

**AS BUILTS**

Contractor:  
**K&J EXCAVATING**

Project Inspector:  
**Larry Gann**

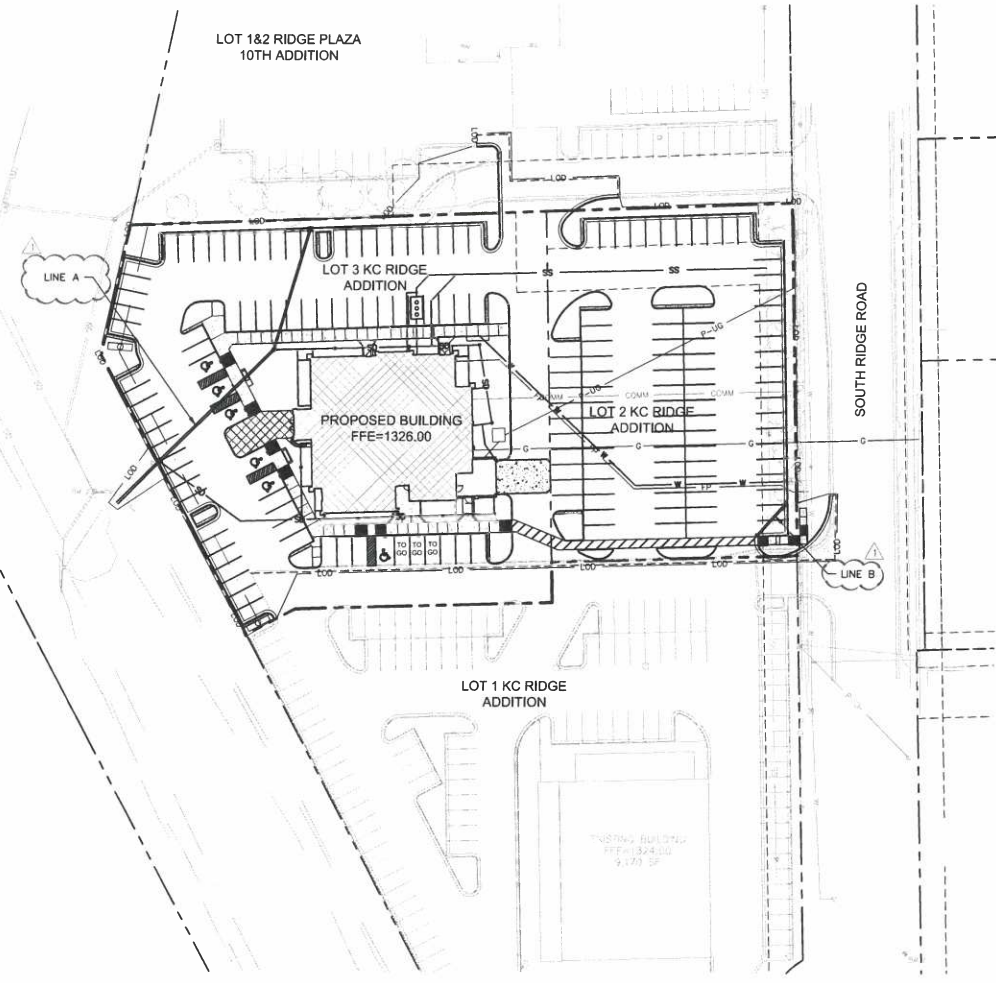
**2/12/2019**

**KEMILLER ENGINEERING PA**  
117 E. Lewis, Wichita, KS 67202 (316)264-0242

**PRIVATE PROJECTS DRAINAGE (PPD)  
CHEDDARS SCRATCH KITCHEN**  
W. KELLOGG DRIVE AND S. RIDGE ROAD  
SEC. 28, T27S, R1W  
WICHITA, SEDGWICK COUNTY, KANSAS  
536 PPD (133119)

**GENERAL NOTES**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND FOLLOW THE CITY OF WICHITA'S STANDARDS USED IN THIS PROJECT. A LIST OF STANDARDS HAS BEEN PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR; HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL CITY OF WICHITA'S STANDARDS AND SPECIAL PROVISIONS WHICH ARE APPLICABLE TO THIS PROJECT UNLESS OTHERWISE MODIFIED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PRESERVE ALL SURVEY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL PROPERTY MONUMENTS. ANY PROPERTY MONUMENTS DAMAGED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF KANSAS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY THAT ALL IMPACTED GOVERNMENT AGENCIES HAVE GRANTED ALL APPLICABLE PERMISSION TO PROCEED WITH CONSTRUCTION PRIOR TO MOBILIZATION. FURTHERMORE, 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY APPROPRIATE PARTIES THAT WORK WILL BE PROCEEDING WITHIN EACH IMPACTED GOVERNMENT AGENCY JURISDICTIONAL BOUNDARY.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITY PIPES AND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS AND TO THE BEST OF OUR KNOWLEDGE CONSTITUTE ALL KNOWN FACILITIES. HOWEVER, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIGGER'S HOTLINE OF KANSAS @ 1-800-DIG-SAFE IN ADVANCE OF ANY EXCAVATION FOR THE MARK-OUT OF THE LOCATION OF UTILITIES AND NOTIFICATION OF COMMENCEMENT OF WORK. THE CONTRACTOR SHALL ALSO HAVE ALL "PRIVATE UTILITIES" (INCLUDING IRRIGATION SYSTEMS) LOCATED BEFORE STARTING ANY CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE OR COORDINATE WITH THE APPROPRIATE UTILITY COMPANY FOR RELOCATION OF ALL UNFORESEEN EXISTING UTILITIES CONFLICTING WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- BEFORE EXCAVATING FOR THIS CONTRACT, THE CONTRACTOR SHALL FIELD VERIFY LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. THE CONTRACTOR SHALL REPORT TO THE ENGINEER OR CITY INSPECTOR ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- ANY EXISTING UTILITY LINES AND STRUCTURES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AND KEPT FREE OF DAMAGE BY THE CONTRACTOR'S OPERATIONS. IF SUCH UTILITY OR STRUCTURE IS DAMAGED, IT SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE. IF ANY UTILITY LINES OR STRUCTURES ARE DAMAGED DURING OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR FURTHER INSTRUCTIONS.
- ALL SPOIL MATERIAL FROM THE PROJECT SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN A LAWFUL MANNER. CONSULT WITH GEOTECHNICAL ENGINEER AND OWNER PRIOR TO ANY EARTHWORK OR EXCAVATION REGARDING CONTAMINATED AND/OR UNSUITABLE SOILS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF BUILDING, OR FACE OF CURB (UNLESS OTHERWISE NOTED). DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR RELOCATION AND/OR DEMOLITION AND DISPOSAL IN A MANNER APPROVED BY ALL GOVERNING AUTHORITIES FOR ALL STRUCTURES, PADS, WALLS, PANS, FOUNDATIONS, PAVEMENT, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED AND/OR RELOCATED SHALL BE UNDERLIFT TO SUITABLE GRADE AND BROUGHT UP TO PROPOSED GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PLANS/SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED OF IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL TRAFFIC CONTROL NECESSARY DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL NOT DISTURB BEYOND THE PROJECT LIMITS OF CONSTRUCTION WITHOUT APPROVAL FROM THE PROJECT ENGINEER/OWNER.
- ALL CONSTRUCTION INSPECTION AND MATERIAL TESTING SHALL BE PROVIDED TO THE ACCEPTANCE OF THE CITY OF WICHITA.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, BUILDING SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL STATIONING AND DIMENSIONS ARE TO CENTER OF STRUCTURE FOR MANHOLES AND AREA/GRATE INLETS AND CENTER OF BOX FOR CURB INLETS, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPE MATERIAL SHALL CONFORM TO LOCAL CODES.
- REFERENCE ARCHITECTURAL PLANS FOR EXACT ROOF DRAIN/FOUNDATION DRAIN/DOWNSPOUT CONNECTION LOCATIONS AT BUILDING.
- ALL STORM SEWER CONNECTIONS SHALL BE SOIL-TIGHT (MINIMUM).
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ROOF DRAIN CONNECTIONS TO STORM SEWER PIPE SHALL BE CONSTRUCTED USING PRE-MANUFACTURED FITTINGS (I.E. WYES, TEES, ETC.) THAT SHALL BE SOIL-TIGHT AND HAVE SMOOTH INTERIOR WALLS.
- ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. A CERTIFIED TESTING AGENCY SHALL PROVIDE COMPACTION TESTING FOR ALL STORM SEWER TRENCHING.
- ALL STORM SEWER STRUCTURES IN PAVED AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
- STORM SEWER SHOWN ON PLANS IS PRIVATELY OWNED AND MAINTAINED.
- THE CONTRACTOR SHALL NOT CHANGE OR DEViate FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
- ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
- ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.



SHEET INDEX	
SHEET #	SHEET TITLE
PPD1	PPD TITLE SHEET
PPD2	PPD ALTA SURVEY (BY OTHERS)
PPD3	PPD FINAL PLAT (BY OTHERS)
PPD4	PPD GRADING PLAN
PPD5	PPD STORM SEWER PLAN & PROFILE
PPD6	PPD ROOF & LANDSCAPE DRAIN PLAN
PPD7	PPD STORMWATER MANAGEMENT PLAN & CALCULATIONS
PPD8	PPD STORM SEWER DETAILS

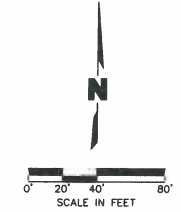
**STORMWATER CERTIFICATION**  
NEW DEVELOPMENT

THESE CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS AS SET FORTH IN THE CITY OF WICHITA'S STORMWATER MANAGEMENT ORDINANCE SECTION 16.32 AND THE POLICIES/GUIDELINES PRESENTED IN TEH WICHITA/SEDGWICK COUNTY STORMWATER MANUAL.

DISTURBED AREA=1,984C  
PROPOSED IMPERVIOUS AREA=71,432 SF  
PROPOSED PERVIOUS AREA=14,916 SF

STORMWATER TREATMENT/WATER QUALITY REQUIREMENTS TO BE MET WITH OFFSITE BMP PROGRAM.

DETENTION IS NOT REQUIRED FOR THIS DEVELOPMENT AS THE AMOUNT OF IMPERVIOUS AREA HAS DECREASED.



**PLAN LEGEND**

---	PROPERTY LINE	---	EASEMENT
---	EXISTING TELEPHONE LINE	---	PROPOSED LIGHTPOLE
---	EXISTING GAS LINE	---	HANDICAPPED ACCESSIBLE PARKING STALL
---	EXISTING WATER MAIN	---	PROPOSED UNDERGROUND COMMUNICATION LINES
---	EXISTING SANITARY SEWER	---	PROPOSED SANITARY SEWER
---	EXISTING FIBER UNDER	---	PROPOSED STORM SEWER
---	EXISTING UNDERGROUND POWER	---	PROPOSED GAS MAIN AND SERVICE
---	EXISTING STORM PIPE	---	PROPOSED WATER MAIN
---	EXISTING UTILITY EASEMENT	---	PROPOSED FIRE SERVICE
---	PROPOSED CURB	---	PROPOSED ELECTRIC PRIMARY AND SECONDARY SERVICES
---	PROPOSED DRY CURB		

BUILDING & SITE DATA						
NO. OF STORIES	USE	BUILDING SQ. FT.	PARKING REQUIRED	TOTAL STANDARD PARKING PROVIDED	TOTAL HANDICAP PARKING PROVIDED	TOTAL PARKING PROVIDED
1	RESTAURANT	8,000 S.F.	95	162	6	168 SPACES
GROSS ACREAGE: +/-1.92 AC. OR 83,525 S.F.						
EXISTING ZONING: LC		PROPOSED ZONING: LC				

**PROJECT TEAM AND UTILITY CONTACT LIST**

**OWNER:**  
DARDEN RESTAURANTS  
1000 DARDEN CENTER DRIVE  
ORLANDO, FL 32837  
CONTACT: JIM POWELL  
PHONE: 817-372-4353

**ARCHITECT:**  
OLSSON ASSOCIATES  
7301 W. 133RD STREET, SUITE 200  
OVERLAND PARK, KS 66213  
CONTACT: ROBBY STEFFENS  
PHONE: 913-381-1170

**GEOTECHNICAL ENGINEER:**  
INTERTEK  
1211 W. CAMBRIDGE CIRCLE DRIVE  
KANSAS CITY, KS 66103  
CONTACT: AJ RAHMAN  
PHONE: 913-310-1600

**LANDSCAPE ARCHITECT:**  
BELLE FIRMA  
4245 NORTH CENTRAL EXPY  
SUITE 501  
DALLAS, TEXAS 75205  
PHONE: 210-541-9166  
CONTACT: CHELSY HOUY

**WATER/SANITARY/STORM:**  
CITY OF WICHITA  
PUBLIC WORKS & UTILITIES  
455 N. MAIN, 8th FLOOR  
WICHITA, KS 67202  
CONTACT: GREG LOLLEY & SHAWN MELLIS  
PHONE: 316-268-4334

**CITY OF WICHITA TRAFFIC:**  
1211 W. CAMBRIDGE CIRCLE DRIVE  
KANSAS CITY, KS 66103  
CONTACT: AJ RAHMAN  
PHONE: 913-310-1600

**COK COMMUNICATION:**  
901 S. GEORGE WASHINGTON BLVD.  
WICHITA, KS 67211  
CONTACT: MARC HENDERSON  
PHONE: 316-262-4270

**KANSAS GAS SERVICE:**  
1021 E. 28th St. N  
WICHITA, KS 67219-4308  
CONTACT: CINDY LITTLEJOHN  
PHONE: 316-831-5664

**WESTAR ENERGY:**  
1900 E. CENTRAL  
WICHITA, KS 67214  
CONTACT: HEIDE BRYAN  
PHONE: 316-261-6554

**BLACK HILLS ENERGY:**  
2330 N. HOOVER RD.  
WICHITA, KS 67205  
CONTACT: KELLY KRAUS  
PHONE: 316-941-1628

**AT&T:**  
154 N. BROADWAY, RM. 210  
WICHITA, KS 67202-2104  
CONTACT: JASON EDWARDS  
PHONE: 316-268-2008

**UTILITY OWNERS:**  
(KANSAS ONE CALL TICKET NUMBERS: 18189964 AND 18189980)

**THE CONTRACTOR MUST NOTIFY THE FOLLOWING IN CASE OF AN EMERGENCY:**

AT&T: 1-800-246-8464  
CITY OF WICHITA WATER: 1-316-268-4555  
CITY OF WICHITA SEWER: 1-316-268-4073  
CITY OF WICHITA STORMWATER: 1-316-268-4090  
CITY OF WICHITA TRAFFIC: 1-316-268-4034  
COK COMMUNICATIONS: 1-888-249-3530  
KANSAS GAS SERVICE: 1-888-482-4950  
WESTAR ENERGY: 1-800-544-4857  
BLACK HILLS ENERGY: 1-800-778-9140

**Legal Description**

Tract I:  
Lots 2 and 3, Block 1, KC Ridge Addition, an Addition to Wichita, Sedgwick County, Kansas.

Tract II:  
A non-exclusive easement for the benefit of Tract 1, as created by Easement and Maintenance Agreement recorded on Film 995 Page 153, for ingress and egress over and across the land described therein.

CALL BEFORE YOU DIG

1-800-344-7233  
STATEWIDE (DIG SAFE)

**811**

KANSAS ONE-CALL SYSTEM, INC.

KANSAS CALL BEFORE YOU DIG:  
1-800-DIG-SAFE (1-800-344-7233)

APPROVED AS NOTED  
BY CITY ENGINEER OF WICHITA

ENGINEERING: *Julianne Kallman 8-27-18*  
STORMWATER: *Joe Hipple 8-29-18*

NOTE TO CONTRACTORS

INSPECTION AND TESTING FOR THIS PROJECT ARE TO BE PROVIDED BY A LICENSED CONSULTING ENGINEERING FIRM UNDER CONTRACT WITH THE OWNER/DEVELOPER. SAID INSPECTION TO BE IN ACCORDANCE WITH THE CITY OF WICHITA STANDARD CONSTRUCTION ENGINEERING PRACTICES AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. NO WORK SHALL BE PERFORMED IN DEDICATED EASEMENTS OR PUBLIC RIGHT-OF-WAY BY THE CONTRACTOR WITHOUT SUCH INSPECTION, NOR SHALL ANY WORK BE COMMENCED WITHOUT WRITTEN AUTHORIZATION BY THE CITY ENGINEER.

ARCHITECT  
**DAVID SCOTT WINDLE, AIA**  
1431 GREENWAY RD, SUITE 510  
IRVING, TEXAS 75038  
TEL: 972.870.1288  
WWW.KSTUDIOS.COM  
E-MAIL: scottw@kstudios.com

PROJECT NUMBER:  
DCH18003

DESIGN:  
DARDEN RESTAURANTS, INC.  
1000 DARDEN CENTER DR.  
ORLANDO, FL 32837  
PHONE: 407.245.4564  
www.darden.com

**OLSSON ASSOCIATES**  
7301 West 133rd Street, Suite 200  
Overland Park, KS 66213-7970  
TEL: 913.381.1170  
FAX: 913.381.1114  
www.olssoneng.com

QA PROJECT # 018-1714



Cheddar's  
SCRATCH KITCHEN

Issue Date: **07.09.18**

REVISION INFORMATION

1. 2018.08.13 CITY COMMENTS

Restaurant #: **18K0020**

**CHEDDAR'S SCRATCH KITCHEN**  
PROTO 13.0 SL  
KELLOGG & RIDGE RD  
WICHITA, KS 67209

**WICHITA, KS**

PPD TITLE SHEET

PPD1

USER: maldon  
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 DATE: Aug 13, 2018 11:35:30 AM  
 FILE: C:\BIB\81714 C\_PBD\81714



ARCHITECT:  
**DAVID SCOTT WINDLE, AIA**  
 1431 GREENWAY RD. SUITE 510  
 IRVING, TEXAS 75038  
 TEL: 972.870.1288  
 WWW.BESTUDIO4.COM  
 E-MAIL: scottw@idstudio4.com  
 PROJECT NUMBER:  
 DCH18003

CLIENT:  
**DARDEN RESTAURANTS, INC.**  
 1000 DARDEN CENTER DR.  
 ORLANDO, FL 32837  
 PHONE: 407.245.4564  
 www.darden.com

OA PROJECT # 018-1714

**OLSSON ASSOCIATES**  
 7301 West 133rd Street, Suite 200  
 Overland Park, KS 66213-4750  
 TEL: 913.381.1170  
 FAX: 913.381.1174  
 www.olssonks.com

**Cheddar's SCRATCH KITCHEN**

Issue Date: 07.09.18

REVISION INFORMATION

2018.08.13 CITY COMMENTS

Restaurant #: 18K0020

**CHEDDAR'S SCRATCH KITCHEN**  
 PROTO 13.0 SL  
 KELLOGG & RIDGE RD  
 WICHITA, KS 67209

WICHITA, KS

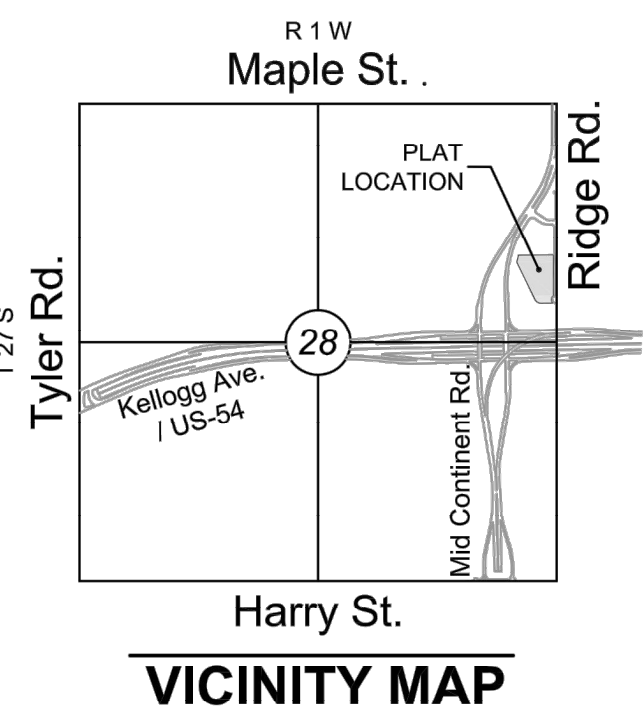
PPD FINAL PLAT  
 (BY OTHERS)

PPD3

# FINAL PLAT KC RIDGE ADDITION

## AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS

A REPLAT OF LOT 4, RIDGE PLAZA ADDITION, AND ALSO LOTS 3 AND 4, RIDGE PLAZA 10H ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS



### CERTIFICATE OF SURVEY

I, Curtis W. Luttrell, a Professional Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and plating of "KC RIDGE ADDITION," an addition to Wichita, Sedgwick County, Kansas, into Lots and a Block, the same being accurately set forth in the accompanying plat and described herein.

Lot 4, Ridge Plaza 3rd Addition, Wichita, Sedgwick County, Kansas, TOGETHER WITH, Lots 3 and 4, Ridge Plaza 10th Addition, Wichita, Sedgwick County Kansas, TOGETHER WITH that portion of vacated Ridge Road described as follows: Beginning at the northeast corner of Lot 4, Ridge Plaza 3rd Addition, Wichita, Sedgwick County, Kansas; thence east 25 feet along the north line of said Lot 4, extended east; thence south parallel with the east line of said Lot 4, 140 feet; thence north 140 feet to the place of beginning.

CONTAINS: 161,367 square feet or 3.70 acres of land, more or less.

All streets, easements, rights-of-way, building setbacks, access controls, together with all easements retained by Vacation Order filed on Film 1041, Page 1472, together with all other public dedications within the above described property, are hereby vacated and replatted by virtue of K.S.A. 12-512b, as amended.

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this \_\_\_ day of \_\_\_\_\_, 2017.

Curtis W. Luttrell, P.S. #1238  
 MKEC Engineering, Inc. (CLS 39)  
 411 North Webb Road  
 Wichita, Kansas 67206

### OWNER'S CERTIFICATE

Know all men by these presents that we the undersigned property owners of the land above set forth in the Professional Surveyor's Certificate, have caused the same to be surveyed and platted into Lots and a Block, the same to be known as "KC RIDGE ADDITION," an addition to Wichita, Sedgwick County, Kansas.

Easements for the construction and maintenance of utilities, as indicated hereon, are hereby granted to the public. No signs, light poles, private drainage systems, masonry trash enclosures or other structures shall be located within public utility easements unless permitted by the Public Works Department of the appropriate governing body.

All abutters rights of access to or from Eisenhower Airport Parkway and Kellogg Drive over and across the west and south lines of "KC RIDGE ADDITION," are hereby granted to the appropriate governing body as indicated hereon.

A drainage plan has been developed for this plat. All drainage easements, rights-of-way, or reserves shall remain at established grades or as modified with the approval of the applicable City or County Engineer, and shall remain unobstructed to allow for the conveyance of stormwater.

This plat shall comply with the recitals of the Ridge Plaza Community Unit Plan (DP-37) on file at the Wichita-Sedgwick County Planning Department.

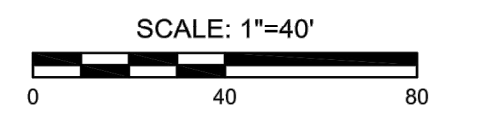
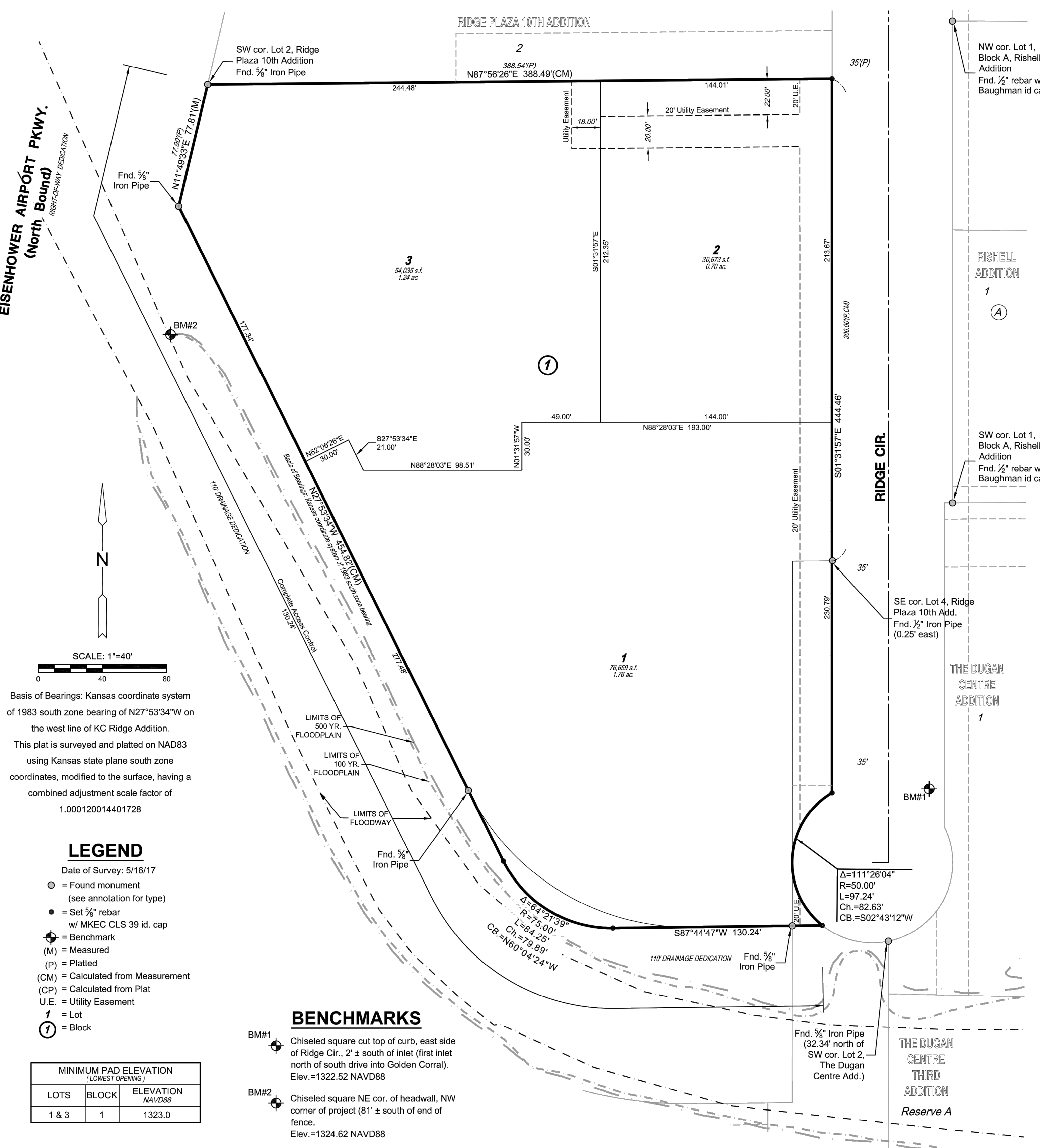
Cinemas Associates Holdings, LLC,  
 a Kansas limited liability company

William J. Warren, President

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 This instrument was acknowledged before me on \_\_\_ day of \_\_\_\_\_, 2017, by William J. Warren, President of Cinemas Associates Holdings, LLC, a Kansas limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.

Notary Public:  
 print name \_\_\_\_\_  
 My Term Expires: \_\_\_\_\_



Basis of Bearings: Kansas coordinate system of 1983 south zone bearing of N27°53'34\"/>

- LEGEND**
- Date of Survey: 5/16/17
  - = Found monument (see annotation for type)
  - = Set 3/8\"/>
  - ⊕ = Benchmark
  - (M) = Measured
  - (P) = Platted
  - (CM) = Calculated from Measurement
  - (CP) = Calculated from Plat
  - U.E. = Utility Easement
  - ① = Lot
  - ② = Block

MINIMUM PAD ELEVATION (LOWEST OPENING)		
LOTS	BLOCK	ELEVATION NAVD88
1 & 3	1	1323.0

### BENCHMARKS

- BM#1 Chiseled square cut top of curb, east side of Ridge Cir., 2' ± south of inlet (first inlet north of south drive into Golden Corral). Elev = 1322.52 NAVD88
- BM#2 Chiseled square NE cor. of headwall, NW corner of project (81' ± south of end of fence). Elev = 1324.62 NAVD88

### PLANNING COMMISSION CERTIFICATE

This plat of "KC RIDGE ADDITION" has been submitted to and approved by the Wichita-Sedgwick County Area Planning Commission, Wichita, Kansas.

Dated this \_\_\_ day of \_\_\_\_\_, 2017.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

By \_\_\_\_\_  
 David W. Foster, Chairman  
 Attest: \_\_\_\_\_  
 Dale Miller, Secretary

### GOVERNING BODY CERTIFICATE

This plat approved and all dedications shown hereon, accepted by the Wichita City Council of the City of Wichita, Kansas dated this \_\_\_ day of \_\_\_\_\_, 2017.

At the direction of the City Council:  
 \_\_\_\_\_  
 Jeff Longwell, Mayor  
 Attest: \_\_\_\_\_  
 Karen Sublett, City Clerk

### REGISTER OF DEEDS' CERTIFICATE

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 This is to certify that this instrument was filed for record in the Register of Deeds office this \_\_\_ day of \_\_\_\_\_, 2017, at \_\_\_\_\_ o'clock \_\_\_ M; and is duly recorded.

Tonya E. Buckingham, Register of Deeds  
 Attest: \_\_\_\_\_  
 Judy J. Paget, Deputy

### TRANSFER RECORD

STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 Entered on transfer record this \_\_\_ day of \_\_\_\_\_, 2017.

Kelly B. Arnold, County Clerk

### COUNTY SURVEYOR

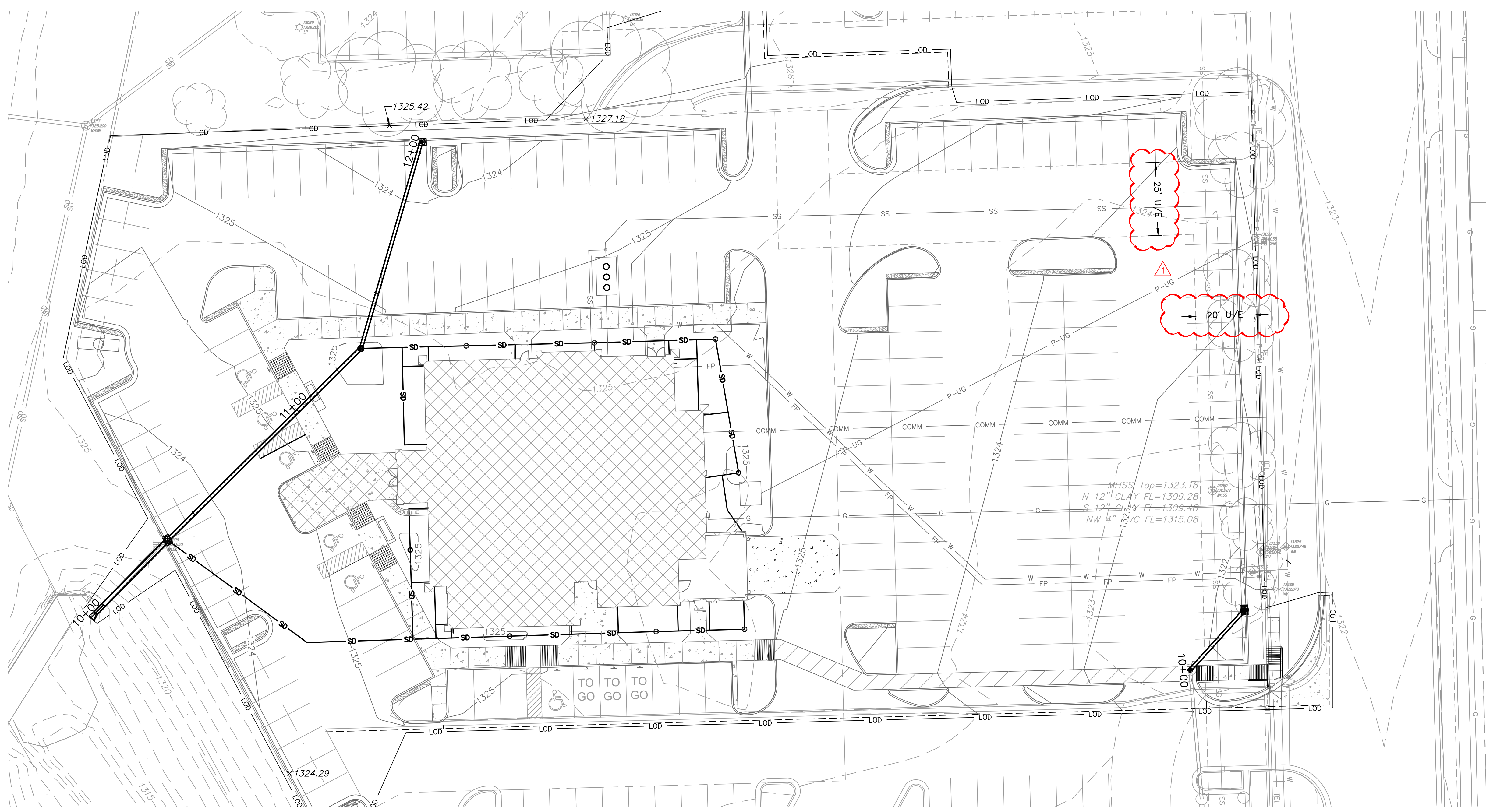
STATE OF KANSAS, SEDGWICK COUNTY) ss:  
 Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
 Deputy County Surveyor  
 Tricia L. Robello, P.S. #1246  
 Deputy County Surveyor  
 Sedgwick County, Kansas



DWG: F:\2018\1551-2000\018-1714\15-Design\AutoCAD\Final Plots\Streets\GNCA\Private Projects\Drainage\CL-TL\_8714.dwg  
 DATE: Aug 13, 2018 11:36am  
 USER: msolson  
 SUB2017-0022 / KC Ridge Addition





**LEGEND**

---	PROPERTY LINE
- - - -	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	CONSTRUCT STORM SEWER
SS	INSTALL SANITARY SEWER SERVICE
UGE	INSTALL ELECTRICAL LINE
W	INSTALL DOMESTIC WATER SERVICE
FP	INSTALL FIRE PROTECTION LINE
GAS	INSTALL GAS SERVICE
T	INSTALL TELEPHONE SERVICE
SS	EXISTING SANITARY SEWER
P-OH	EXISTING OVERHEAD POWER
W	EXISTING WATER MAIN
G	EXISTING GAS MAIN
TEL	EXISTING COMMUNICATIONS LINE

**AS BUILTS**

**KEMILLER ENGINEERING PA**

117 E. Lewis,  
Wichita, KS 67202 (316)264-0242

ARCHITECT:  
**DAVID SCOTT WINDLE, AIA**  
1431 GREENWAY RD. SUITE 510  
IRVING, TEXAS 75038  
TEL: 972.870.1288  
WWW.BESTIDUAL.COM  
E-MAIL: scottw@idsstudio4.com  
PROJECT NUMBER:  
DCH18003

CLIENT:  
**DARDEN RESTAURANTS, INC.**  
1000 DARDEN CENTER DR.  
ORLANDO, FL 32837  
PHONE: 407.245.4564  
www.darden.com



**Cheddar's SCRATCH KITCHEN**

Issue Date: 07.09.18

REVISION INFORMATION

2018.08.13	CITY COMMENTS
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Restaurant #: 18K0020

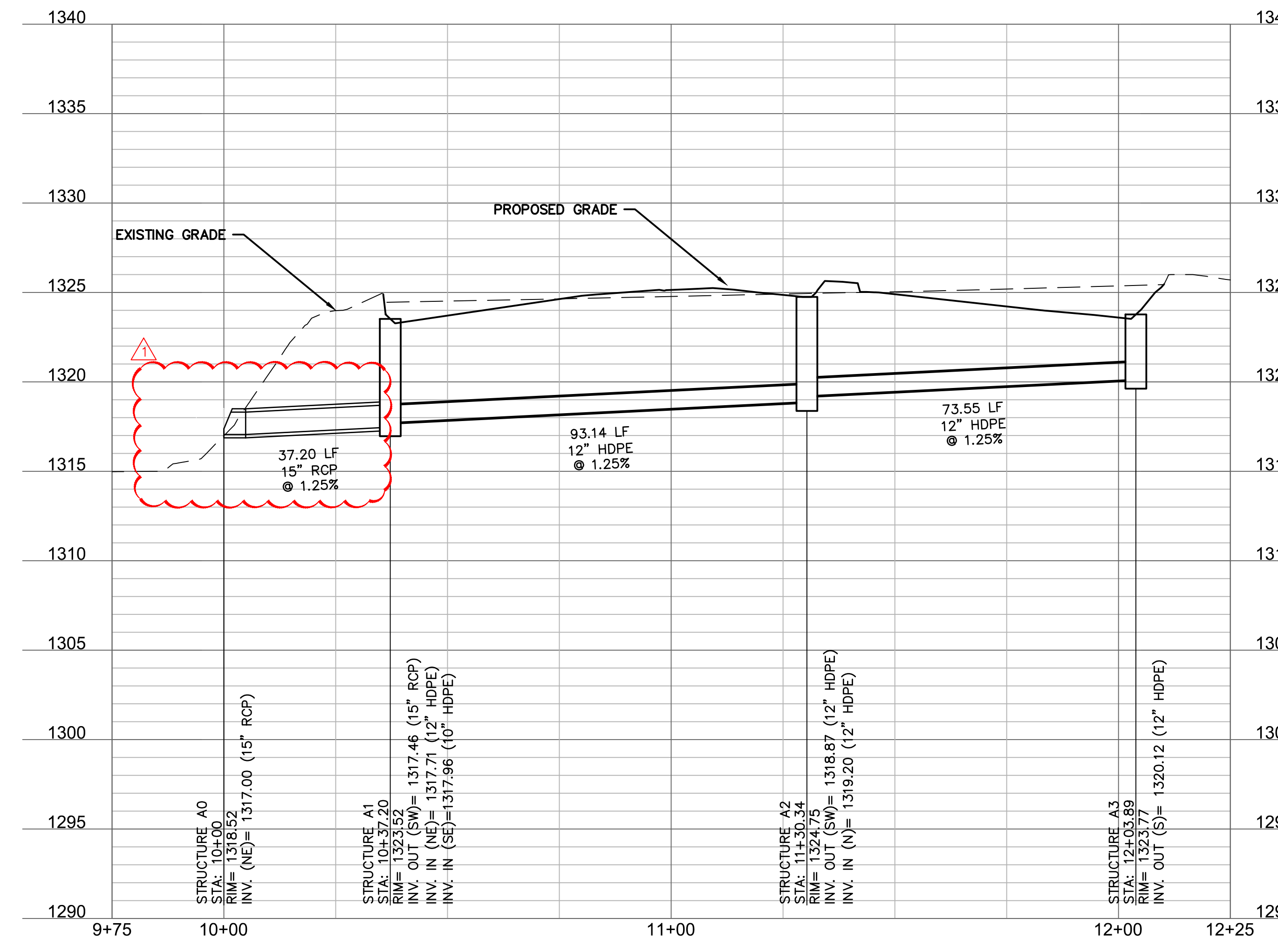
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WICHITA, KS

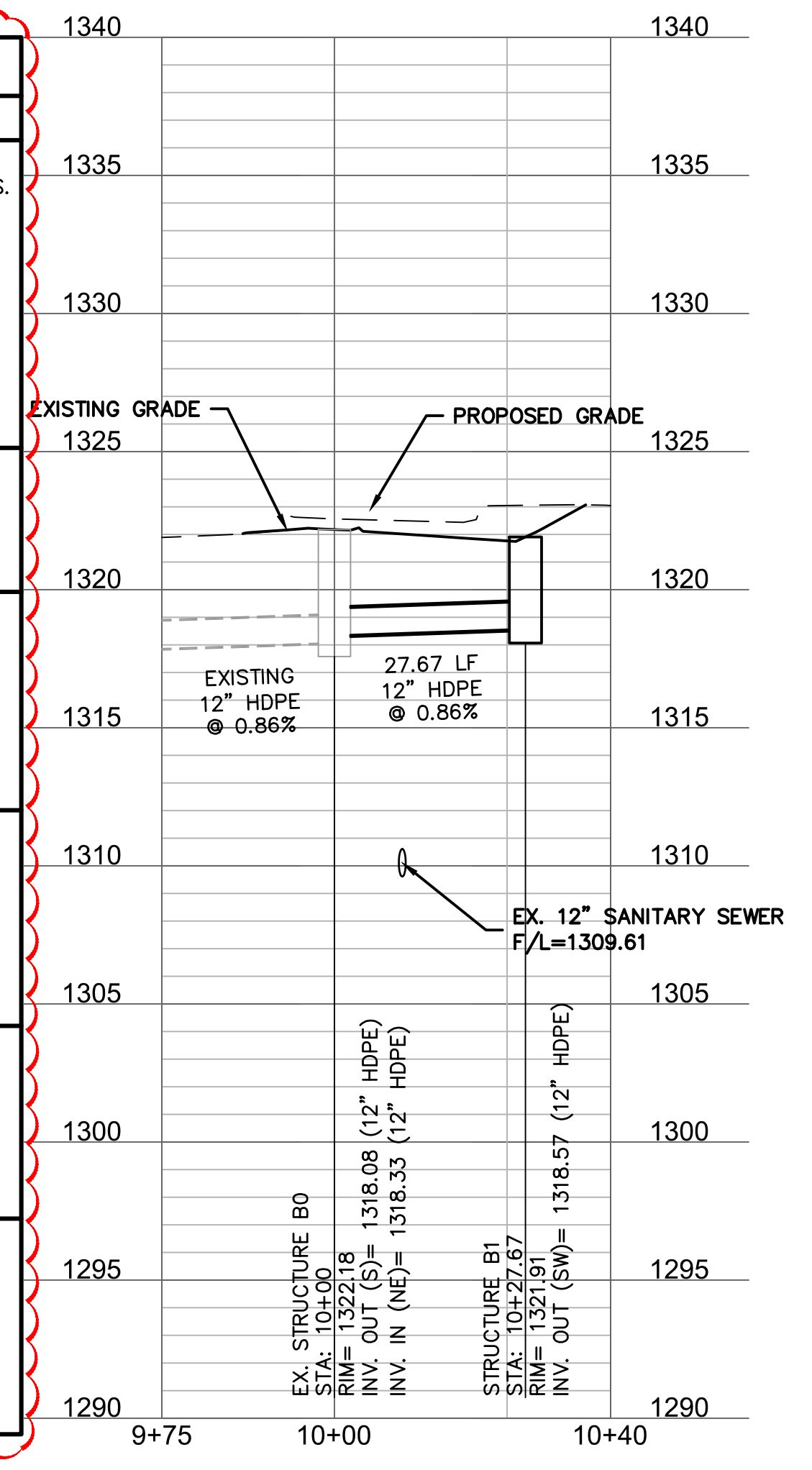
PPD STORM SEWER PLAN & PROFILE

PPD5

**STORM LINE A**



**STORM LINE B**



STRUCTURES	
STRUCTURE ID	DESCRIPTION
EX. STRUCTURE B0	EXISTING NYLOPLAST STORM STRUCTURE SEE CRACKER BARREL PLANS (495 PPD) FOR DETAILS. CORE DRILL EXISTING STRUCTURE FOR STORM SEWER CONNECTION. GROUT PROPOSED CONNECTION. ADJUST TOP OF STRUCTURE TO PROPOSED TOP STA: 10+00 (STORM LINE B) STRUCTURE TOP=1322.18 INV IN (NE)= 1318.33 INV OUT (S)= 1318.08 N: 1681386.926; E: 1623332.374
STRUCTURE A0	15" FES STA: 10+00 (STORM LINE A) STRUCTURE TOP=1318.52 INV IN (NE)= 1317.00 N: 1681404.866; E: 1622956.595
STRUCTURE A1	INSTALL 30" NYLOPLAST DRAIN BASIN WITH 2'X3' GRATED CURB INLET ASSEMBLY. SEE SHEET PPD8 FOR DETAILS STA: 10+37.20 (STORM LINE A) STRUCTURE TOP=1323.52 INV IN (NE)= 1317.71 INV OUT (SW)= 1317.46 N: 1681431.380; E: 1622982.685
STRUCTURE A2	INSTALL 18" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP SEE SHEET PPD8 FOR DETAILS STA: 11+30.34 (STORM LINE A) STRUCTURE TOP=1324.75 INV IN (N)= 1319.20 INV OUT (SW)= 1318.87 N: 1681498.964; E: 1623048.823
STRUCTURE A3	INSTALL 15" NYLOPLAST DRAIN BASIN WITH 2'X3' GRATED CURB INLET ASSEMBLY. SEE SHEET PPD8 FOR DETAILS STA: 12+03.89 (STORM LINE A) STRUCTURE TOP=1323.77 INV OUT (S)= 1320.12 N: 1681567.557; E: 1623069.482
STRUCTURE B1	INSTALL 15" NYLOPLAST DRAIN BASIN WITH 2'X3' GRATED CURB INLET ASSEMBLY. PRIVATELY OWNED AND MAINTAINED. SEE SHEET PPD8 FOR DETAILS STA: 10+27.67 (STORM LINE B) STRUCTURE TOP=1321.91 INV OUT (SW)= 1318.57 N: 1681407.445; E: 1623350.935

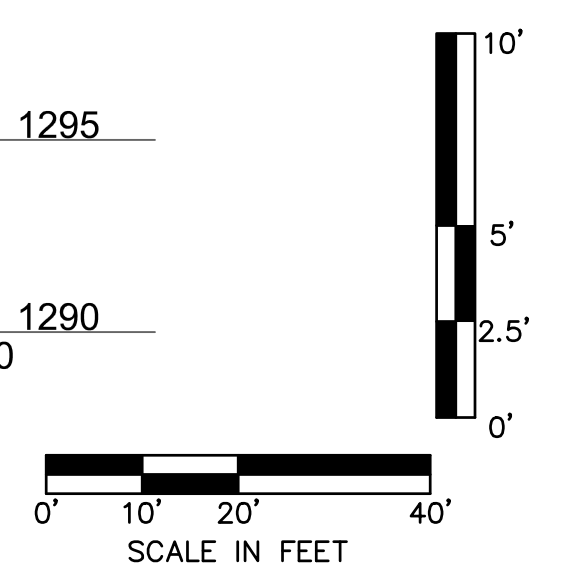
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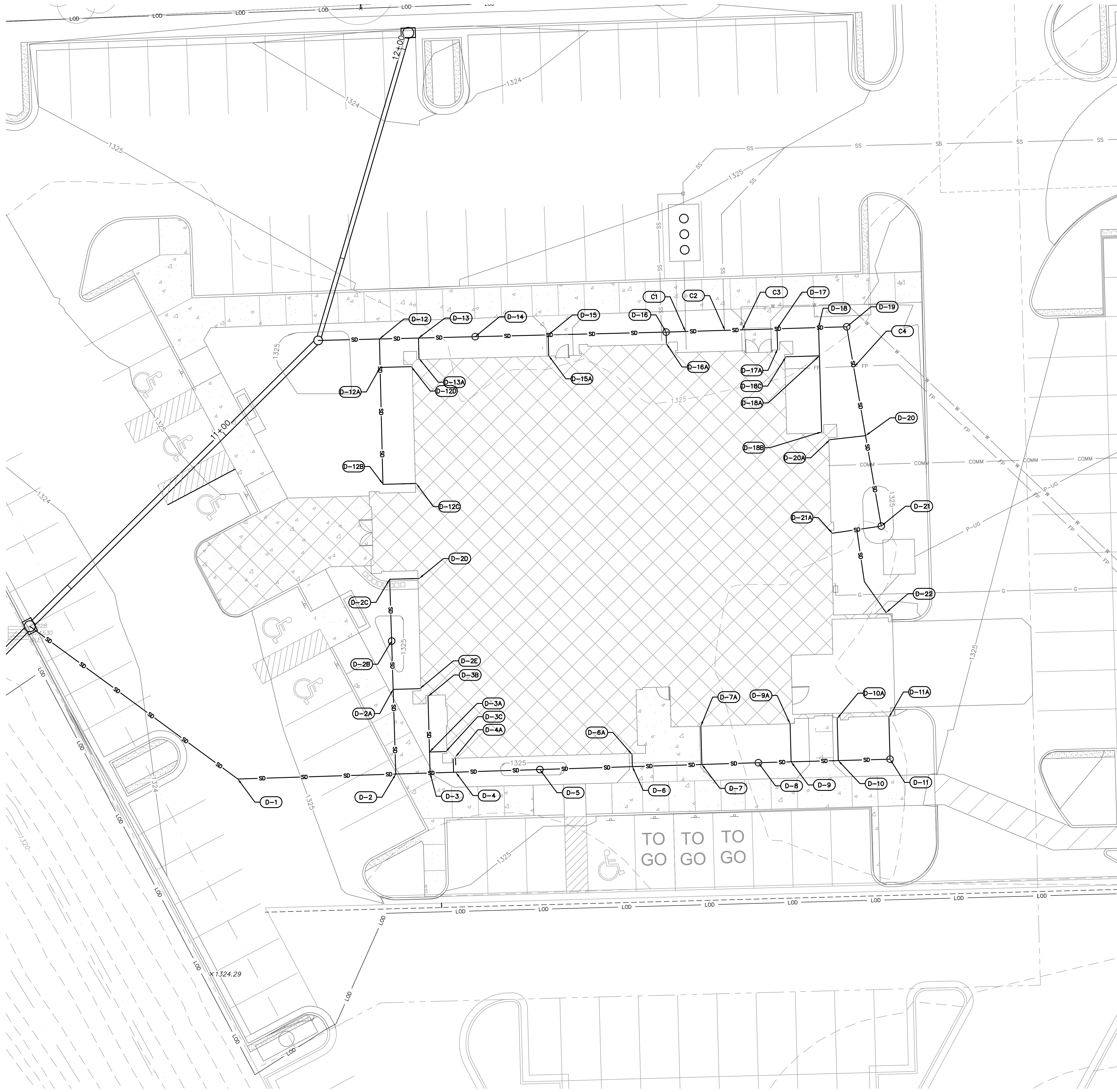
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 DATE: Aug 13, 2018 11:25am  
 USER: msolson  
 C:\Users\msolson\OneDrive\Documents\Projects\Drainage\C\_STM\_81714.dwg



**LEGEND**

- P — P — PROPERTY LINE
- - - 8.30 - - - EXISTING CONTOUR
- - - 8.30 - - - PROPOSED CONTOUR
- □ CONSTRUCT STORM SEWER
- SS — SS — INSTALL SANITARY SEWER SERVICE
- UGE — UGE — INSTALL ELECTRICAL LINE
- W — W — INSTALL DOMESTIC WATER SERVICE
- FP — FP — INSTALL FIRE PROTECTION LINE
- GAS — GAS — INSTALL GAS SERVICE
- T — T — INSTALL TELEPHONE SERVICE
- SS — SS — EXISTING SANITARY SEWER
- P-OH — P-OH — EXISTING OVERHEAD POWER
- W — W — EXISTING WATER MAIN
- G — G — EXISTING GAS MAIN
- TEL — TEL — EXISTING COMMUNICATIONS LINE

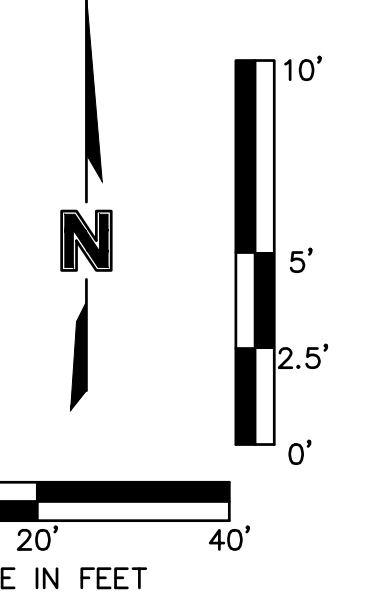
**DRAIN BASIN & ROOF DRAIN KEYNOTES**

A1	CONNECT TO STRUCTURE A1 F/L=1321.91	A2	CONNECT TO STRUCTURE A2 F/L=1321.62
D-1	INSTALL 10" 45° BEND F/L=1321.91	D-12	INSTALL 10"x6" TEE F/L=1321.76
D-2	INSTALL 10"x8" TEE F/L=1322.27	D-12A	INSTALL 6"x6" TEE F/L=1322.74
D-2A	INSTALL 8"x6" TEE F/L=1322.74	D-12B	INSTALL 6" 90° BEND F/L=1323.18
D-2B	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1323.00	D-12C	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-2C	INSTALL 6" 90° BEND F/L=1323.40	D-12D	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-2D	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-13	INSTALL 10"x6" TEE F/L=1321.85
D-2E	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-13A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-3	INSTALL 10"x6" TEE F/L=1322.35	D-14	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1321.98
D-3A	INSTALL 8"x6" TEE F/L=1322.67	D-15	INSTALL 8"x6" TEE F/L=1321.98
D-3B	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-15A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-3C	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-16	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1322.42
D-4	INSTALL 10"x6" TEE F/L=1322.40	D-16A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-4A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-17	INSTALL 8"x6" TEE F/L=1322.67
D-5	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1322.60	D-17A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-6	INSTALL 10"x6" TEE F/L=1322.81	D-18	INSTALL 8"x6" TEE F/L=1322.77
D-6A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-18A	INSTALL 6"x6" TEE F/L=1322.97
D-7	INSTALL 10"x6" TEE F/L=1322.97	D-18B	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-7A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-18C	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-8	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1323.10	D-19	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1322.83
D-9	INSTALL 10"x6" TEE F/L=1323.18	D-20	INSTALL 8"x6" TEE F/L=1323.09
D-9A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-20A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-10	INSTALL 10"x6" TEE F/L=1323.29	D-21	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1323.30
D-10A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50	D-21A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-11	INSTALL 15" NYLOPLAST DRAIN BASIN WITH GRATE INLET TOP TOP=1324.75 F/L=1322.60	D-22	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50
D-11A	CONNECT TO DOWNSPOUT. SEE ARCHITECTURE PLANS FOR DETAILS F/L=1323.50		

**STORM CROSSINGS**

C1	6" SANITARY F/L=1319.67 8" STORM F/L=1322.46
C2	6" GREASE F/L=1319.43 8" STORM F/L=1322.56
C3	2" WATER SERVICE F/L=1321.00 8" STORM F/L=1322.93
C4	6" FIRE PROTECTION F/L=1321.00 8" STORM F/L=1322.93

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 DCH18003

CLIENT:  
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Issue Date: 07.09.18

REVISION INFORMATION

**Cheddar's**  
**SCRATCH KITCHEN**

Restaurant #: 18K0020

**CHEDDAR'S SCRATCH KITCHEN**  
 PROTO 13.0 SL  
 KELLOGG & RIDGE RD  
 WICHITA, KS 67209

**WICHITA, KS**

PPD ROOF & LANDSCAPE DRAIN PLAN

PPD6



