

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
Kansas One-Call 687-2470  
The Contractor must notify the following in case of an emergency:  
AT&T 1-800-246-8464  
Black Hills Energy 1-800-694-8989  
City of Wichita Water & Sewer 1-316-219-8921  
City of Wichita Stormwater 1-316-268-4090  
City of Wichita Traffic 1-316-268-4034  
Cox Communications 1-888-249-3530  
Kansas Gas Service 1-888-482-4950  
Westar Energy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- Any sidewalk, drive approach, curb, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- All applicable fees (tap, equity, in lieu of & main benefit) must be paid before any connections can be made on this project. Quotes can be obtained on fees by calling 316-268-4555.
- City Maintenance of sanitary sewer mains ends at last structure within easement or right-of-way line.
- All stubs and capped pipes shall be located with green plastic tape in the same manner as risers.
- Connecting to Existing Manholes: Prior to laying sewer lines using existing stubs in existing manholes, the Contractor shall expose and verify the elevation, grade and alignment of existing stubs and notify the Engineer of any deviation from the plans. Where the stub is unusable due to elevation grade or alignment, the Contractor shall remove the stub and plug the hole, and reshape the existing manhole invert to provide smooth flow. Where connection to an existing manhole that does not have an existing stub, the Contractor shall core cut into existing manhole wall to make connection using approved water stop gasket, and reshape the existing manhole invert to provide smooth flow. The cost of connect to existing manholes is incidental to the project.
- Contractor shall limit the extent of trench open overnight and weekends to less than 50 feet.
- Contractor shall provide positive drainage away from all manhole covers.
- The Contractor shall prevent any construction debris from entering the existing sanitary sewer during construction.
- The Contractor shall be responsible for maintaining continuous flow of sewage through construction. Contractors proposed method for maintaining sewage flow shall be submitted and approved by the Sewer Maintenance Division (316-268-4073) prior to starting and by-passing of sewage flows.
- Any over excavation from manhole and pipe removal shall be backfilled with AB-3 compacted to 90-95% ASTM D698.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All areas disturbed during construction shall be seeded at 300 lbs./acre with Rye Grass immediately following construction in that area. Contractor shall prepare ground per City Specifications.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

## Benchmarks

BM #1: Chiseled square Top of Curb on South nose of island South side 13th Street North.  
ELEV. = 1376.35 NAVD 88

(NE) 4" Stub

Prop. MH

# SANITARY SEWER IMPROVEMENTS

to serve

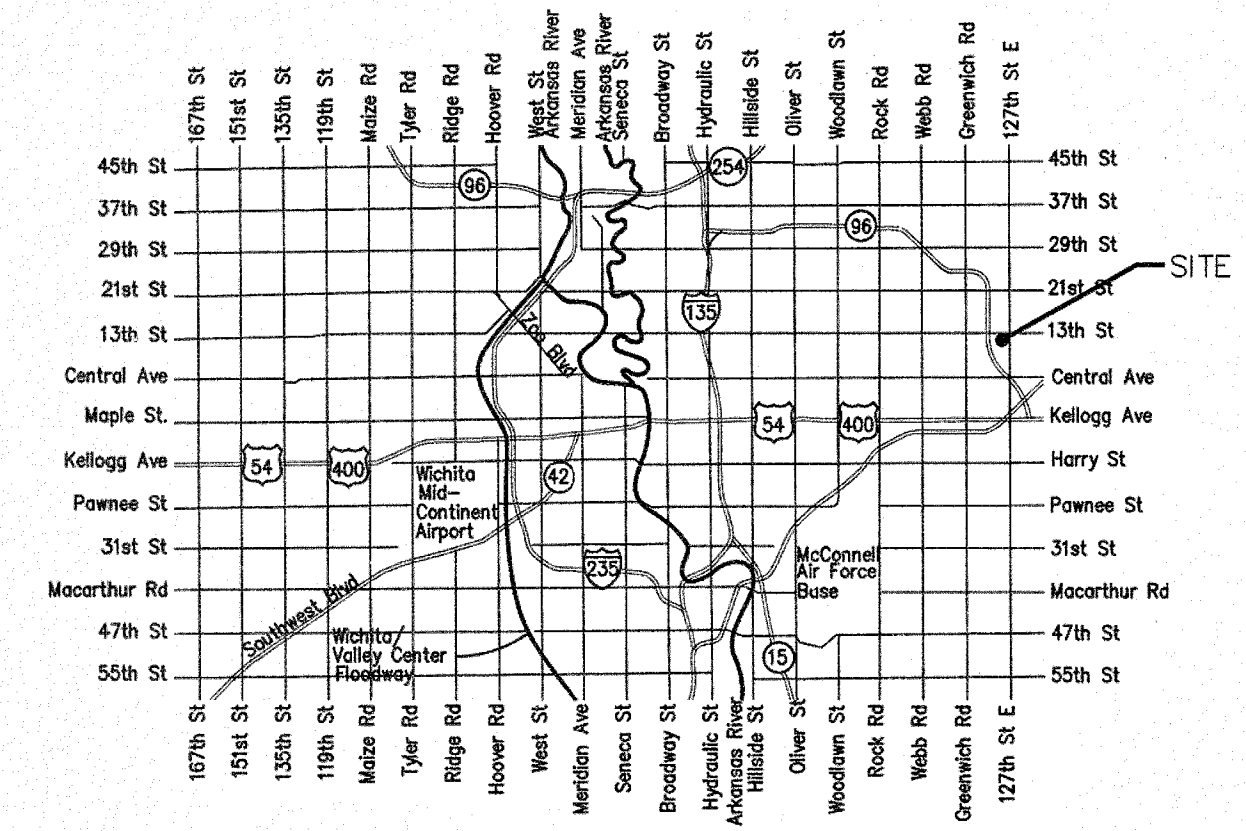
# WHITE TAIL 96 OFFICE BLDG. THE EXECUTIVE AT WHITE TAIL 2ND ADD.

12001 E. 13TH STREET NORTH  
CITY OF WICHITA, KANSAS

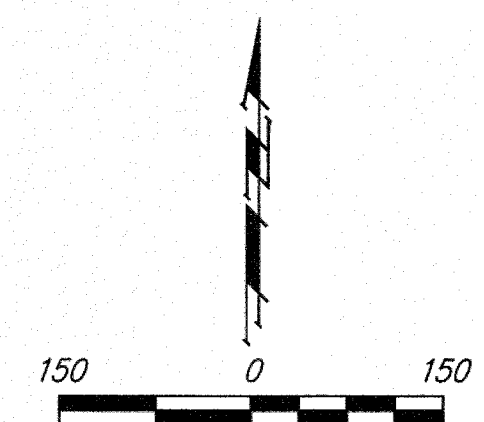
Gary Janzen, P.E. City Engineer  
Project Number  
2357 PPS (184011)

T. Mason - City of Wichita, Inspector  
Stub  
Release Date: 12/3/2018  
apr 12/3/2018

AS BUILT PLANS  
Contractor: Wilks Underground  
Inspector: Fred Smith, Baughman Co.  
As Built by: KEK, 11/21/18



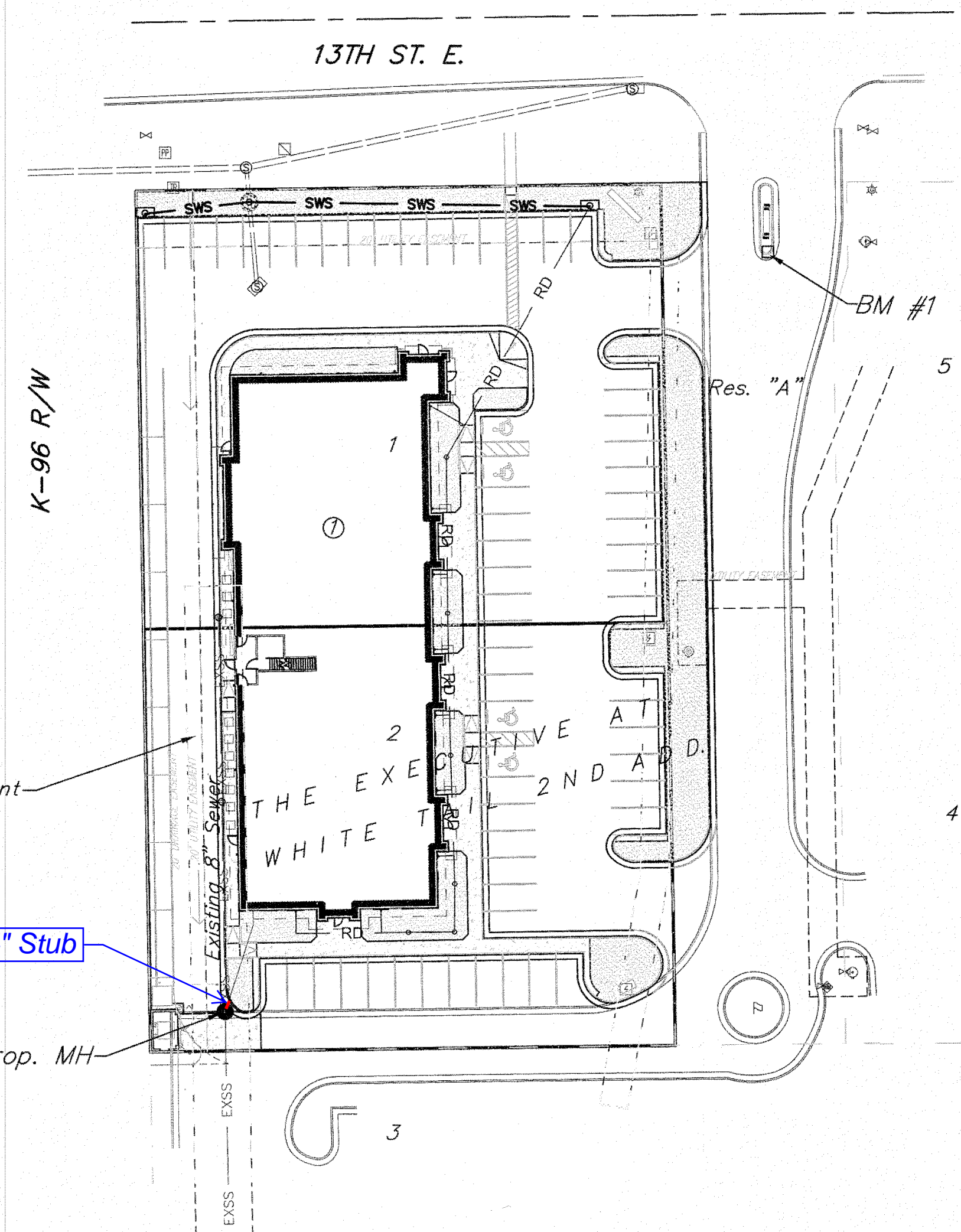
Vicinity Map



## Sheet Index

Title Sheet	1
Line 1	2
Erosion Control/Grading Plan	3
Copy of Plat	4

SWS Details SS-101, SS-102 and Erosion Control Details available at City of Wichita web site at <http://www.wichita.gov/PWU/StandardsConstruction/Forms/WebPageStandardsConstruction.aspx>

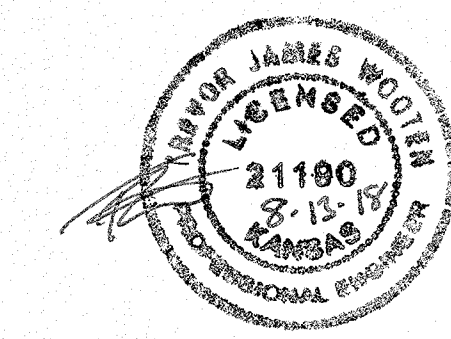


APPROVED AS NOTED  
BY WICHITA PUBLIC WORKS  
ENGINEERING DIVISION

Engineering *Johanni Killman 8-17-18*

Utilities *[Signature] 8-22-18*

NOTE TO CONTRACTORS  
Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).  
An approved copy of these plans signed by City staff are required on-site.



August 2018



Baughman Company, P.A. 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0144  
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

G:\Projects\Whitetail\Engineering\Phase 1\PPS\PPS.dwg

**BENCHMARK:**  
 BM #1: Chiseled square Top  
 of Curb on South nose of  
 island South side 13th Street  
 North.  
 ELEV. = 1376.35 NAVD 88

**SEWER SERVICE TABLE**

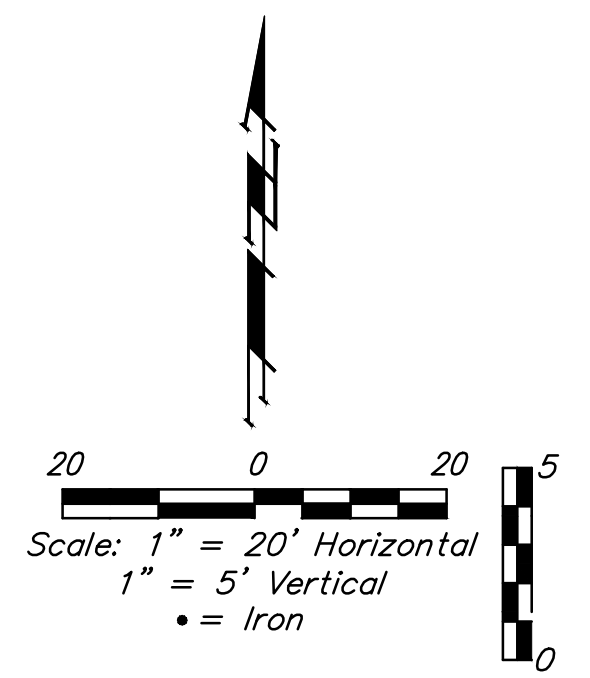
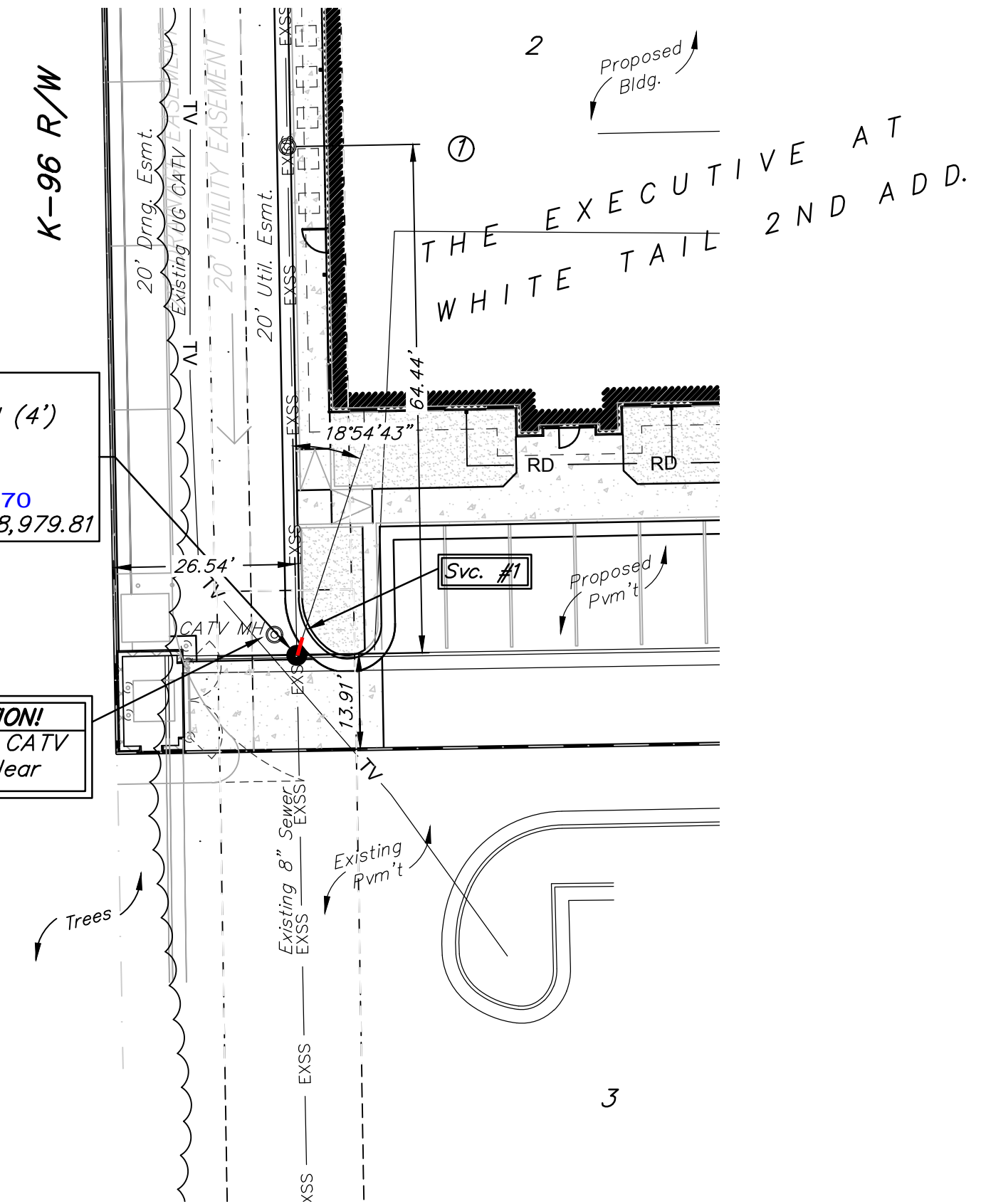
NUMBER	TYPE	LOCATION				FOR INFORMATION ONLY	
		LOT NO.	BLOCK NO.	LINE NO.	STATION \ DIRECTION	APPROXIMATE LENGTH 4" PIPE	VERTICAL
1	4" Stub	2	1	1	0+00	-	5.0'

NOTE: Vertical Riser Pipe shall be extended to 2' minimum above ground water elevation and 4' maximum below proposed ground elevation.

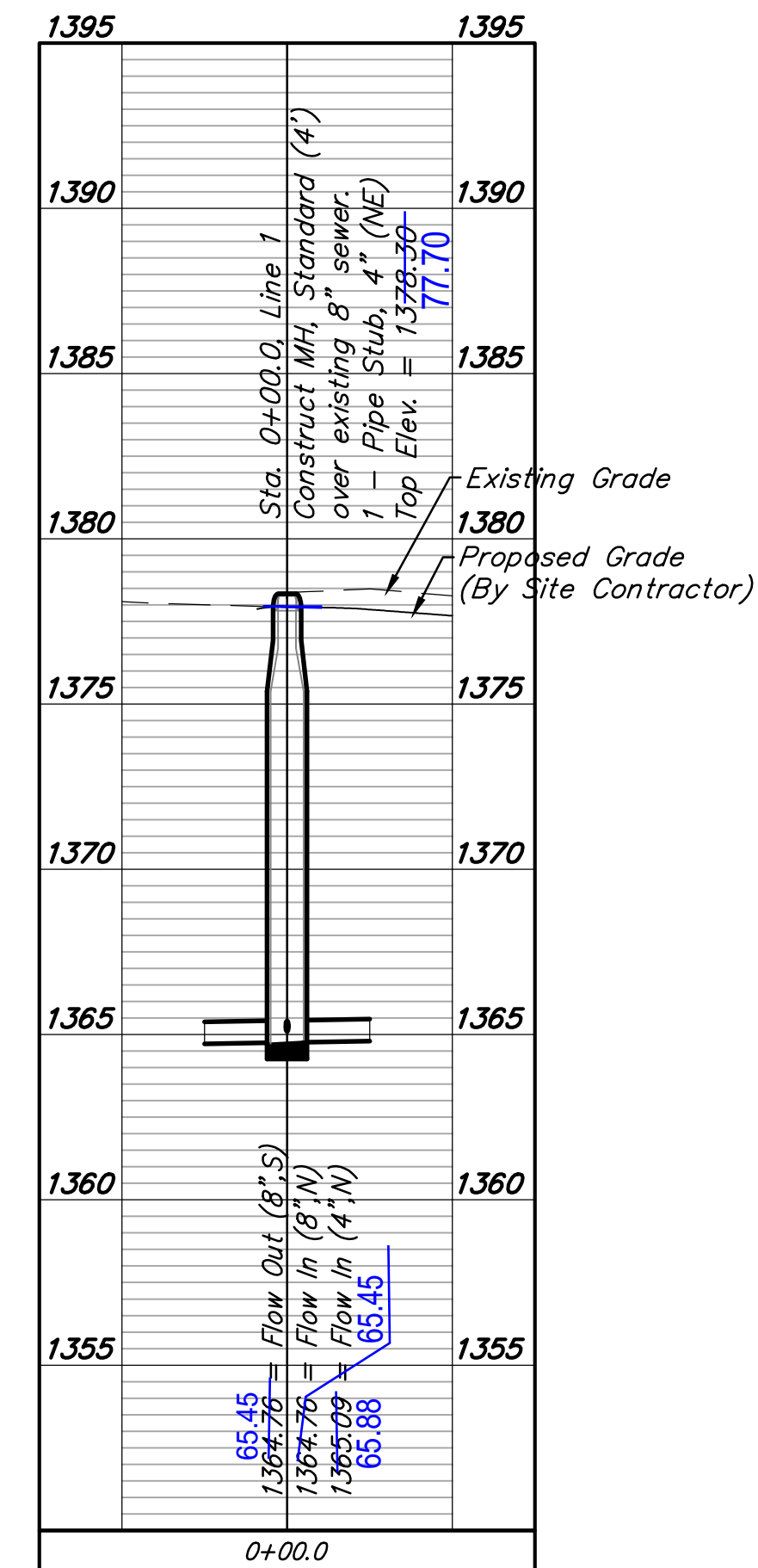
Contractor to  
 abandon 140 L.F. 8"  
 pipe to the north  
 and two manholes.

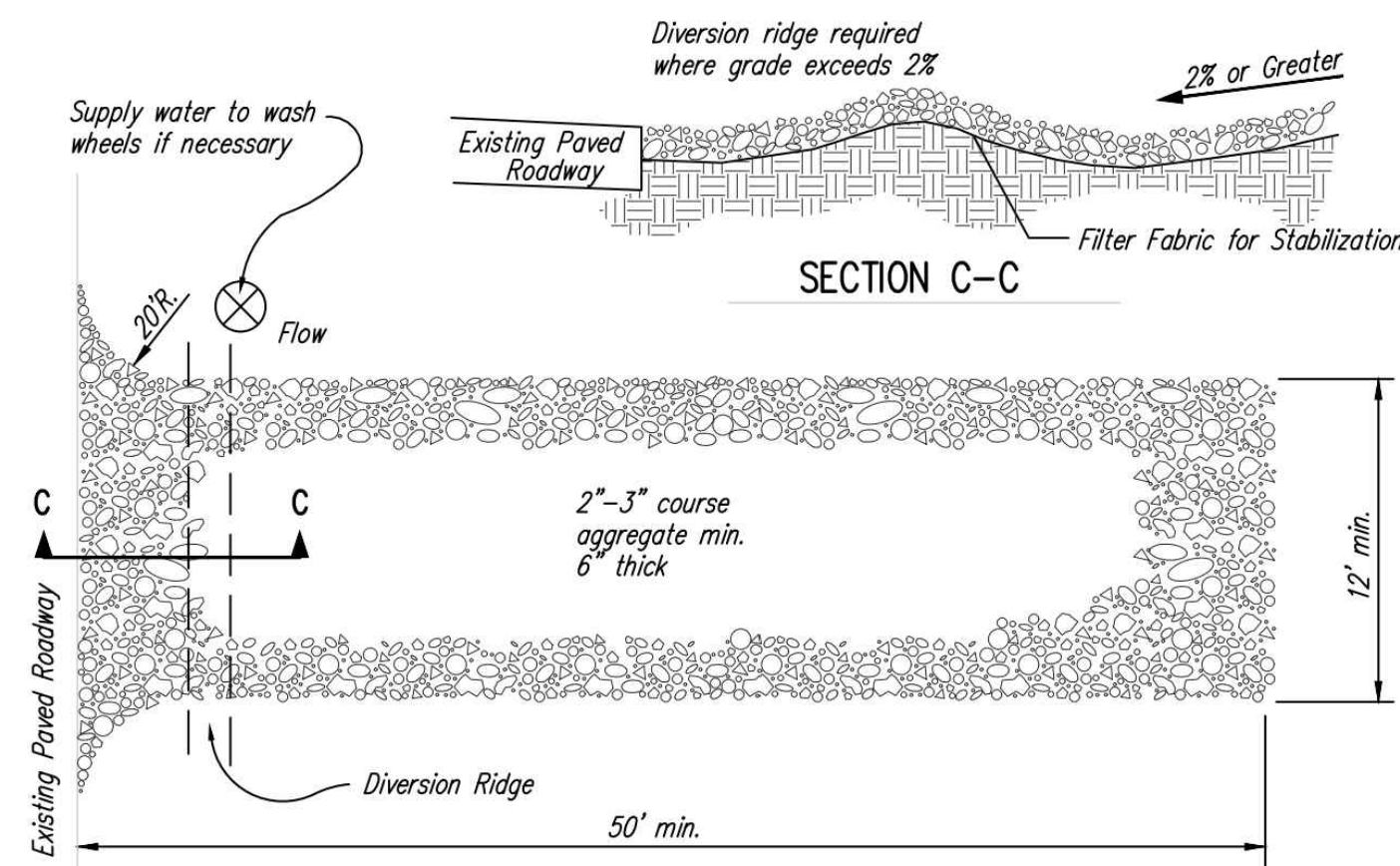
Sta. 0+00.0, Line 1  
 Construct MH, Standard (4')  
 over existing 8" sewer.  
 1 - Pipe Stub, 4" (NE)  
 Top Elev. = 1378.30-77.70  
 N=1,694,170.70 E=1,688,979.81

**CAUTION!**  
 Ex. UG CATV  
 MH Near



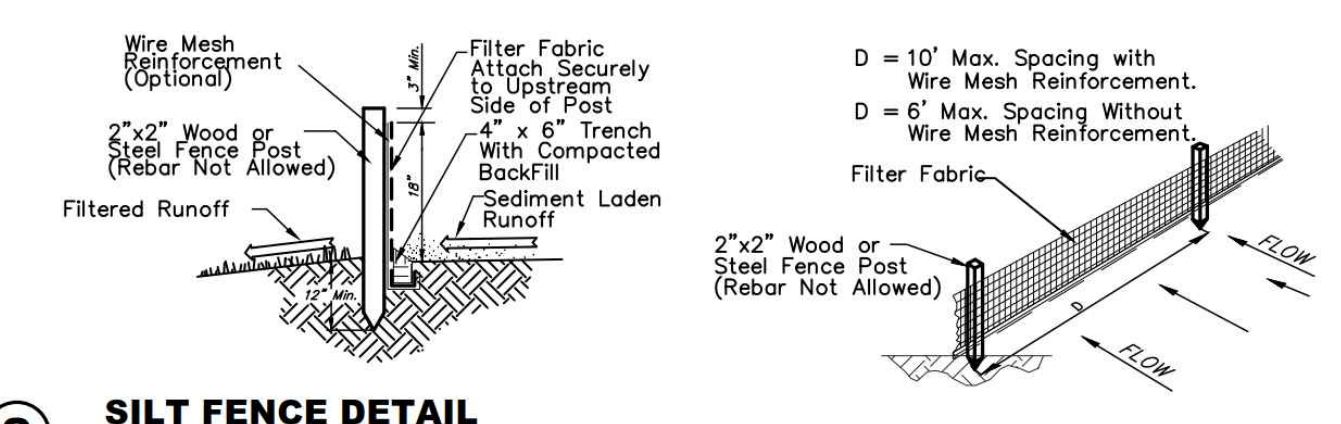
Contractor shall verify  
 elevation and alignment of  
 existing 8" pipe prior to  
 construction and notify  
 Engineer of any discrepancy.



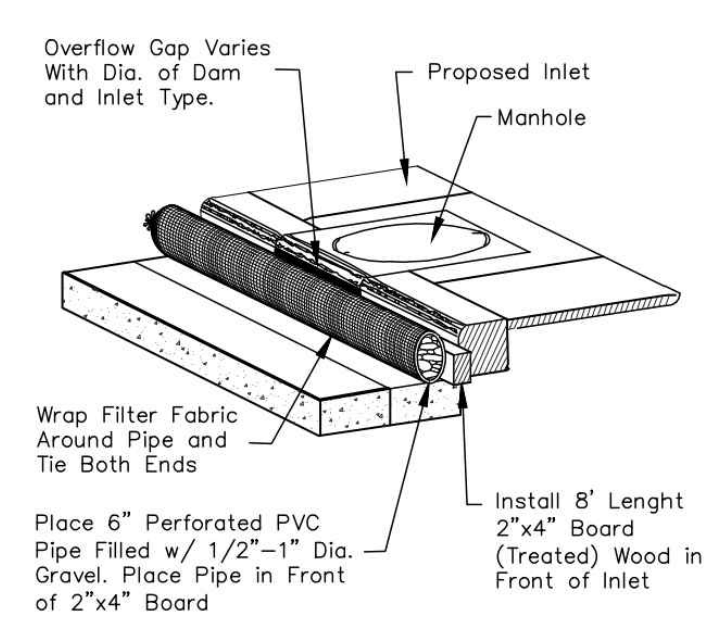


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

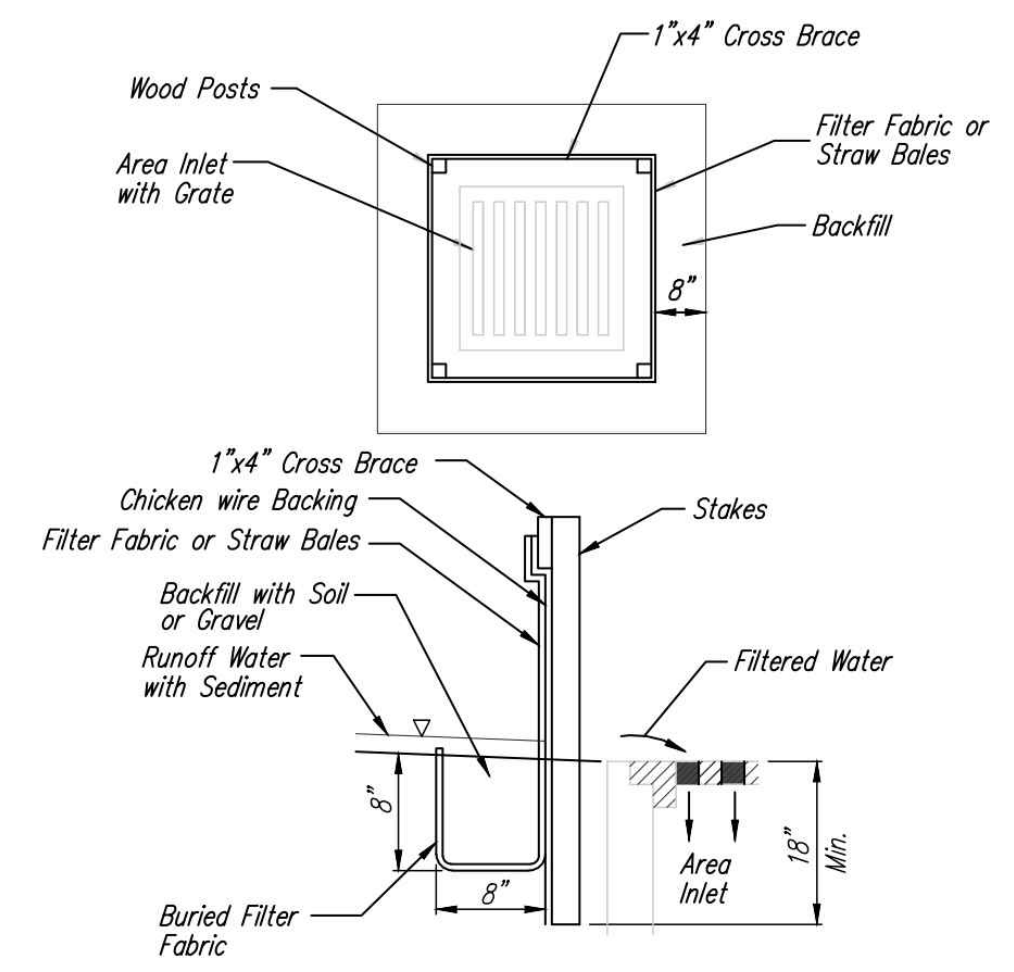
**1 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



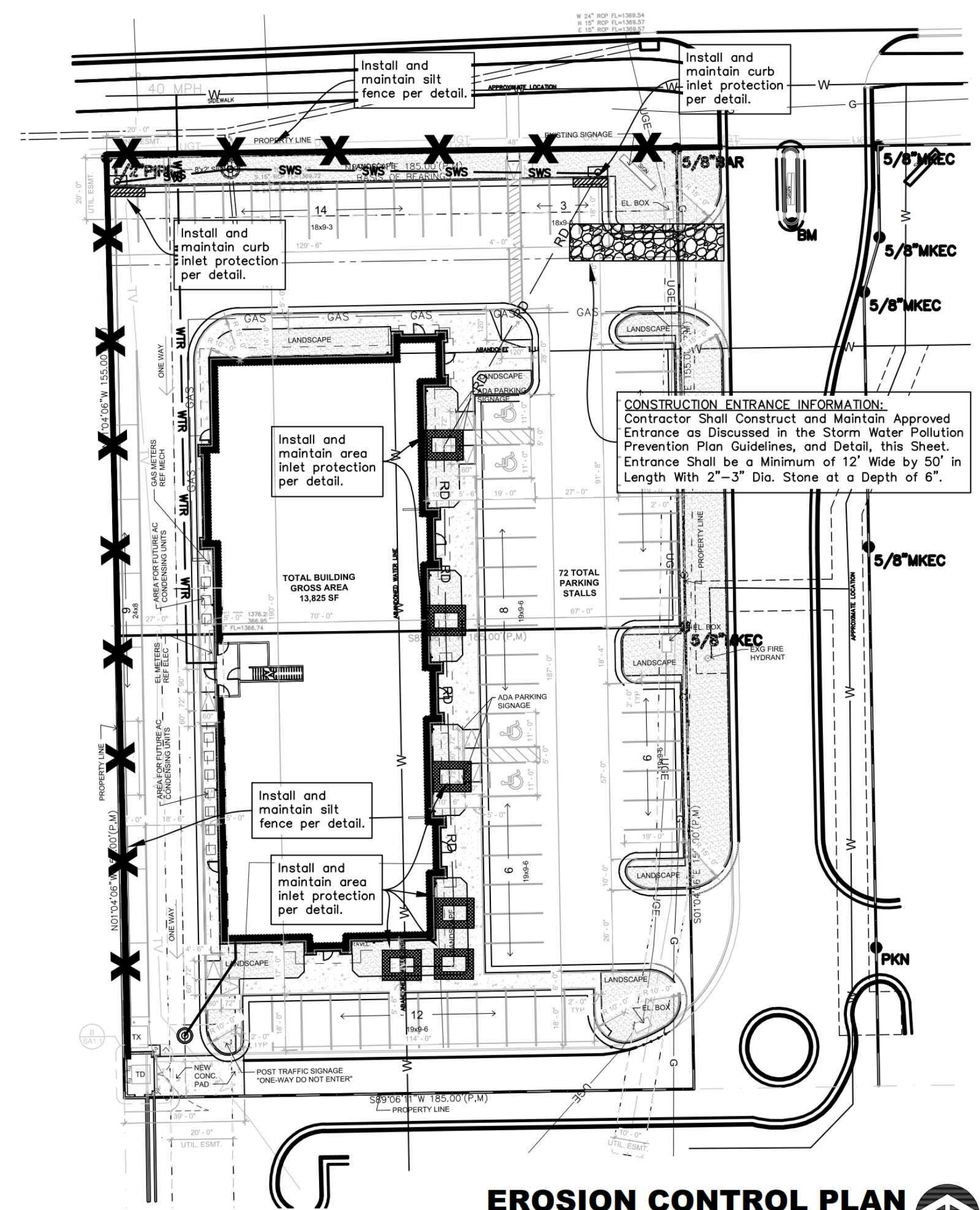
**2 SILT FENCE DETAIL**  
NOT TO SCALE



**3 TYPE 1 INLET PROTECTION**  
NOT TO SCALE



**4 INLET PROTECTION FOR AREA INLETS**  
(INLET PROTECTION: SILT FENCE OR STRAW BALES)



**EROSION CONTROL PLAN**  
Scale 1" = 30' 0"

**FOR REFERENCE ONLY**  
**NOT TO SCALE**

**LEGAL DESCRIPTION**

Lots 1 & 2, Block 1, The Executive at White Tail 2nd Addition, an addition to Wichita, Sedgwick County, Kansas.

**SITE INFORMATION**

Total Area:	±56,424.8 sq. ft. (1.30 acres)
Disturbed Area:	±56,424.8 sq. ft. (1.30 acres)
Impervious Area, pre-const:	±2,648.7 sq. ft. (0.06 acres)
Impervious Area, post-const:	±49,653.8 sq. ft. (1.14 acres)

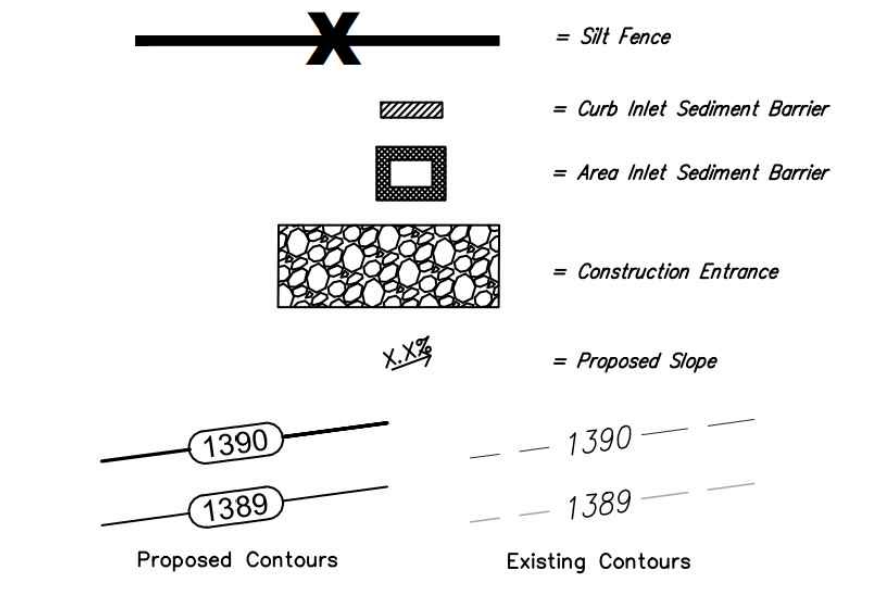
**BENCHMARKS**

BM - Chiseled square Top of Curb on South nose of Island South side 13th Street North.  
ELEV.=1376.35 N.A.V.D. 88

**EROSION CONTROL NOTES**

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
2. All exposed areas shall be seeded as specified within 14 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
11. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

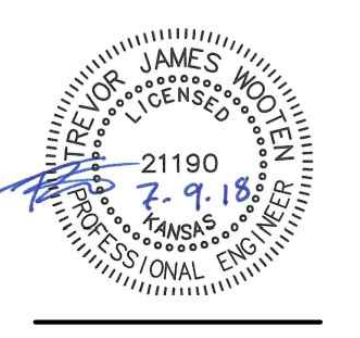
**EROSION CONTROL LEGEND**



**BAUGHMAN COMPANY**  
315 Ellis St. Wichita, KS 67211 316-262-7271  
BaughmanCo.com



INSPIRED SPACE  
Tel. 316.263.4300  
Fax. 316.263.4301  
800 E. First, Suite 140  
Wichita, Kansas 67202  
SHELDENARCHITECTURE.COM



**WHITE TAIL 96**  
**OFFICE BUILDING**

WICHITA, KS

PROJECT NO.	16-0051
ISSUE:	DATE:
PERMIT SET	18 MAY 18

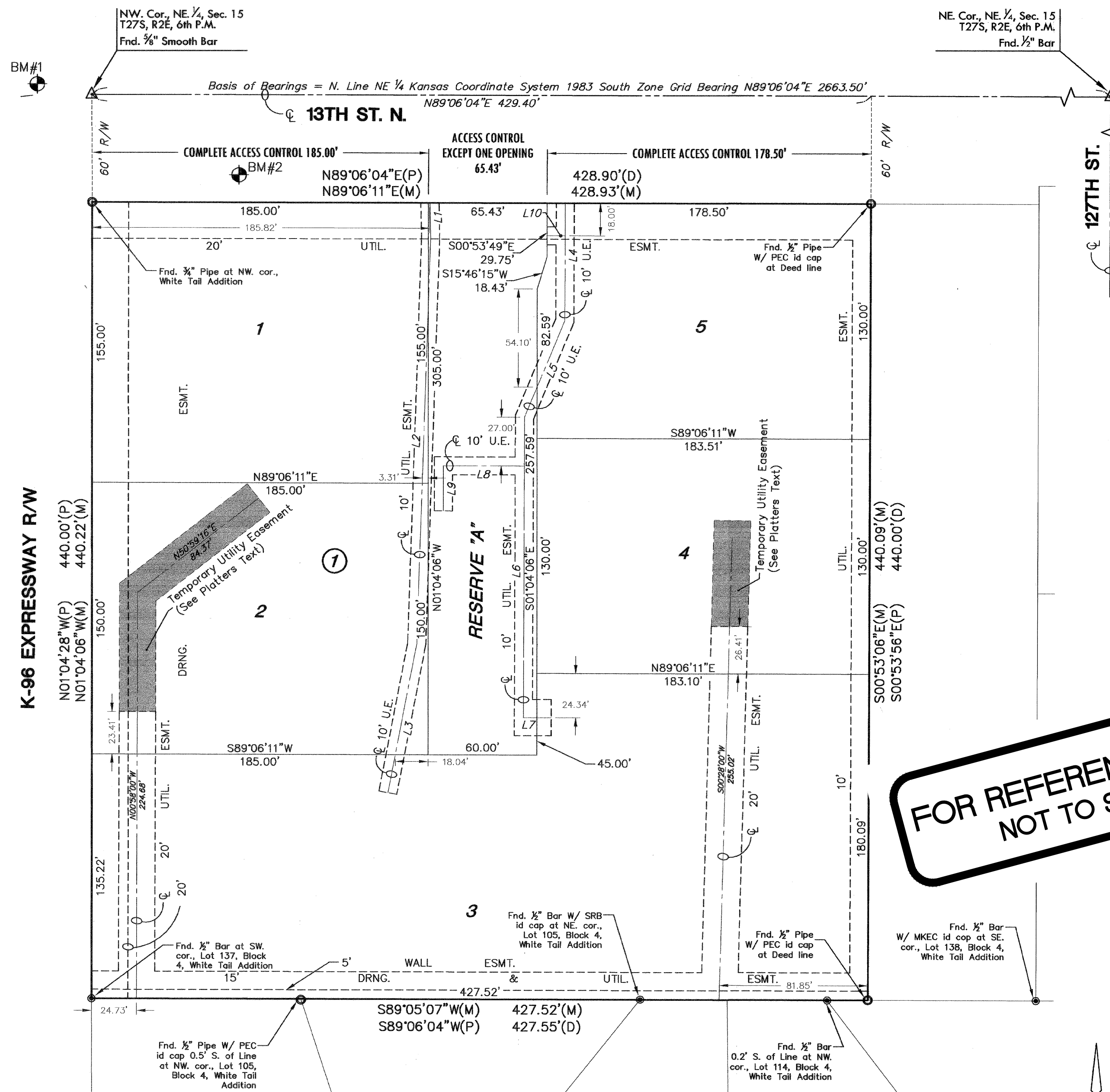
WHITE TAIL 96 OFFICE BLDG.  
**EROSION CONTROL PLAN**  
SANITARY SEWER IMPROVEMENTS

BAUGHMAN COMPANY  
315 Ellis St. Wichita, KS 67211 316-262-7271  
BaughmanCo.com

# FINAL PLAT

## THE EXECUTIVE AT WHITE TAIL 2ND ADDITION

### AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



We, MKEC Engineering Consultants, Inc., a Registered Corporate Land Surveyor in Kansas, do hereby certify that we have been in responsible charge of surveying and platting of "THE EXECUTIVE AT WHITE TAIL 2ND ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots, a Block, and a Reserve, the same being accurately set forth in the accompanying plat and described herein:

A Replat of:  
All of The Executive at White Tail Addition, an Addition to Wichita, Sedgwick County, Kansas.

All reserves, streets, utility easements, building setbacks, access control, together with a utility easement recorded on Doc.#/Flm-Pg: 28685369, together with any and all other public dedications within the above described property are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 19<sup>th</sup> day of October 2005.

GREGORY J. ALLISON  
 LICENSED  
 LAND SURVEYOR  
 KANSAS  
 LS-1257

Gregory J. Allison, PE, LS #1257  
MKEC Engineering Consultants, Inc.  
411 North Webb Road  
Wichita, Kansas 67206

Know all men by these presents that we the undersigned property owners of the land above set forth in the Registered Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, a Block, and a Reserve the same to be known as "THE EXECUTIVE AT WHITE TAIL 2ND ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of public utilities and drainage, as indicated on the accompanying plat are hereby granted to the public. There shall be zero (0) foot building setback for all interior lot lines.

All abutters right to access to or from 13th Street North over and across the North line of "THE EXECUTIVE AT WHITE TAIL 2ND ADDITION," are hereby granted to the appropriate governing body, provided one location having full turning movements as indicated hereon.

A drainage plan has been developed for this plat and all drainage easements, right-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of storm water.

Reserve "A" is platted for lot access, utilities in designated areas, landscaping, irrigation, open space, parking, drainage, and monuments. The Reserve shall be owned and maintained by the Lot Owner Association.

The 5' Wall Easement along South line of addition, as shown, is hereby platted for the construction and maintenance of a private wall. Utilities may cross the wall easement.

The two temporary 20' utility easements shown hereon, located within Lots 2, and 4, Block 1, are presently being utilized by "public utilities" to operate facilities. The two aforesaid temporary 20 foot utility easements shall expire upon the cessation of usage and the indicated area.

FOR REFERENCE ONLY  
NOT TO SCALE

WARD INVESTMENT GROUP, LLC, a Kansas limited liability company

*Ma Stein*  
Vice President, CFO

STATE OF KANSAS, SEDGWICK COUNTY} ss:  
This instrument was acknowledged before me on 19<sup>th</sup> day of October, 2005, by Mona Stein, Vice President, CFO, Dining-Bear Investment Group, LLC, a Kansas limited liability company.  
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

CYNTHIA A. WOMACK  
Notary Public  
Sign and print below

My Term Expires: 2-7-2009

We EMPRISE Bank, holders of a mortgage on the above described property, do hereby consent to the plat of "THE EXECUTIVE AT WHITE TAIL 2ND ADDITION."

EMPRISE BANK  
*Sam Trummel*  
Senior Vice President

This instrument was acknowledged before me on 19<sup>th</sup> day of October, 2005, by Sam Trummel, Senior Vice President, Emprise Bank.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

MICHELLE L. HOLDEMAN  
Notary Public  
Sign and print below

My Term Expires: 9-27-08

This plat of "THE EXECUTIVE AT WHITE TAIL 2ND ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 19<sup>th</sup> day of September, 2005  
WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

*Harold Warner, Jr.*  
Chair  
*John L. Schlegel*  
Secretary



At the direction of the City Council:  
*Carlos Mayans*  
Mayor  
*Karen Sublett*  
City Clerk

STATE OF KANSAS, SEDGWICK COUNTY} ss:  
Entered on transfer record this 9<sup>th</sup> day of December, 2005

*Don Brace*  
County Clerk



This is to certify that this instrument was filed for record in the Register of Deeds office this 16<sup>th</sup> day of December, 2005, at 10:20 o'clock AM; and is duly recorded.

Bill Meek, Register of Deeds

*Bill Meek*  
Register of Deeds

Attest:  
*Tonya E. Buckingham*  
Deputy  
Tonya E. Buckingham, Deputy

Reviewed in accordance with K.S.A. 58-2005 on this 24<sup>th</sup> day of October, 2005.

TRICIA L. ROBELLO  
Notary Public  
Sign and print below

Tricia L. Robello, Deputy County Surveyor  
Deputy County Surveyor  
Sedgwick County, Kansas

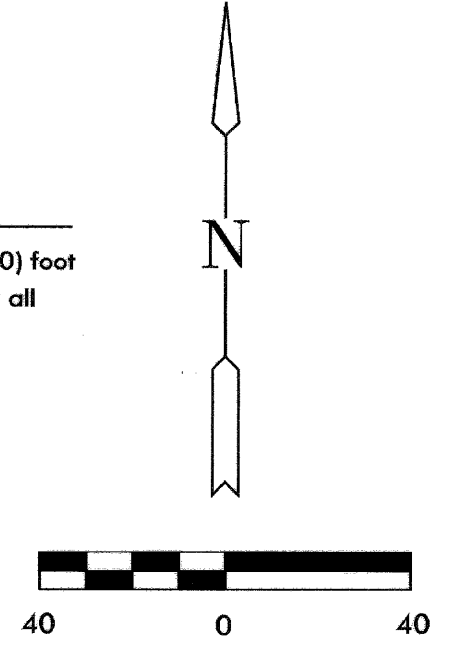
- LEGEND**
- △ = Section Corner Monument Found
  - = Found Survey Monument
  - ⊕ = 3/8" Rebar w/ MKEC CLS 39 id. cap EXCEPT where annotated
  - = Set 3/8" Rebar w/ MKEC CLS 39 id. cap
  - (M) = Measured
  - (P) = Platted
  - (D) = Deed
  - = Temporary Easement

- BENCH MARKS**
- BM#1 C.O.W. Disc NW. corner of bridge on concrete sidewalk at K-96 & 13th Street  
ELEV. = 1391.62 NGVD  
204.22 City Datum
  - BM#2 R.R. spike in S. face guy pole at lying 82' E. of and 15' N. of the NW. cor., Lot 1, Block 1.  
ELEV. = 1376.27 NGVD  
188.87 City Datum

**EASEMENT LINE TABLE**

LINE	LENGTH	BEARING
L1	19.24'	S02°13'27"E
L2	224.51'	S00°50'24"W
L3	83.92'	S09°48'03"W
L4	65.00'	S00°53'49"E
L5	57.63'	S21°36'11"W
L6	166.10'	S00°53'49"E
L7	15.28'	N89°06'11"E
L8	44.57'	S89°06'11"W
L9	25.00'	S00°53'49"E
L10	10.00'	N89°06'11"E

**NOTE**  
There shall be zero (0) foot building setbacks for all interior lot lines.



Baughman Company, P.A.  
 1665 W. 13th St., Suite 100, Wichita, KS 67202  
 ENGINEERING, PLANNING, SURVEYING, ARCHITECTURE

WHITE TAIL 96 OFFICE BLDG.  
 Copy of PLAT  
 SANITARY SEWER IMPROVEMENTS

SHEET 4 OF 4  
 MKE ENGINEERING CONSULTANTS  
 411 N. WEBB  
 WICHITA, KS  
 316-684-1100  
 WWW.MKEC.COM