

# GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:  
 Kansas One-Call 687-2470  
 The Contractor must notify the following in case of an emergency:  
 AT&T 1-800-246-8464  
 Black Hills Energy 1-800-694-8889  
 City of Wichita Water & Sewer 1-316-219-8921  
 City of Wichita Stormwater 1-316-268-4090  
 City of Wichita Traffic 1-316-268-4034  
 Cox Communications 1-888-249-3530  
 Kansas Gas Service 1-888-422-4950  
 Westar Energy 1-800-544-4950
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the inspecting engineer and Tom Mason at 316-268-4574 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer, Brian Coon at [traffic@wichita.gov](mailto:traffic@wichita.gov) before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of the Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD 88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions.

- Any sidewalk, drive approach, or street pavement removed to construct project must have a pavement cut permit and be replaced by the City contractor. Permits can be obtained by calling 316-268-4501 or 316-268-4480.
- City maintenance of storm sewer ends at the last structure in the easement or right-of-way.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractors expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Site Restoration".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- All areas disturbed during construction shall be seeded, mulched, and fertilized as follows (Permanent Seeding):  
 Seed: Kansas Premium Fescue Blend; 8 lbs./1000 sq. ft.  
 Mulch: Prairie Hay; 2 tons/acre  
 Fertilizer: 12-24-12; 850 lbs./acre  
 All costs associated with seeding, mulching, and fertilizing shall be included in bid item "Seeding". All seeding operations shall conform to City of Wichita Standard Specifications.
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

## Benchmarks

BM #1: "□" cut in top of storm sewer inlet near NE corner of Lot 3, Estancia Commercial Addition. Elev. = 1331.32 (NAVD88)

BM #2: "□" cut chiseled in storm sewer headwall at NE corner of Lot 2, Block 1, Estancia Commercial Addition. Elev. = 1331.08 (NAVD88)

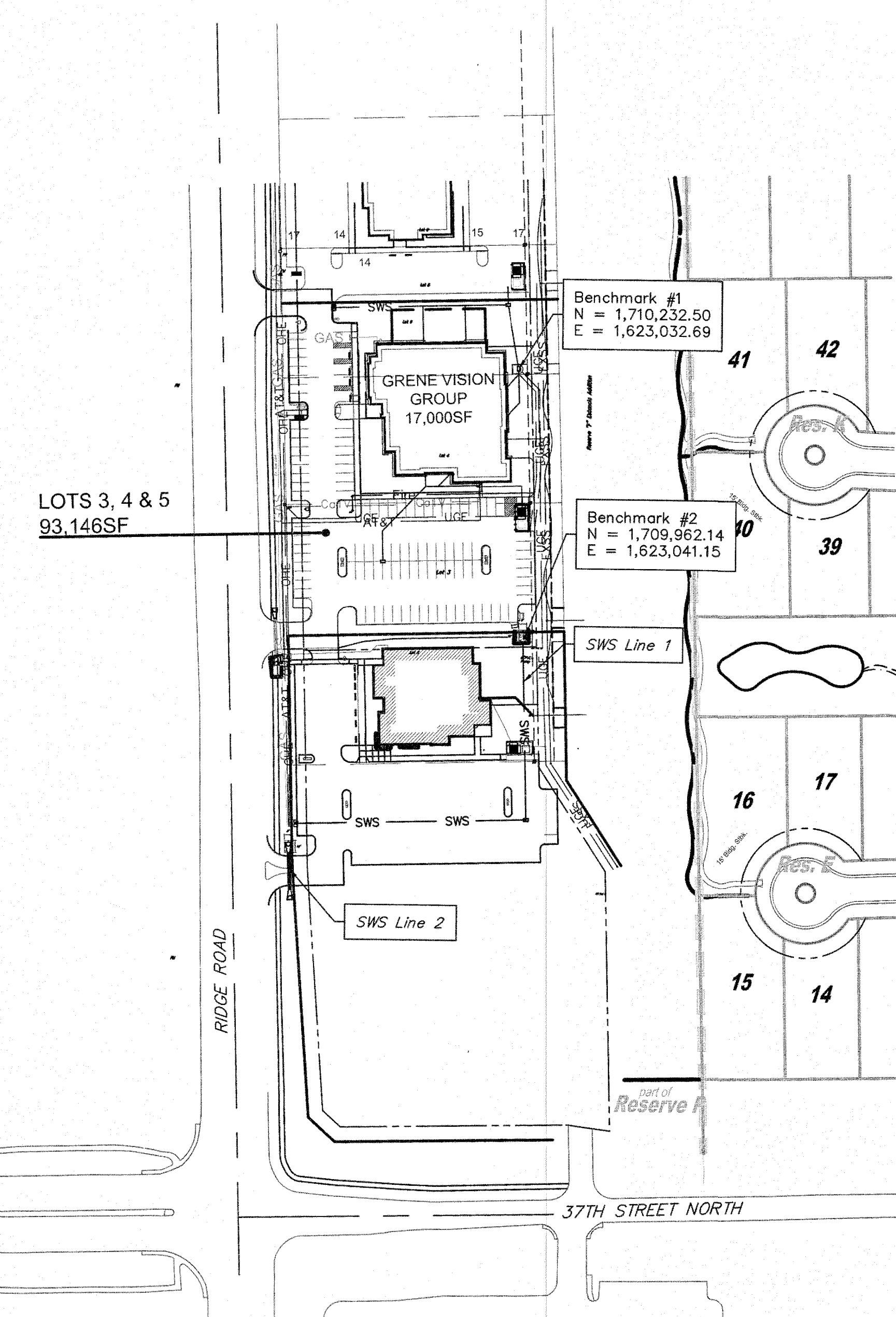
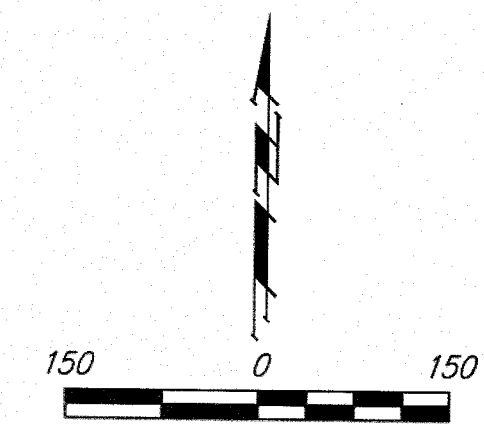
# STORM SEWER IMPROVEMENTS

to serve

## Estancia Commercial Addition

37th Street North and Ridge Road  
 Wichita, KS 67214

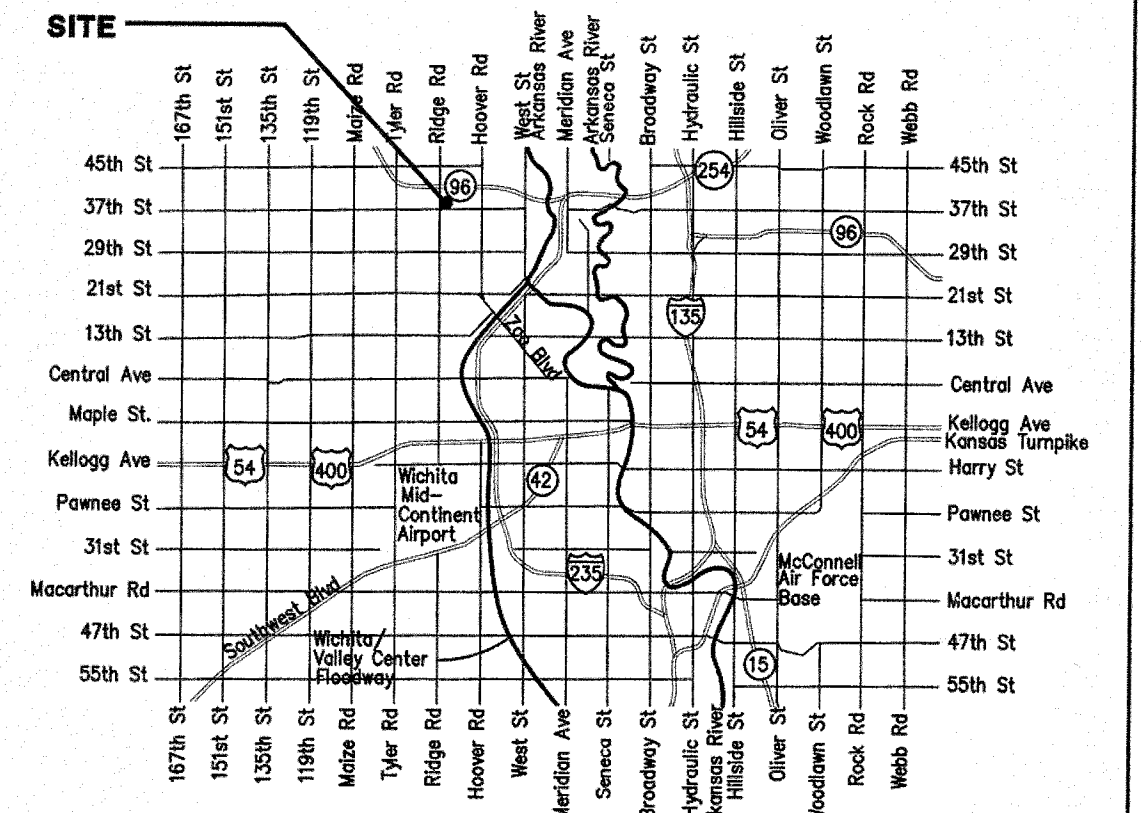
Gary Janzen, P.E. City Engineer  
 Project Number  
 0541PPD (133139)



## SHEET INDEX:

Title Sheet	1
SWS Lines 1 & 2 Plan/Profile	2
Erosion Control Plan	3
Grading Plan	4
Copy of Plat	5

\*Details are available at City of Wichitaweb site at <http://www.wichita.gov/PWU/StandardsConstruction/Forms/WebPageStandardsConstruction.aspx>



Vicinity Map

## Stormwater Narrative & Certification

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

**Water Quality Treatment:** Handled by subdivision wet pond.

Redev. Imperv. (ft <sup>2</sup> )	New Imperv. (ft <sup>2</sup> )
0	±53,984.3

**Detention & Downstream Channel Protection:** Provided by existing subdivision pond.

**BMPs used for this development are:** Offsite Wet Detention Basin.

APPROVED AS NOTED  
 BY WICHITA PUBLIC WORKS ENGINEERING AND STORMWATER DIVISION

Engineering *Julianne Kellman* 8-27-18  
 Stormwater *Joe Hubble* 8-29-18

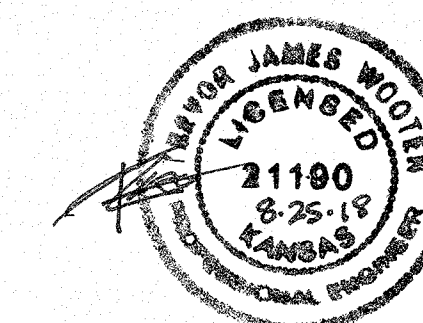
NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions. (on file and available at Wichita.gov).

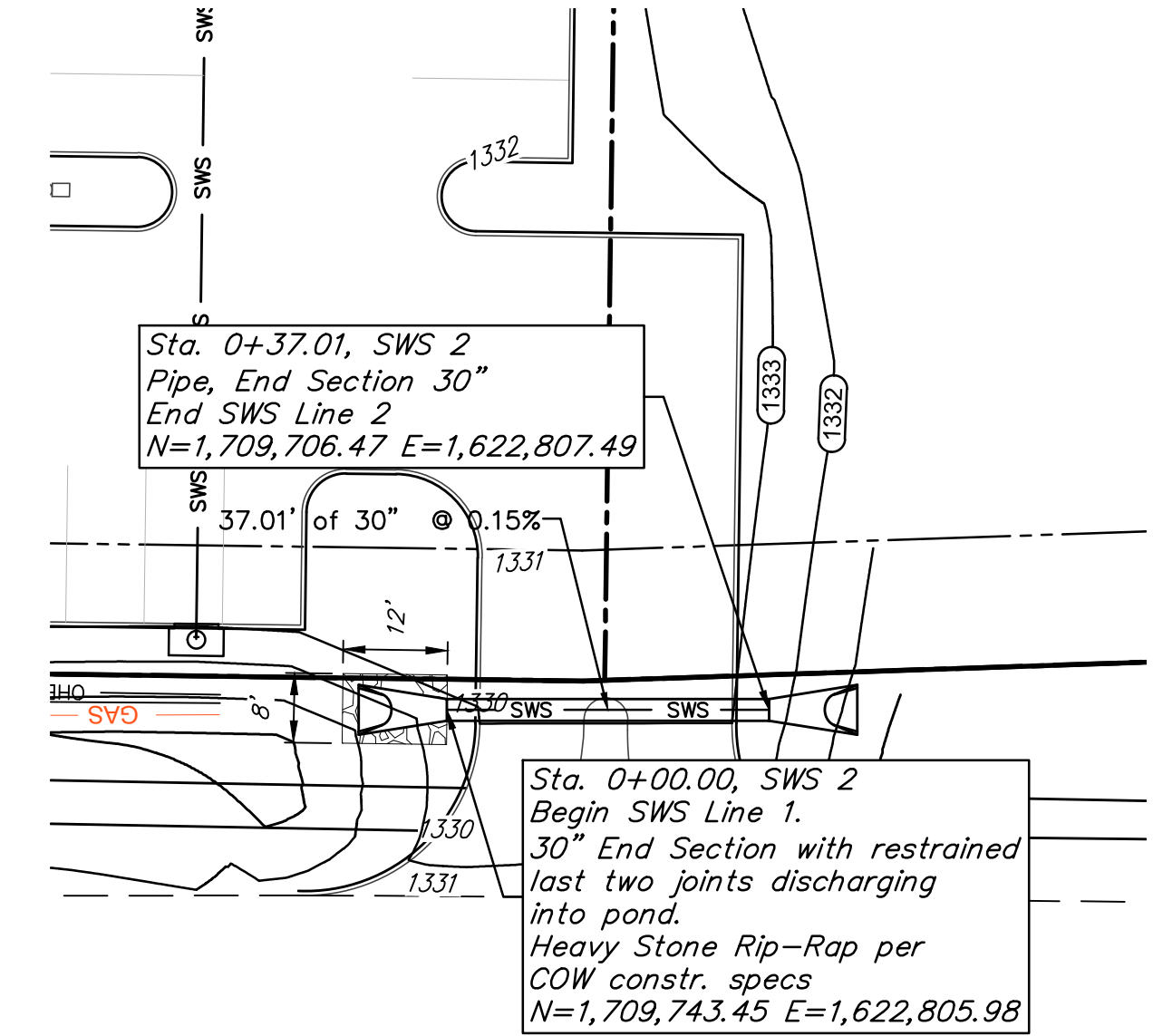
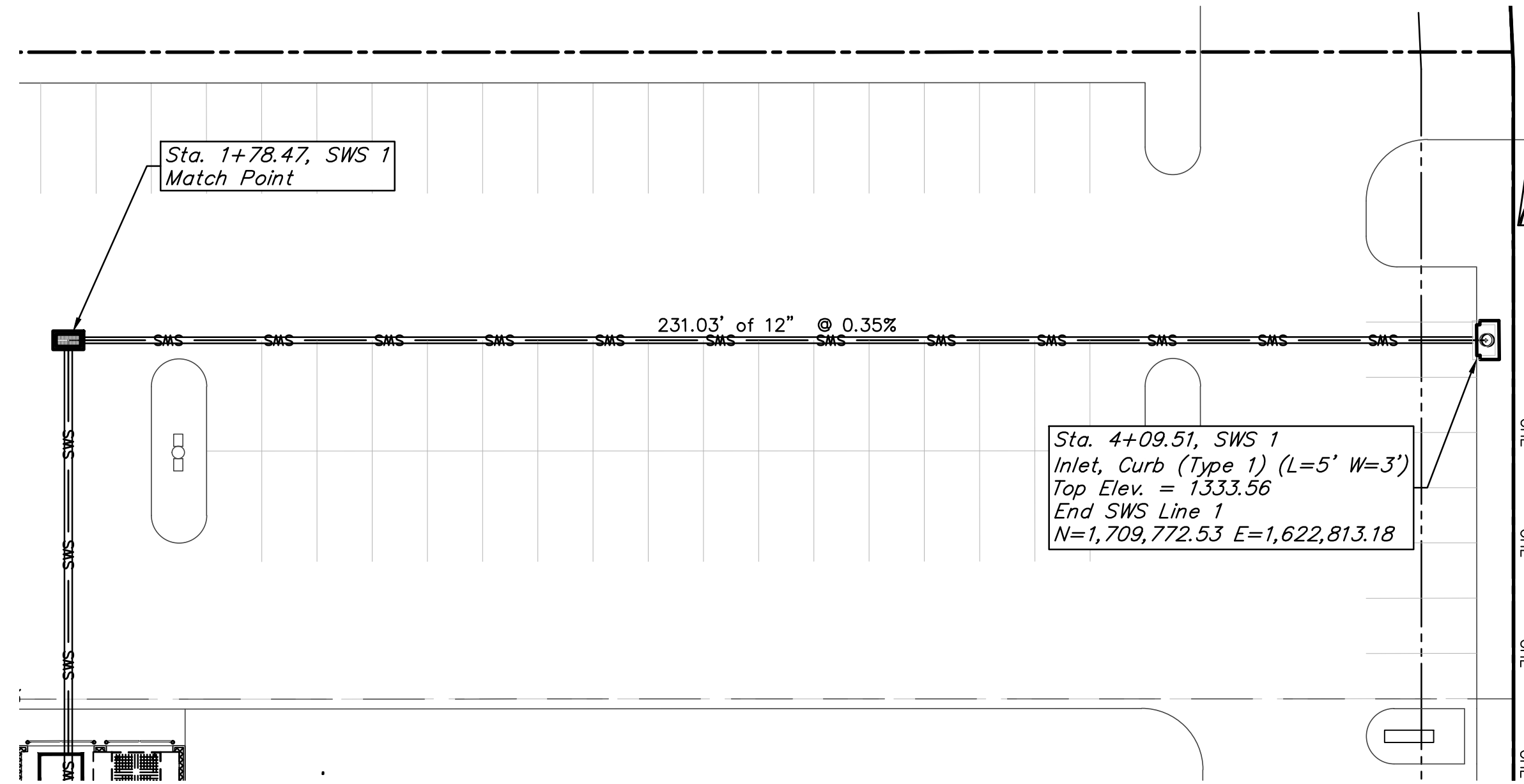
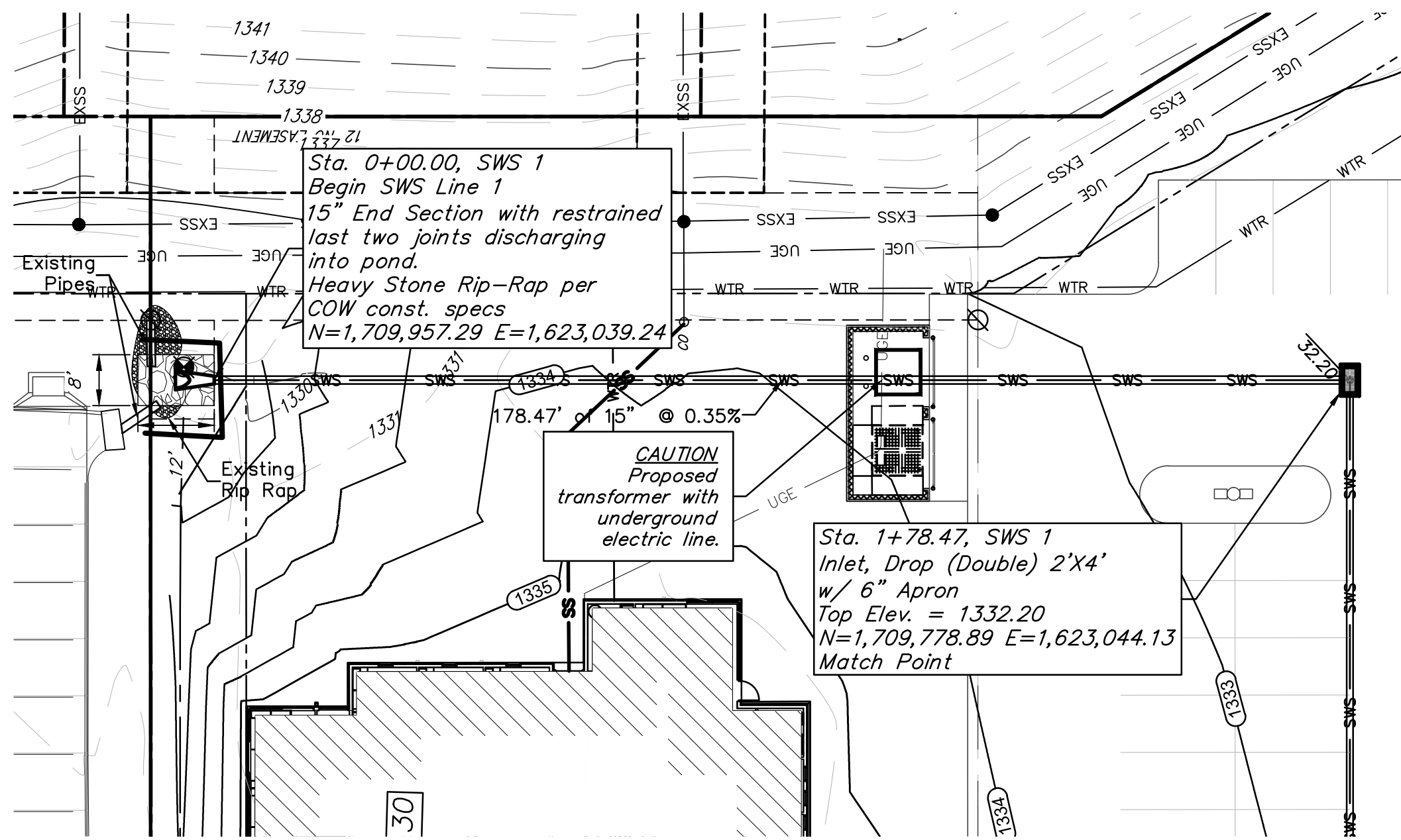
An approved copy of these plans signed by City staff are required on-site.

**AS BUILTS  
 CONTRACTOR: MIES CONSTRUCTION  
 SUPERINTENDENT: ALBERT WILLIAMS  
 FOREMAN: DALLAS MIES  
 INSPECTOR: ERIC STRECKER  
 INSPECTION FIRM: SCHWAB-EATON  
 PDF: ELS, 10-25-2018**

August 2018



**BAUGHMAN COMPANY**  
 315 Ellis St. Wichita, KS 67211 316-262-7271  
 BaughmanCo.com

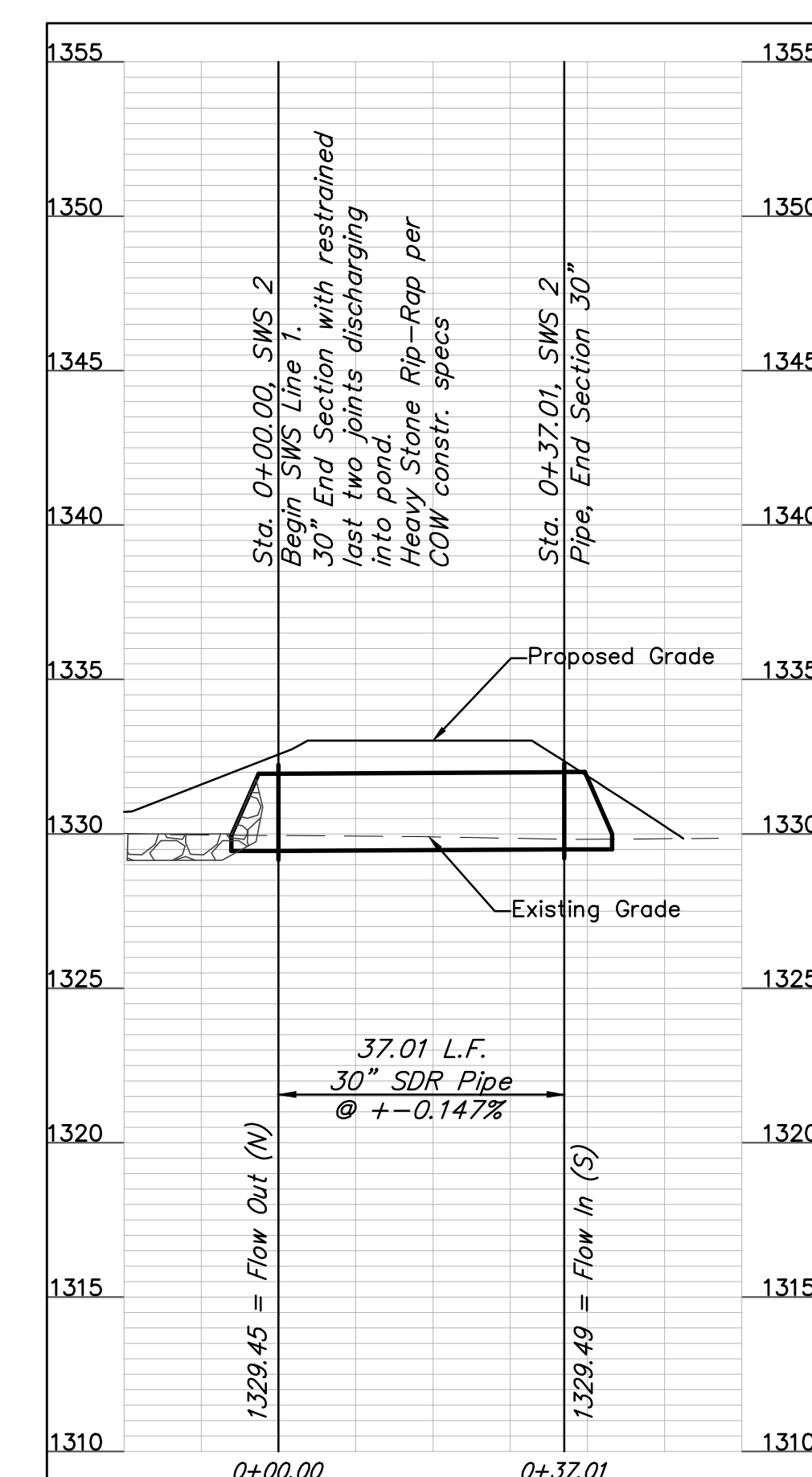
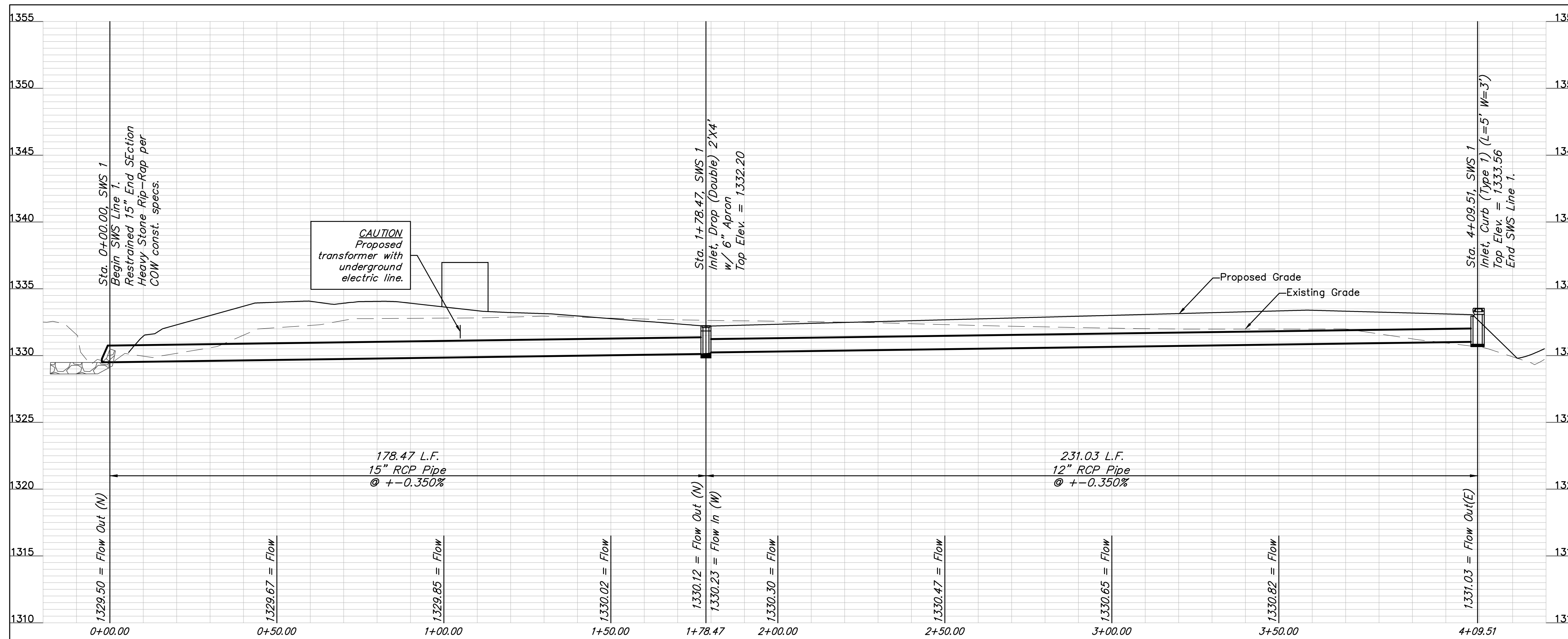


Scale: 1" = 20' Horizontal  
 1" = 5' Vertical  
 • = Iron

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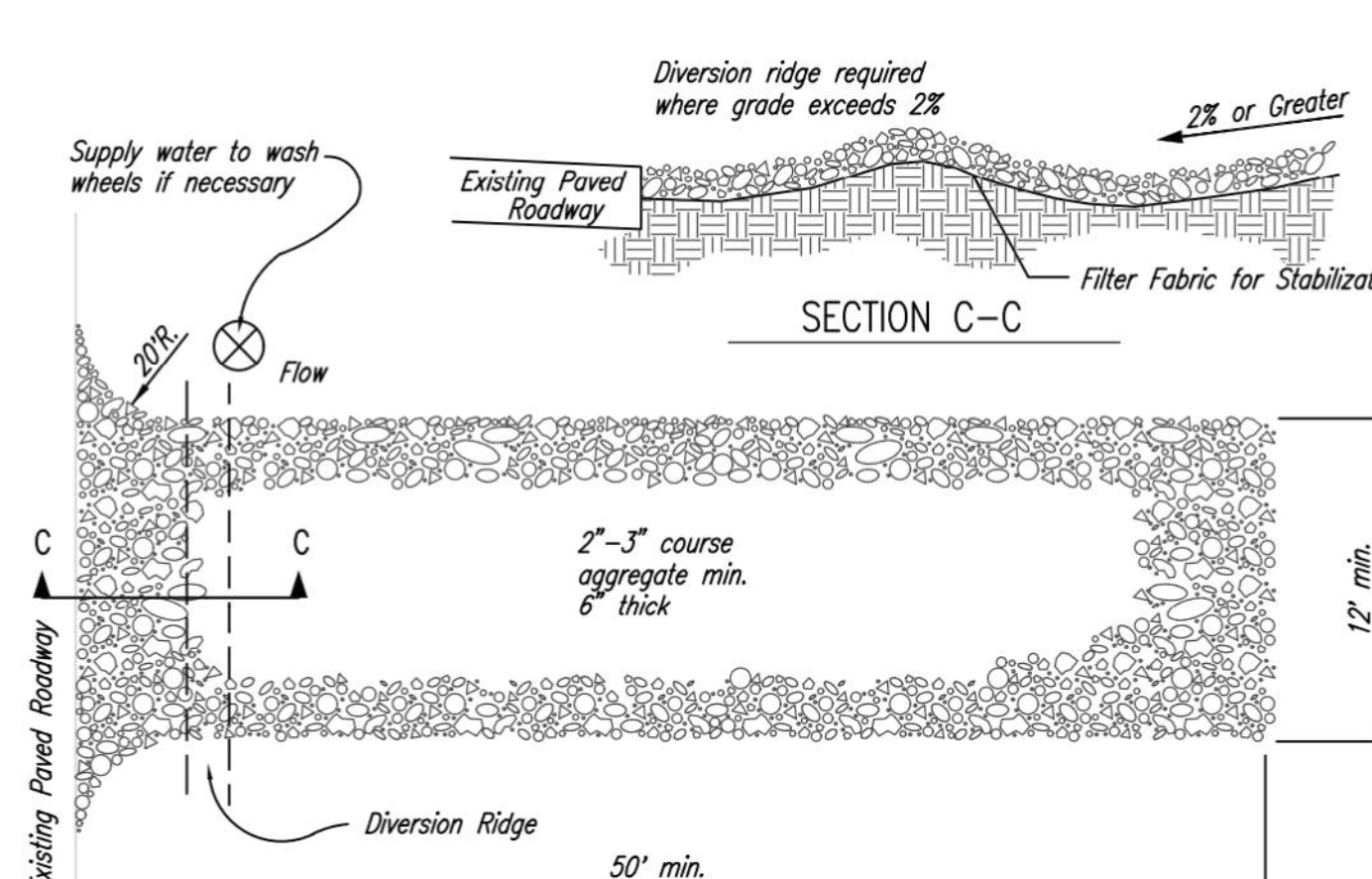
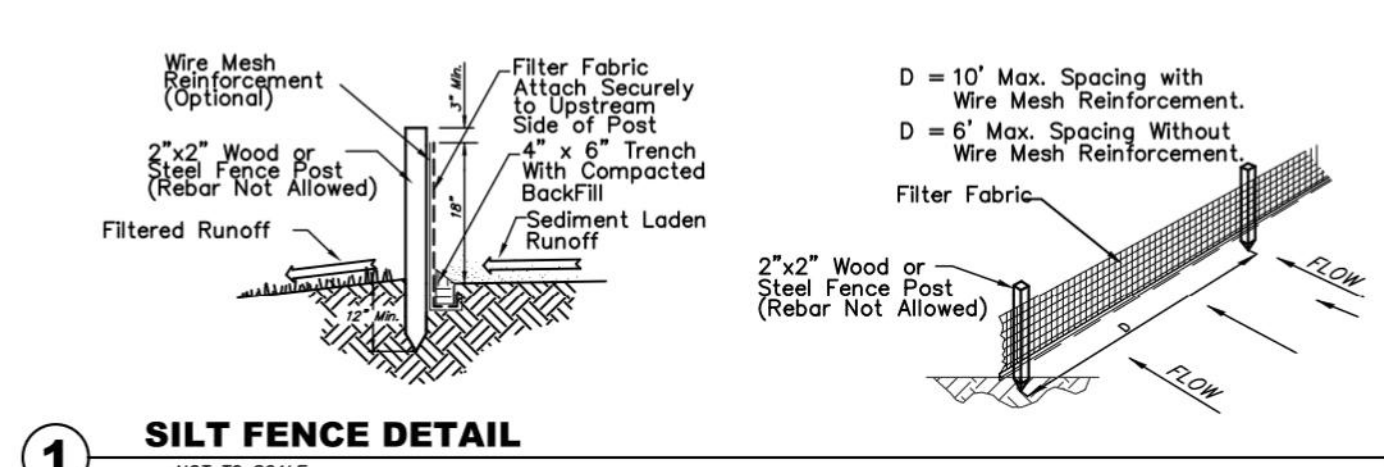
SWS 1

SWS 2

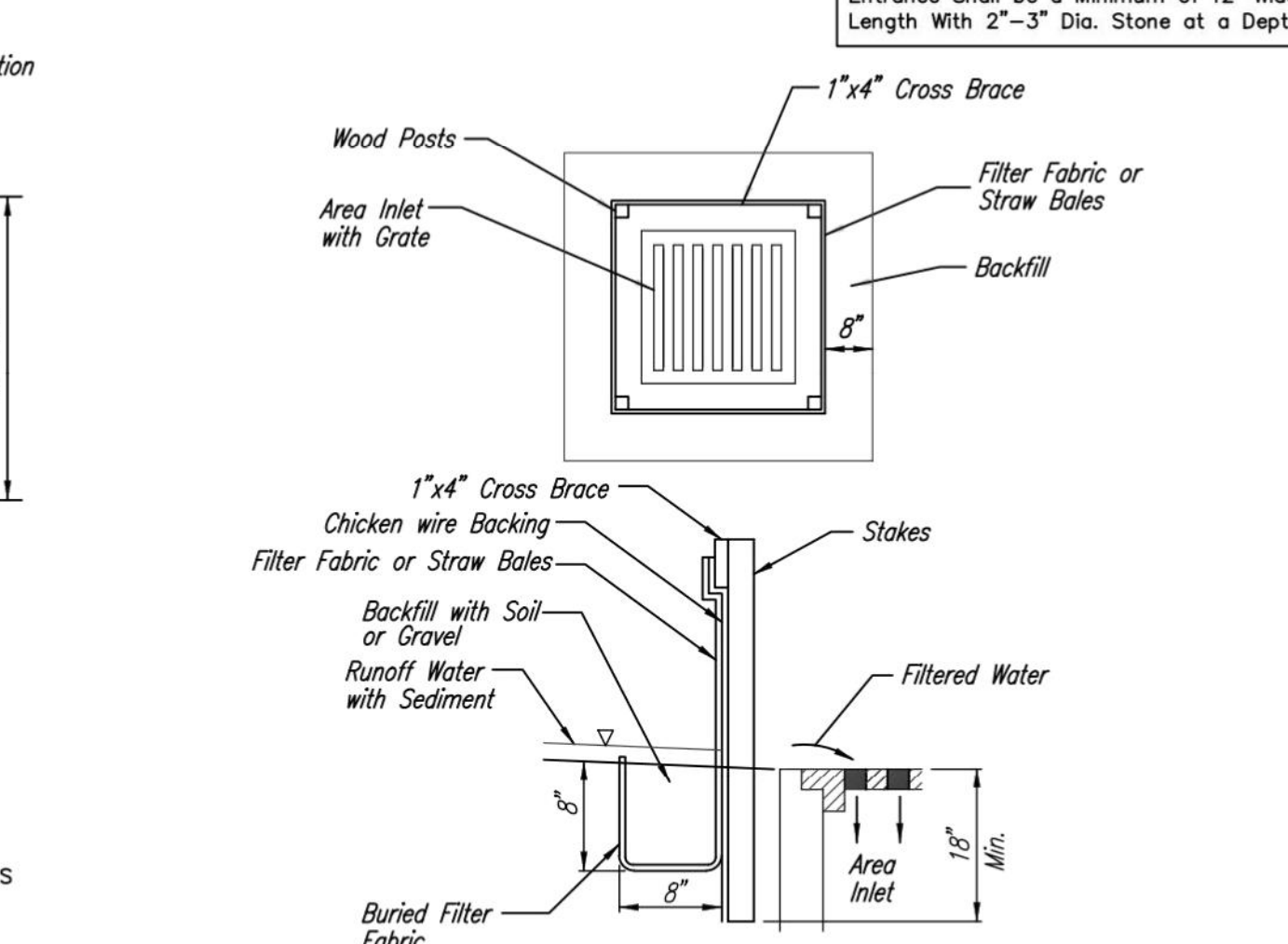
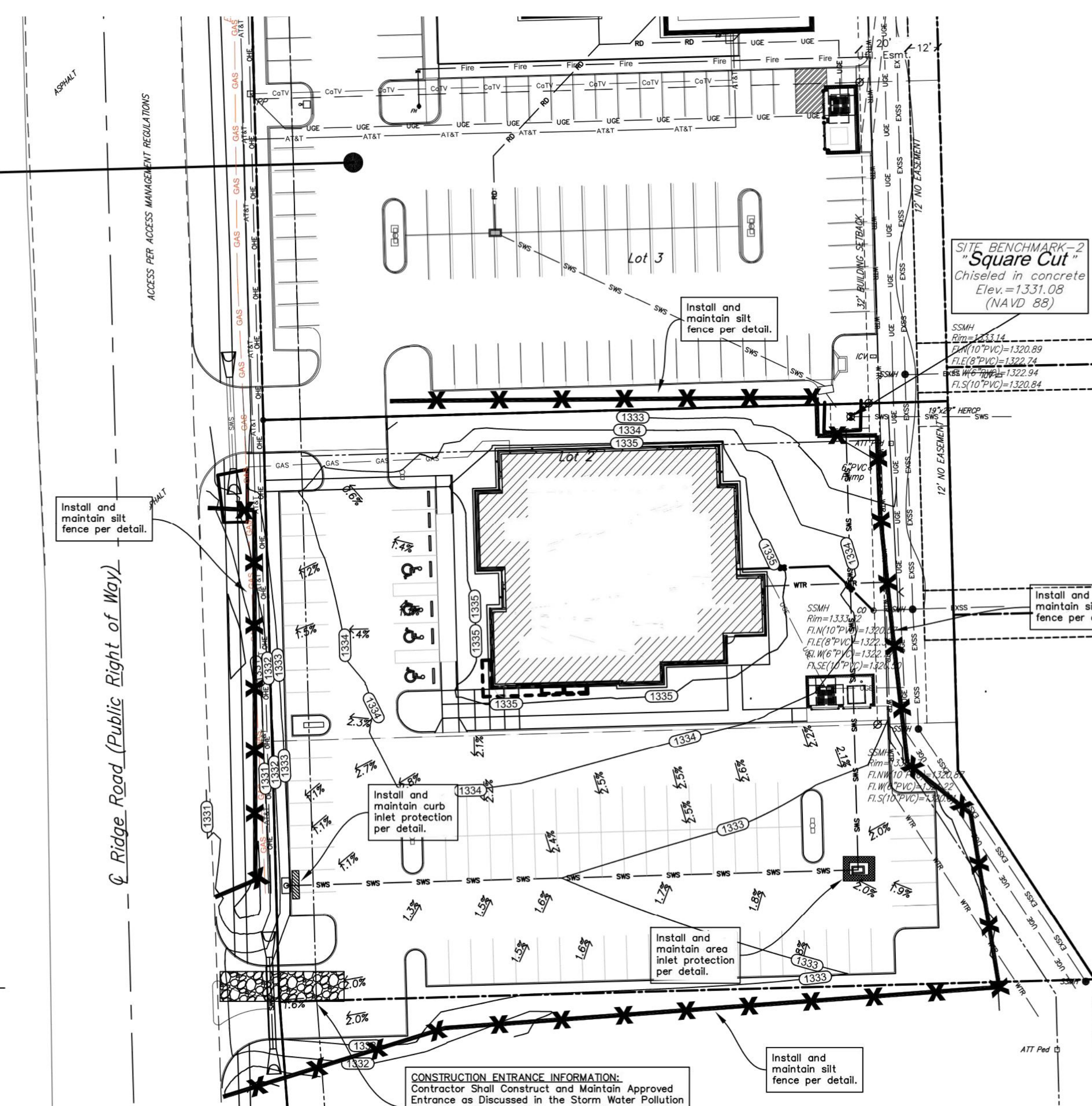


BUILT TO PLAN

**FOR REFERENCE ONLY  
NOT TO SCALE**



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
  4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.



**LEGAL DESCRIPTION**

Lot 2, Block 1, together with the north 105.5 feet of Lot 1, Block 1, Estancia Commercial Addition, Wichita, Sedgwick County, Kansas.

**SITE INFORMATION**

Total Area:	±67,486.6 sq. ft. (1.55 acres)
Disturbed Area:	±63,553.2 sq. ft. (1.45 acres)
Impervious Area, pre-const:	±0 sq. ft. (0.00 acres)
Impervious Area, post-const:	±53,984.3 sq. ft. (1.24 acres)

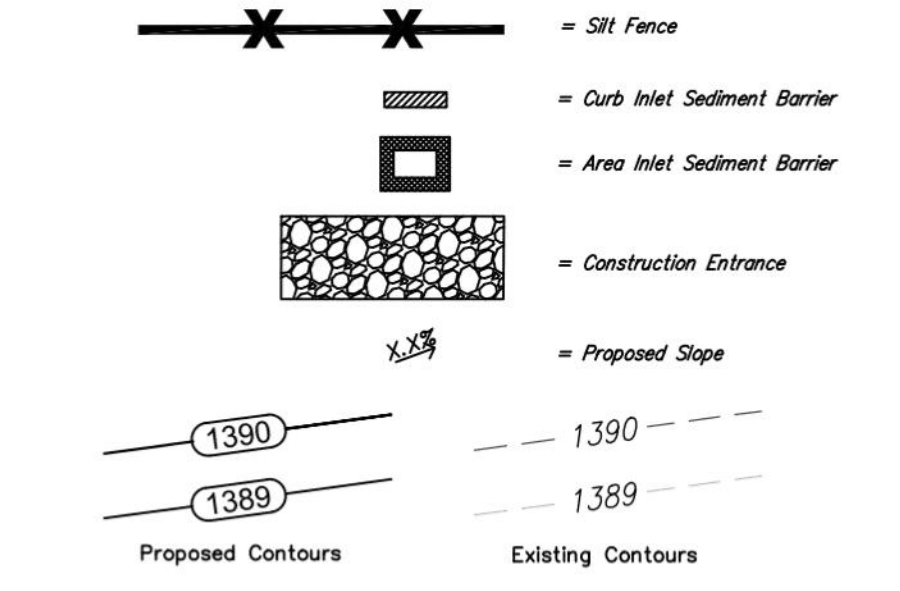
**BENCHMARKS**

- SITE BENCHMARK-1**  
"Square Cut" Chiseled in concrete on top of storm sewer inlet near NE corner of Lot 3, Estancia Commercial Addition.  
Elev.=1331.32 (NAVD 88)
- SITE BENCHMARK-2**  
"Square Cut" Chiseled in concrete in storm sewer headwall at NE corner of Lot 2, Block 1, Estancia Commercial Addition.  
Elev.=1331.08 (NAVD 88)

**EROSION CONTROL NOTES**

1. No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and City specs (See #11).
2. All exposed areas shall be seeded as specified within 14 days of final GRADING. Seed is to include straw mulch, crimped in place per industry standards.
3. Should construction stop for longer than 14 days, the site shall be seeded as specified.
4. Maintain erosion control measures after each rain and at least once a week.
5. This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
6. Contractor shall comply with all state and local ordinances that apply.
7. Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
8. Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
9. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
10. See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
11. This SWPP Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
12. ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
13. An NPDES Permit Application has been submitted for this property. A copy of this application must be kept at the job site for the duration of the construction process.

**EROSION CONTROL LEGEND**

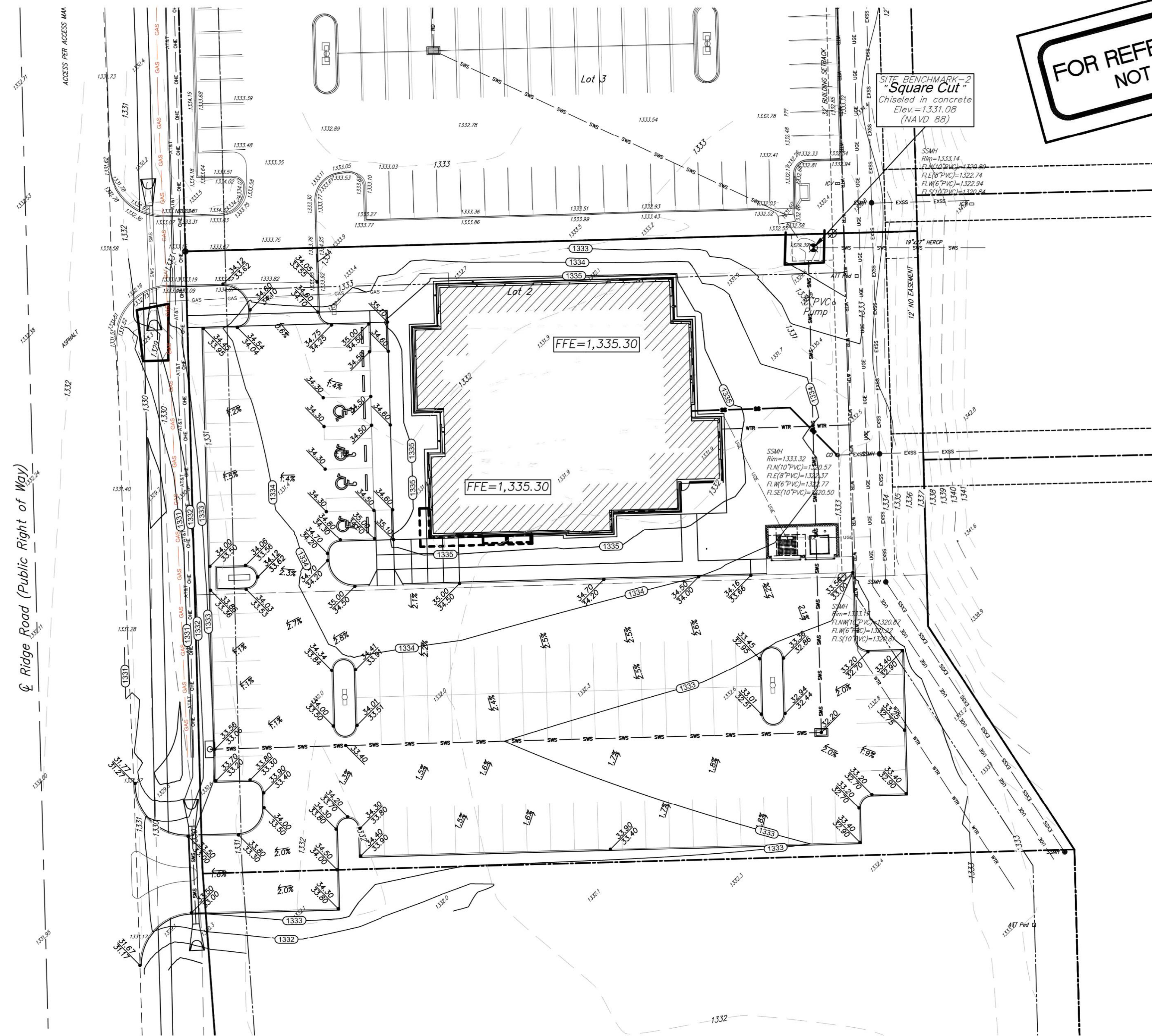


**BAUGHMAN COMPANY**  
315 Ellis St. Wichita, KS 67211 316-262-7771  
baughmanco.com



ESTANCIA COMMERCIAL ADDITION  
**Erosion Control**  
STORM SEWER IMPROVEMENTS

Center Line of Ridge Road (Public Right of Way)



**FOR REFERENCE ONLY  
NOT TO SCALE**

**LEGAL DESCRIPTION**

Lot 2, Block 1, together with the north 105.5 feet of Lot 1, Block 1, Estancia Commercial Addition, Wichita, Sedgewick County, Kansas.

**SITE INFORMATION**

Total Area: ±67,486.6 sq. ft. (1.55 acres)  
 Disturbed Area: ±63,553.2 sq. ft. (1.45 acres)  
 Impervious Area, pre-const: ±0 sq. ft. (0.00 acres)  
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**BENCHMARKS**

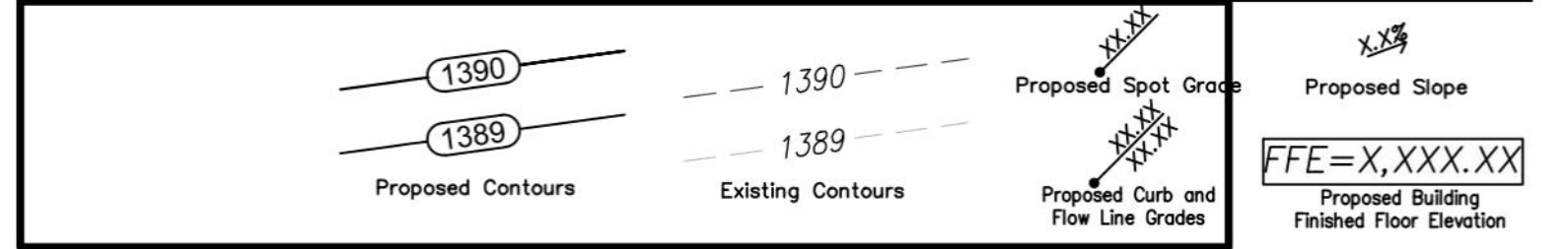
**SITE BENCHMARK-1**  
 "Square Cut" Chiseled in concrete on top of storm sewer inlet near NE corner of Lot 3, Estancia Commercial Addition.  
 Elev.=1331.32 (NAVD 88)

**SITE BENCHMARK-2**  
 "Square Cut" Chiseled in concrete in storm sewer headwall at NE corner of Lot 2, Block 1, Estancia Commercial Addition.  
 Elev.=1331.08 (NAVD 88)

**GRADING NOTES**

- Contractor shall be required to provide notice to Kansas One Call at 687-2470 a minimum of two (2) working days prior to any excavation or work adjacent to utilities.
- The Contractor must notify the following in case of an emergency:
  - Kansas Gas Service (Gas).....1-888-482-4950
  - Black Hills Energy (Gas).....1-800-303-0357
  - Wester Energy (Electric).....383-8650
  - Cox Communications (Telecommunication).....262-4270
  - AT&T (Telecommunication).....268-2759
  - City of Wichita Water Dept. (Water).....268-4563 or 268-4908
  - City of Wichita Sewer Maint. (San. Sewer).....268-4024 or 262-6000
  - City of Wichita Storm Sewer Maint. (Storm Sewer).....268-4090
  - City of Wichita Traffic Maint. (Traf. Control).....268-4034 or 268-4203
  - Conoco Pipeline Co. (Petroleum).....1-800-231-2551
  - Williams Pipeline Co. (Petroleum).....529-6600 or 1-800-324-9696
  - Phillips Pipeline Co. (Petroleum).....1-800-766-8230
- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company record drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for Treatment of All Disturbed Areas.
- Signage and striping shall be installed in accordance with Local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. See Architectural Site Plan and Geotechnical Report for Pavement and subgrade details.
- Proposed storm water sewer shall be the contractor's responsibility. This portion of the project shall be constructed under "Private Project." The storm sewer system shall be designed separately, and undergo Local City review and approval. The installation of the storm sewer is required to be done by a bonded contractor, inspected and certified. Refer to Separate Sewer and Storm Water Sewer Plan Set. The Contractor shall construct the sewer only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks around building shall not exceed 1/4" per foot (or 2%). Notify Landscape Architect of any discrepancies prior to forming of walks.
- Landscape Areas adjacent to Building shall be set 4" Below FFE, unless otherwise noted. At areas adjacent to the building and Sidewalk, landscape shall be graded to match the sidewalk section and drain away from the building. Transition landscape to match sidewalk to 4" below with a slope not exceeding 1/12.

**LEGEND**



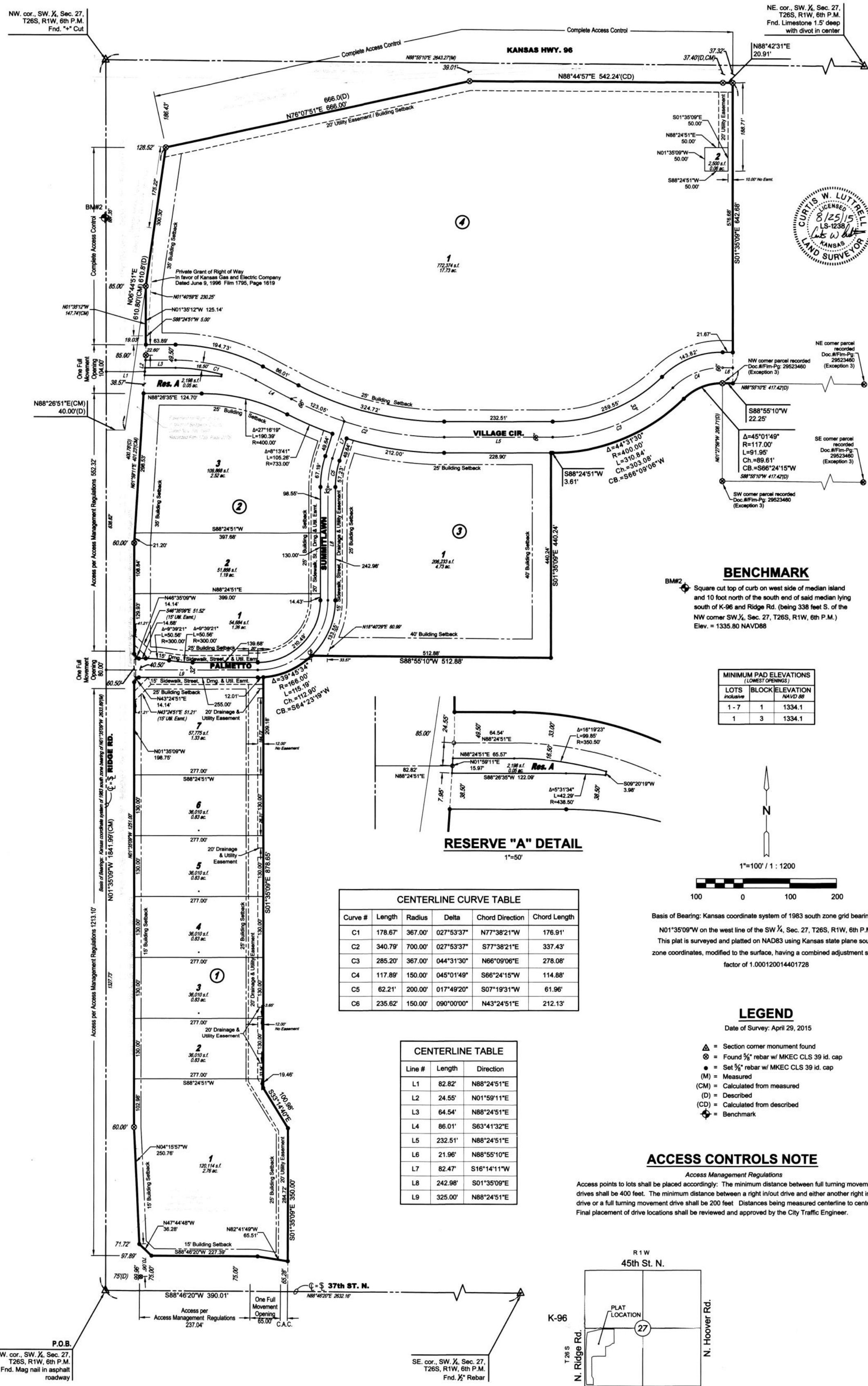
**SITE GRADING PLAN**  
 Scale 1"= 20'-0"

**BAUGHMAN COMPANY**  
 315 Ellis St. Wichita, KS 67211 316-262-7771  
 baughmanco.com



ESTANCIA COMMERCIAL ADDITION  
**Grading Plan**  
 STORM SEWER IMPROVEMENTS

FINAL PLAT  
**ESTANCIA COMMERCIAL ADDITION**  
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



**BENCHMARK**  
 Square out top of curb on west side of median island and 10 foot north of the south end of said median lying south of K-96 and Ridge Rd. (Using 338 feet S. of the NW corner SW 1/4, Sec. 27, T26S, R1W, 6th P.M.)  
 Elev. = 1335.80 NAVD83

**MINIMUM PAD ELEVATIONS (Minimum)**

LOTS	MINIMUM ELEVATION	AVOID #8
1-7	1	1334.1
1	3	1334.1

**RESERVE "A" DETAIL**  
 1"=50'

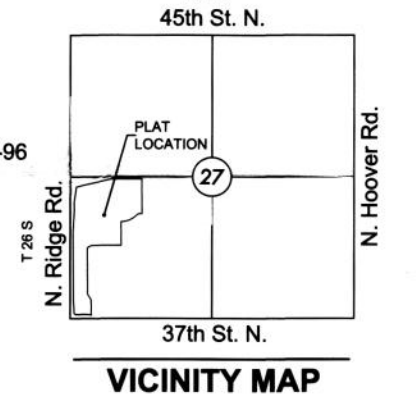
**CENTERLINE CURVE TABLE**

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	178.67	367.00	027°53'37"	N77°39'21"W	178.61
C2	340.79	700.00	027°53'37"	S77°39'21"E	337.47
C3	285.20	367.00	044°31'30"	N68°09'00"E	278.08
C4	117.89	150.00	045°01'49"	S68°24'15"W	114.88
C5	62.21	200.00	017°49'20"	S07°19'31"W	61.96
C6	235.62	150.00	090°00'00"	N43°24'51"E	212.17

**CENTERLINE TABLE**

Line #	Length	Direction
L1	82.82	N88°24'51"E
L2	24.55	N01°59'11"E
L3	64.54	N88°24'51"E
L4	86.01	S63°41'32"E
L5	232.51	N88°24'51"E
L6	21.96	N88°50'10"E
L7	82.47	S16°14'11"W
L8	242.98	S01°39'00"E
L9	325.00	N88°24'51"E

**ACCESS CONTROLS NOTE**  
 Access Management Regulations  
 Access points to lots shall be placed accordingly. The minimum distance between full turning movement drives shall be 400 feet. The minimum distance between a right in/out drive and either another right in/out drive or a full turning movement drive shall be 200 feet. Distances being measured centerline to centerline. Final placement of drive locations shall be reviewed and approved by the City Traffic Engineer.



**FOR REFERENCE ONLY  
 NOT TO SCALE**



FINAL PLAT  
**ESTANCIA COMMERCIAL ADDITION**  
 AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

**CERTIFICATE OF SURVEY**

I, Curtis W. Luttrell a Professional Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plotting of "ESTANCIA COMMERCIAL ADDITION" an addition to Wichita, Sedgwick County, Kansas, into Lots, Blocks, Streets, and a Reserve, the same being accurately set forth in the accompanying plat and described herein.  
 A tract of land lying in the Southwest Quarter, Section 27, Township 28 South, Range 1 West, of the 6th Principal Meridian, Wichita, Sedgwick County, Kansas, said tract being more particularly described as follows:  
**BEGINNING** at the southwest corner of said Southwest Quarter; thence along the West line of said Southwest Quarter on a Kansas coordinate system of 1983 south zone grid bearing of N01°30'00"W, 184.09 feet to a point on a tract of land for Highway Purposes recorded on Deed Book 1386, Page 567; thence along the south line of said tract of land for Highway Purposes N88°26'51"E, 40.00 feet; thence continuing along the easterly line of said tract, N08°44'51"E, 610.80 feet; thence continuing along a southerly line of said tract, N76°07'51"E, 666.00 feet; thence continuing along a southerly line of said tract, N88°44'57"E, 542.24 feet; thence continuing along a southerly line of said tract, N88°42'31"E, 20.91 feet; thence S01°39'09"E, 642.68 feet to the north line of the third exception tract described and being recorded on Doc # 878-79; 2622046; thence along said north line, S88°50'10"W, 22.25 feet to the northwest corner of said exception tract being a point on a curve to the left; said curve having a radius of 117.00 feet, a central angle of 45°01'49", a chord bearing of S88°24'15"W, and a chord distance of 89.61 feet; thence along said curve to the left 91.35 feet to a point on a reverse curve to the right; said reverse curve having a radius of 400.00 feet, a central angle of 44°31'30", a chord bearing of S68°09'00"W, and a chord distance of 303.08 feet; thence along said reverse curve to the right 310.84 feet; thence S88°24'51"W, 3.61 feet; thence S01°39'09"E, 444.24 feet; thence S88°50'10"W, 512.89 feet to a point on a non-tangent curve to the right; said curve having a radius of 166.00 feet, a central angle of 039°45'34", a chord bearing of S84°23'19"W, and a chord distance of 112.90 feet; thence along said non-tangent curve to the right 115.19 feet to a point lying 337.00 feet east of said West line of said Southwest Quarter; thence parallel with and 337.00 feet east of said West line, S01°39'09"E, 878.85 feet; thence S23°14'07"E, 100.88 feet; thence S01°39'09"E, 350.00 feet to the south line of said Southwest Quarter; thence along said south line, S88°48'20"W, 390.01 feet to the POINT OF BEGINNING.  
 Said tract CONTAINS: 1,823,504 square feet or 41.86 acres of land, more or less.  
 All alleys, easements, rights-of-way, building setbacks, access controls, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512b, as amended.  
 I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 25 day of August, 2015.



Curtis W. Luttrell, P.L.S. #1238  
 MKEC Engineering, Inc. (CLS 39)  
 411 North Webb Road  
 Wichita, Kansas 67206

**OWNER'S CERTIFICATE**

Know all men by these presents that we the undersigned property owners of the land above set forth in the Professional Land Surveyor's Certificate, have caused the same to be surveyed and platted into Lots, Blocks, Streets, and a Reserve, the same to be known as "ESTANCIA COMMERCIAL ADDITION" an addition to Wichita, Sedgwick County, Kansas.  
 The streets are hereby dedicated to and for the use of the public.  
 Easements for the construction and maintenance of sidewalks, streets, drainage, and utilities, as indicated hereon, are hereby granted to the public.  
 All abutters rights of access to or from Ridge Road over and across the west line of "ESTANCIA COMMERCIAL ADDITION," are hereby granted to the appropriate governing body, provided however two full movement openings shall be permitted as indicated hereon, and additional full and/or right in/out openings as per the Access Management Regulations as indicated in sheet 1(2). All abutters rights of access to or from 37th Street over and across the south line of "ESTANCIA COMMERCIAL ADDITION," are hereby granted to the appropriate governing body, provided however one full movement opening shall be allowed as indicated hereon. All abutters rights of access to or from Kansas Highway 96 over and across the north line of "ESTANCIA COMMERCIAL ADDITION," are hereby granted to the appropriate governing body.  
 A drainage plan has been developed for this plat. All drainage easements, rights-of-way, shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and unobstructed to allow for the conveyance of stormwater. Lots 1, 2, 3, 4, 5, 6, and 7, Block 1, and Lot 1, Block 3, are required to adhere to the minimum pad elevation as per the "Minimum Pad Elevations" table shown hereon. Cross-tot drainage easements are hereby granted to all Lots platted hereon.  
 Reserve A is platted for open space, berm, landscaping, irrigation, signs, monuments, and sidewalks. The reserve is hereby reserved for the stated uses and shall be owned and maintained by the developer and/or a lot owner's association, and/or their successors or assigns.  
 This plat shall adhere and conform to the recitals of CUP DP-337 as approved and filed at the Wichita-Sedgwick County Metropolitan Area Planning Department.

Tier 1, LLC  
 By: Schellenberg Properties, LLC, Member  
 Marvin L. Schellenberg, Manager  
 By: Birds Eye Holdings, LLC, Member  
 Seth Albin, CFO

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 This instrument was acknowledged before me on this 21 day of August, 2015, by Marvin L. Schellenberg, as Manager of Schellenberg Properties, LLC, being a Member of Tier 1, LLC, a Kansas limited liability company.  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.  
 Cynthia A. Womack, Notary Public  
 My Term Expires: 7-6-2017

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 This instrument was acknowledged before me on this 21 day of August, 2015, by Seth Albin, CFO of Birds Eye Holdings, LLC, being a Member of Tier 1, LLC, a Kansas limited liability company.  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.  
 Cynthia A. Womack, Notary Public  
 My Term Expires: 7-6-2017

**MORTGAGE CERTIFICATE**

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 Peoples Bank and Trust Company, holder of a mortgage on the above described property, does hereby consent to the "ESTANCIA COMMERCIAL ADDITION" final plat.  
 PEOPLES BANK AND TRUST COMPANY  
 Paul Caffrey, Vice President  
 This instrument was acknowledged before me on 24 day of August, 2015, by Paul Caffrey, Vice President, of Peoples Bank and Trust Company.  
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.  
 Affix Seal  
 Cynthia A. Womack, Notary Public  
 My Term Expires: 7-6-2017

**PLANNING COMMISSION CERTIFICATE**

This plat of "ESTANCIA COMMERCIAL ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.  
 Dated this 20 day of August, 2015.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION  
 By: Matthew J. Goolbsy, Chair  
 Attest: W. Dave Barber, Interim Secretary

**GOVERNING BODY CERTIFICATE**

This Plat approved and all dedications shown hereon, accepted by the Wichita City Council of the City of Wichita, Kansas dated this 23 day of September, 2015.  
 At the direction of the City Council:

Laura A. Willis, Mayor  
 Attest: Karen Sublett, City Clerk

**TRANSFER RECORD**

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 Entered on transfer record this 20 day of September, 2015.  
 Kelly B. Arnold, County Clerk

**REGISTER OF DEEDS' CERTIFICATE**

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 This is to certify that this instrument was filed for record in the Register of Deeds office this 23 day of September, 2015, at 08:53:17 o'clock P.M. and is duly recorded.  
 Bill Meek, Register of Deeds  
 Attest: Tonya E. Buckingham, Deputy

**COUNTY SURVEYOR**

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 Reviewed in accordance with K.S.A. 58-2005 on this 20 day of August, 2015.  
 Tricia L. Roberts, LS #1248  
 Deputy County Surveyor  
 Sedgwick County, Kansas



BAUGHMAN COMPANY  
 315 Ellis St. Wichita, KS 67211 316-262-7771  
 baughmanco.com

ESTANCIA COMMERCIAL ADDITION  
**COPY OF PLAT**  
 STORM SEWER IMPROVEMENTS