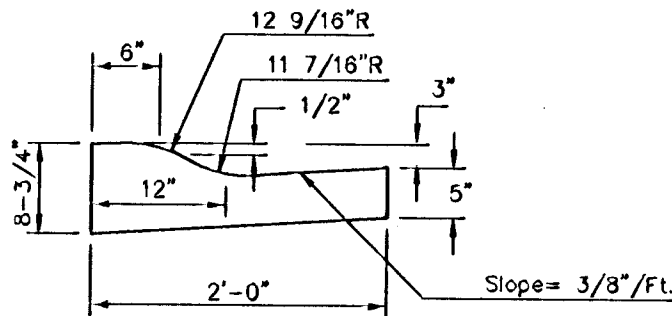
Contractor shall determine between a high edge curb and a low edge curb by the Grading Plan.



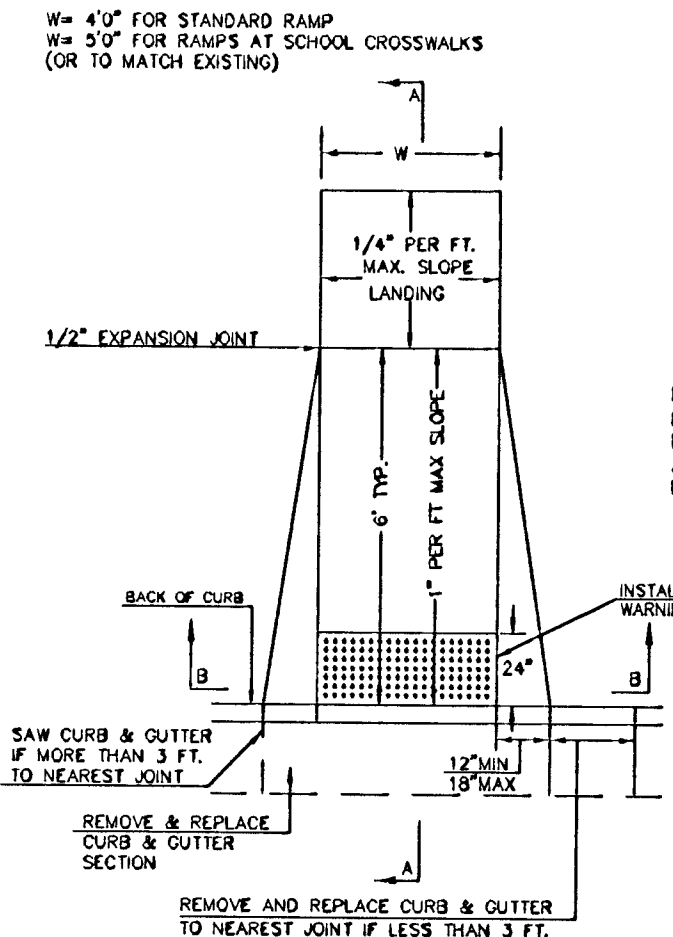
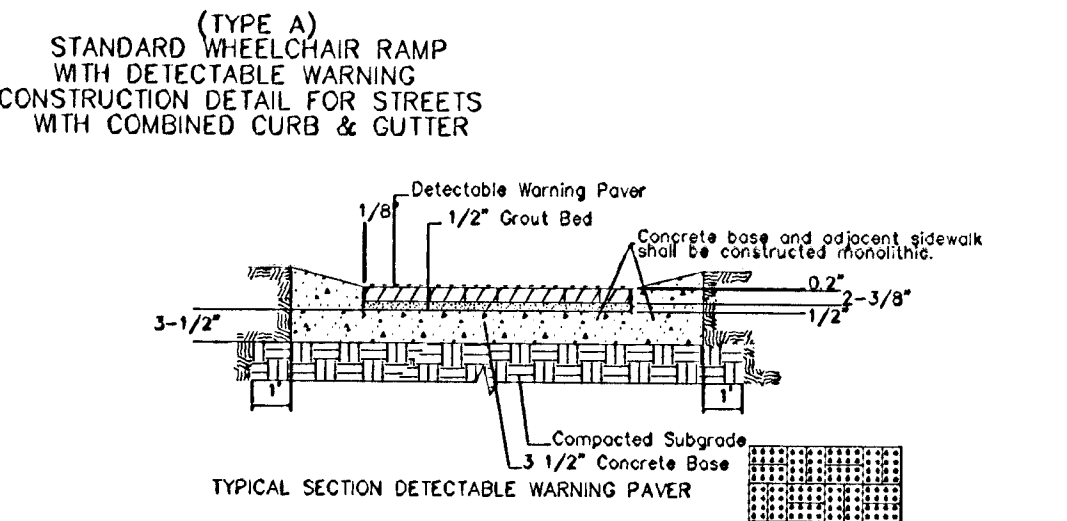
1 CURB & GUTTER SECTION
NOT TO SCALE



2 5" CONCRETE PAVEMENT
NOT TO SCALE



3 3" ROLLED CURB & GUTTER
NOT TO SCALE



4 ACCESSIBLE CURB RAMP
NOT TO SCALE

SITE GRADING PLAN

Scale 1"= 30'-0"

(THIS PLAN SHEET FOR INFORMATION ONLY)

GRADING LEGEND

--- 1316 --- Existing Contours
[1316] Proposed Contours

Baughman Security Self Storage
Grading Plan
Storm Water Sewer Improvements

Baughman Company, P.A. 315 Ella St. Wichita, KS 67211 P 3162627771 F 3162620149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER 1721 PPS	DESIGN MWS	DRAWN MWS
REVISIONS:	APPROVED	DATE 11/06
SCALE Noted		8 OF 9
SHEET		

E:\eng\Security Self Storage\swsgrading plan 0607-E939