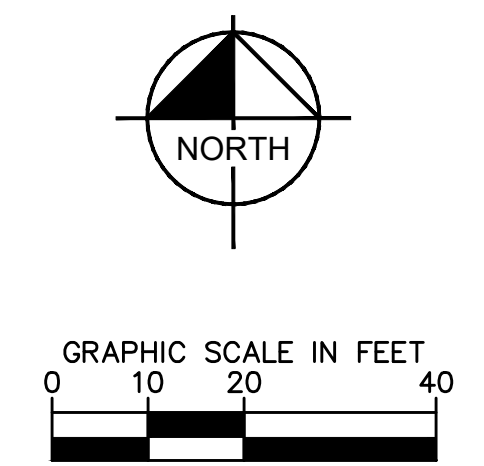
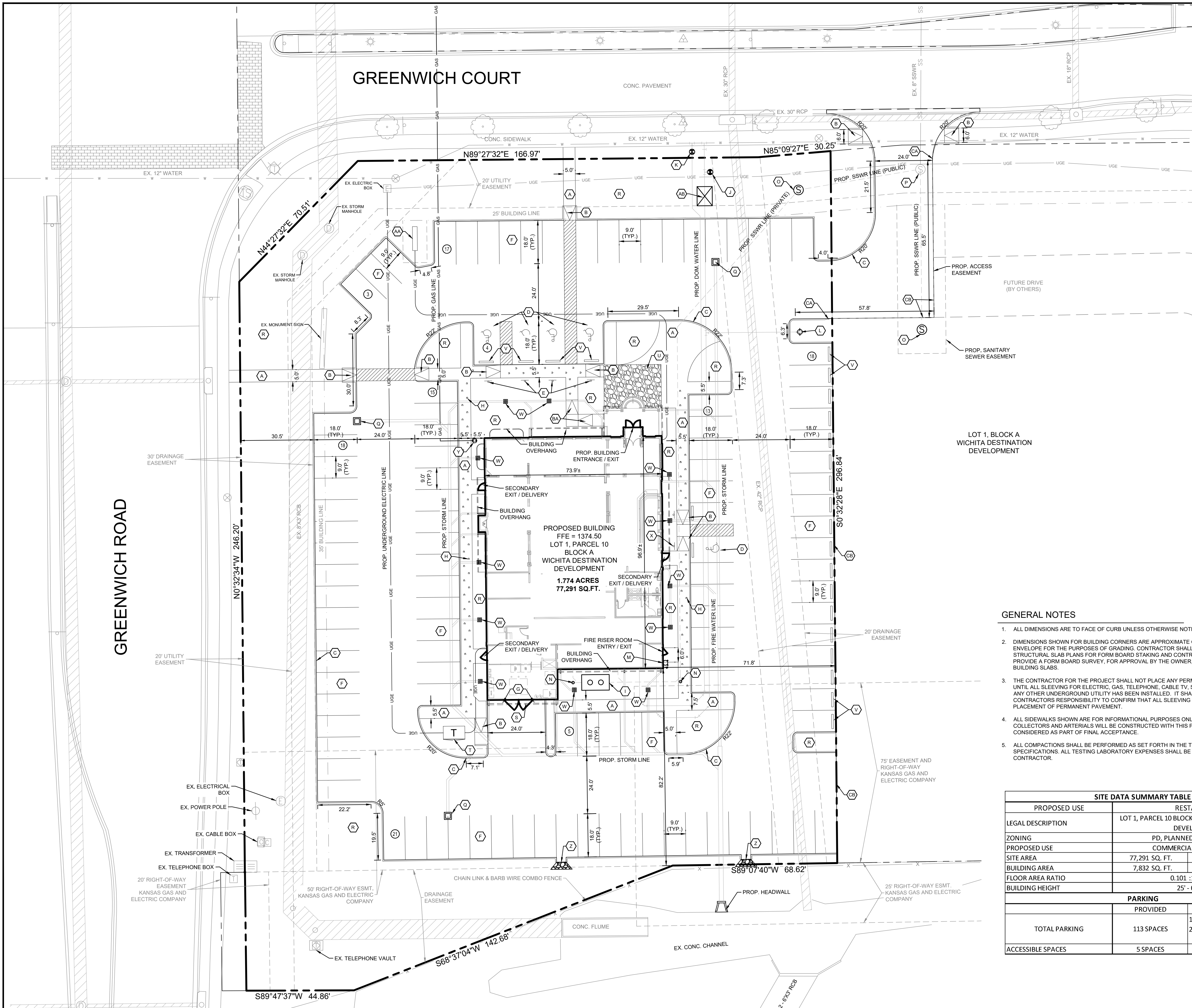


Images Signature: KIMLEY-HORN AND ASSOCIATES, INC. PROJECT NO. 0808144
 PLOTTED BY: MATTHEWS, JAMES DATE: JAN. 2019
 DWG NAME: KIDAL_CIVIL_0808144_SALTGRASS WICHITA STEAKHOUSE SITE PLAN.DWG SCALE: AS SHOWN
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LEGEND

	PROPERTY LINE
	FULL DEPTH SAWCUT
	PARKING STALL COUNT
	TRANSFORMER PAD
	PROPOSED WATER METER
	EXISTING TREE
	PROPOSED LIMITS OF CONSTRUCTION

KEYNOTE LEGEND

	PROPOSED CONCRETE SIDEWALK (REFERENCE ARCH PLANS FOR STAMP IN-LAY)
	ADA ACCESSIBLE CURB RAMP
	ADA ACCESSIBLE RAMP
	PROPOSED 6" CURB
	PROPOSED FADE-OUT CURB
	PROPOSED NO-CURB
	ACCESSIBLE PARKING SPACE (TYP.)
	ADA ACCESSIBLE SIGN (TYP.) (REF ARCH PLAN FOR DETAIL)
	90 DEGREE 9'X18' PARKING SPACE (TYP.) [4" WIDE WHITE PAINTED STRIPE (TYP.)]
	PROPOSED BOLLARDS
	HORSESHOE IN-LAY (REF. ARCH PLAN FOR DETAIL)
	PROPOSED GREASE TRAP (BY OTHERS)
	PROPOSED 1" IRRIGATION METER
	PROPOSED 2" WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED CATCH BASIN
	LANDSCAPE AREA
	PROPOSED DUMPSTER ENCLOSURE W/ GATES (REFERENCE ARCHITECTURE PLAN FOR DETAILS)
	PROPOSED TRANSFORMER PAD (REFERENCE LANDSCAPE PLAN FOR SCREENING)
	STAMPED FLAGSTONE PAVEMENT (REFERENCE ARCHITECTURE PLAN FOR DETAIL)
	PROPOSED WHEEL STOP
	PROPOSED LANDSCAPE DRAIN
	PROPOSED ACCESSIBLE PARKING TO-GO SIGNAGE
	PROPOSED GAS METER
	PROPOSED 4" CONC. FLUME
	PROPOSED MONUMENT SIGN
	PROPOSED FIRE SERVICE VAULT

- GENERAL NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - DIMENSIONS SHOWN FOR BUILDING CORNERS ARE APPROXIMATE OUTER BUILDING ENVELOPE FOR THE PURPOSES OF GRADING. CONTRACTOR SHALL USE ARCHITECT'S STRUCTURAL SLAB PLANS FOR FORM BOARD STAKING AND CONTRACTOR SHALL PROVIDE A FORM BOARD SURVEY, FOR APPROVAL BY THE OWNER, PRIOR TO POURING BUILDING SLABS.
 - THE CONTRACTOR FOR THE PROJECT SHALL NOT PLACE ANY PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR ELECTRIC, GAS, TELEPHONE, CABLE TV, SITE IRRIGATION, OR ANY OTHER UNDERGROUND UTILITY HAS BEEN INSTALLED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACEMENT OF PERMANENT PAVEMENT.
 - ALL SIDEWALKS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. SIDEWALKS ALONG COLLECTORS AND ARTERIALS WILL BE CONSTRUCTED WITH THIS PROJECT AND WILL BE CONSIDERED AS PART OF FINAL ACCEPTANCE.
 - ALL COMPACTIONS SHALL BE PERFORMED AS SET FORTH IN THE TECHNICAL SPECIFICATIONS. ALL TESTING LABORATORY EXPENSES SHALL BE PAID FOR BY THE CONTRACTOR.

SITE DATA SUMMARY TABLE		
PROPOSED USE	RESTAURANT	
LEGAL DESCRIPTION	LOT 1, PARCEL 10 BLOCK A, WICHITA DESTINATION DEVELOPMENT	
ZONING	PD, PLANNED DEVELOPMENT	
PROPOSED USE	COMMERCIAL / RESTAURANT	
SITE AREA	77,291 SQ. FT.	1.77 AC.
BUILDING AREA	7,832 SQ. FT.	10.1 %
FLOOR AREA RATIO	0.101 :1	
BUILDING HEIGHT	25' - 0"	
PARKING		
TOTAL PARKING	PROVIDED	REQUIRED
	113 SPACES	1 SPACE/ 3 SEATS 276 SEATS
ACCESSIBLE SPACES	5 SPACES	92 SPACES 4 SPACES

BENCHMARKS

BM #1: "L" CUT ON THE NORTH CORNER OF A CONCRETE TRAFFIC SIGNAL MANHOLE, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF GREENWICH COURT AND GREENWICH. ELEV= 1372.56'

BM #2: SQUARE CUT ON THE 2ND CURB INLET WEST OF FIRST ROUND-A-BOUT, ON THE SOUTH SIDE OF GREENWICH COURT. ELEV= 1370.97'

13455 NOEL ROAD, SUITE 700, DALLAS, TEXAS
 PHONE: 972-770-1300 FAX: 972-239-3820
 KANSAS REGISTERED ENGINEERING FIRM E-480

PROJECT No. 0808144	DATE: JAN. 2019	SCALE: AS SHOWN	DESIGNED BY: MM	DRAWN BY: RNI	CHECKED BY: JGM
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SALTGRASS STEAKHOUSE

2624 N. GREENWICH ROAD
 WICHITA, KS

SITE PLAN

SHEET NUMBER
PPD-0.1

