

LATERAL 23, MAIN 13, WAR INDUSTRY SEWER SANITARY SEWER IMPROVEMENTS

to serve

PREMIER ADDITION CITY OF WICHITA, KANSAS

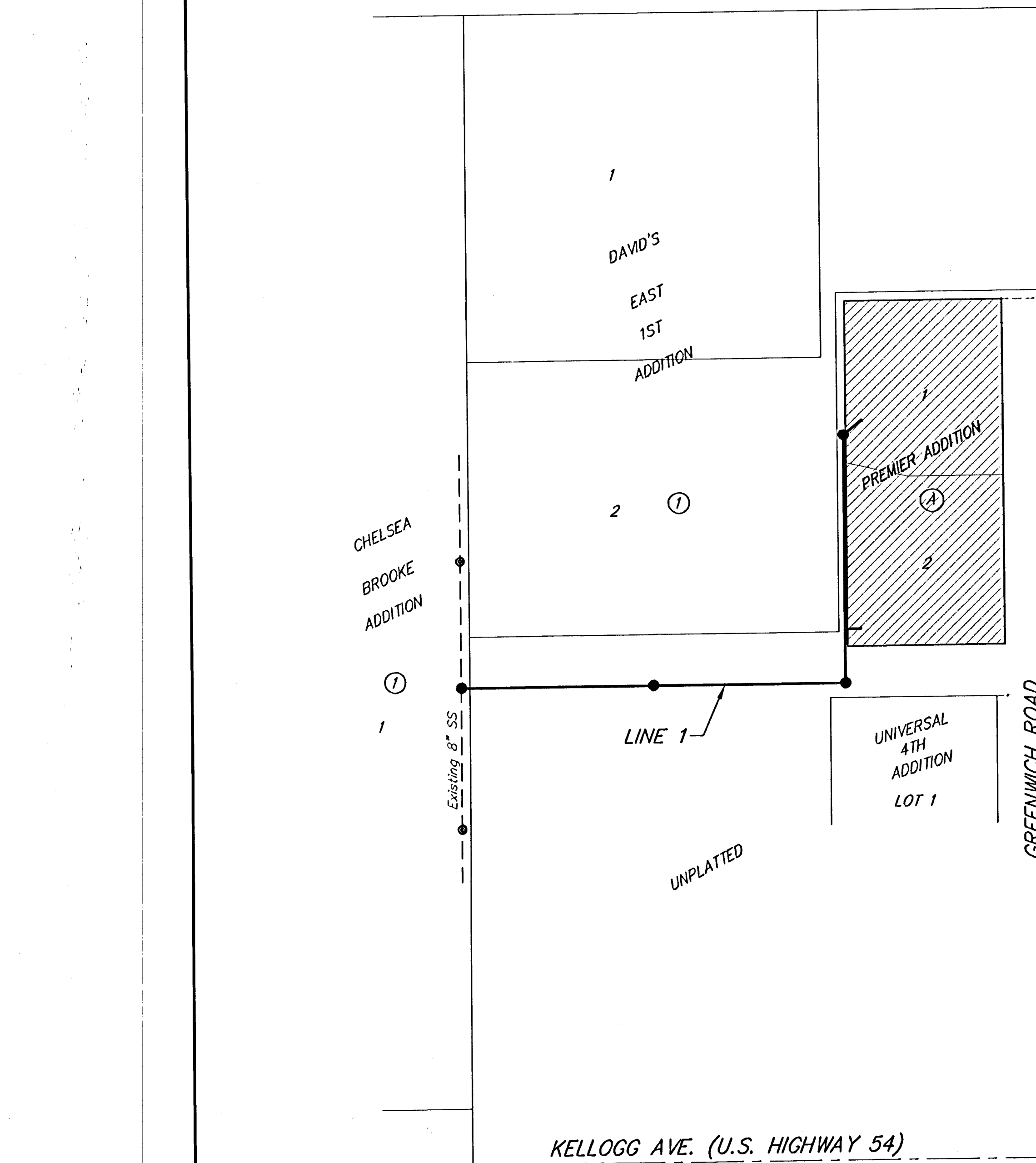
Michael E. Lindebak, P.E. City Engineer

Project Number

468-83239

O.C.A. Number

743921



Scale: 1" = 100'

Benchmark

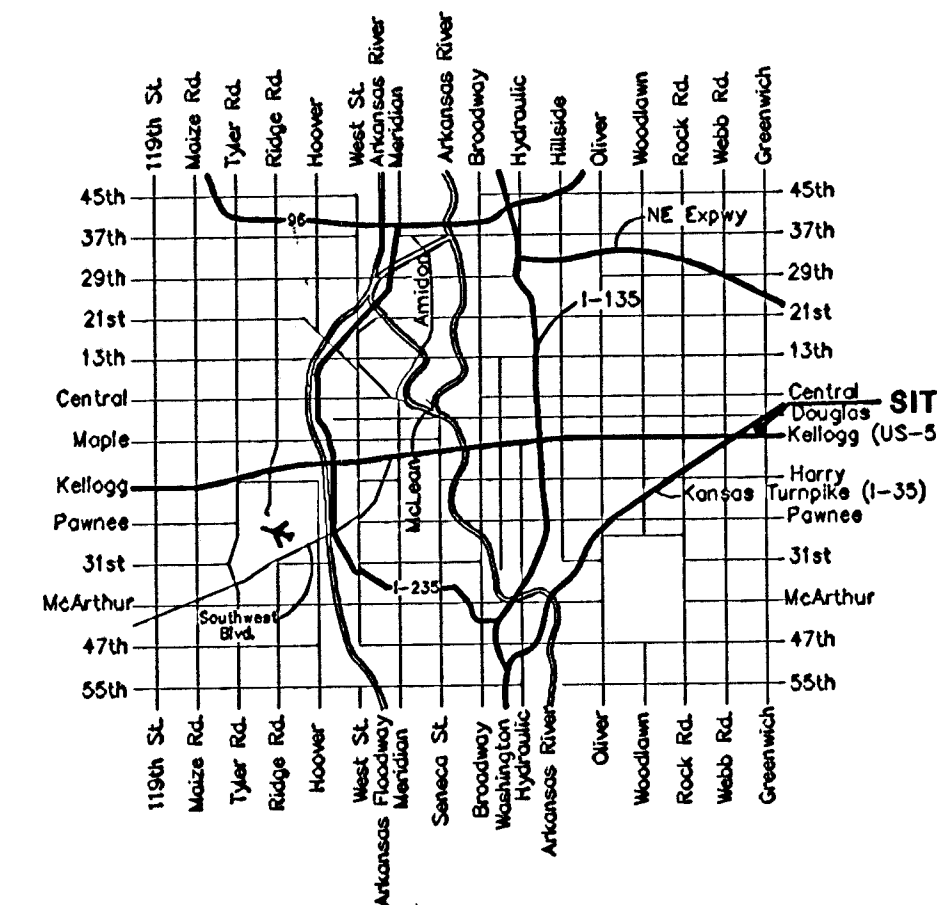
"□" Cut Top of Inlet 29'±
South of S.W. Corner Lot 2,
Block A, Premier Addition
Elev. = 161.89 (City Datum)

C.O.W. Bench Mark N.W.
Corner of Traffic Light Base
S.W. Corner of Kellogg &
Greenwich
Elev. = 164.78 (City Datum)

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Benefit District



Booked
P-222
6/13/04
Per Plan
RDL

GENERAL NOTES:

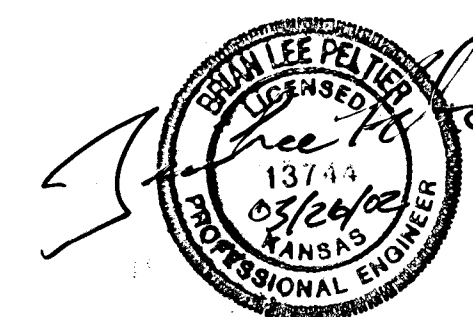
- Contractor will be required to provide notice to utility companies a minimum of twenty-four (24) hours prior to any excavation, as follows:

Kansas One-Call 687-2470

The Contractor must notify the following in case of an emergency:

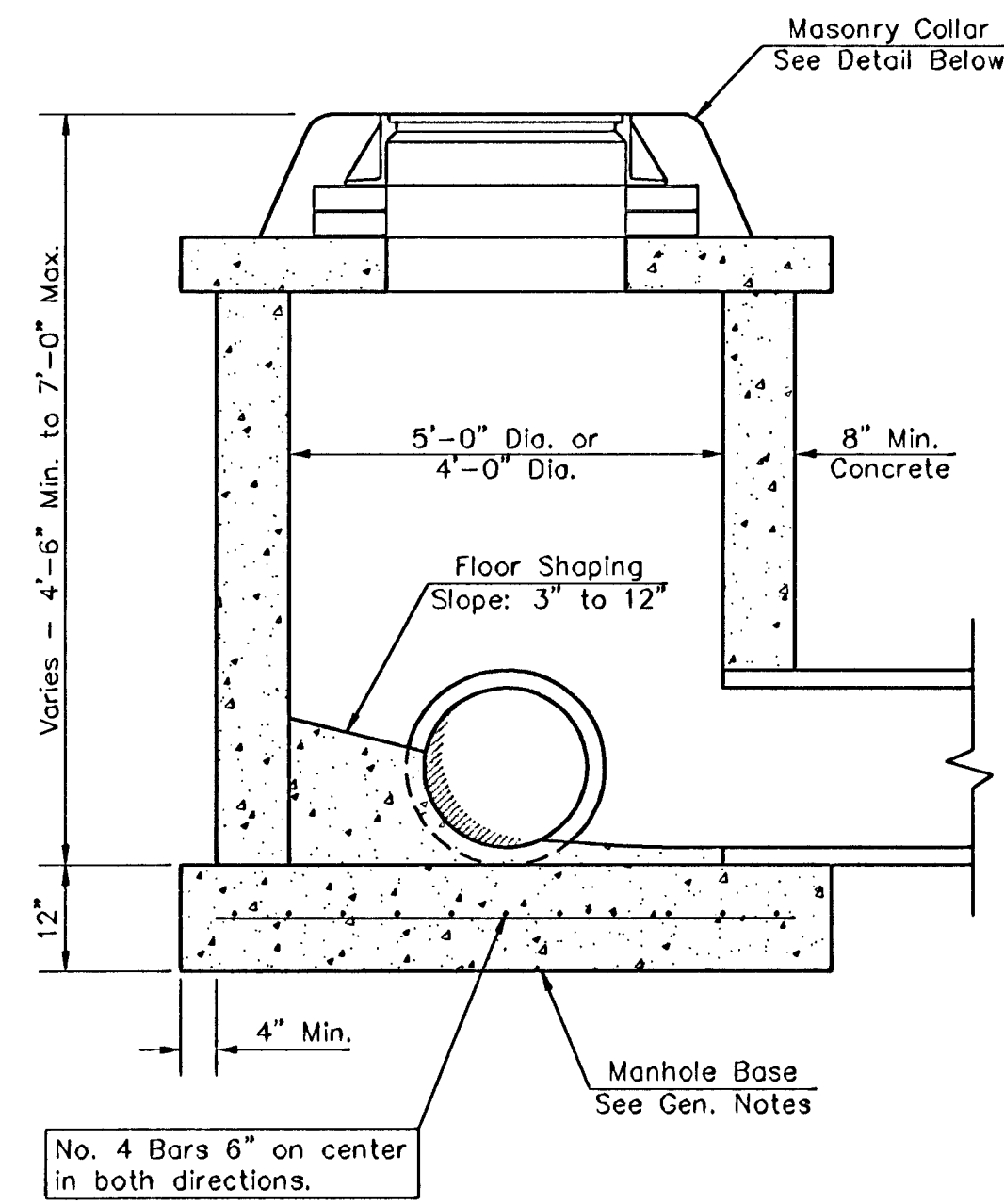
Cox Communications	262-0661
Kansas Gas Service	383-8650
Westar Energy	383-8600
Peoples Gas Company	942-8350
Southwestern Bell Telephone Company	1-800-344-7233
City of Wichita Water Dept.	268-4908
City of Wichita Traffic Engineering	269-4446

- Underground utility service lines and overhead utility pole lines are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days advance notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- All areas disturbed by construction operations shall be seeded with rye grass at a rate of 300 lbs/acre immediately following construction in that area. Prior to seeding, area shall be prepared per City specs.
- The contractor shall coordinate construction through both entrances with William Warren @ Ph. #685-3773 prior to beginning construction through entrances.

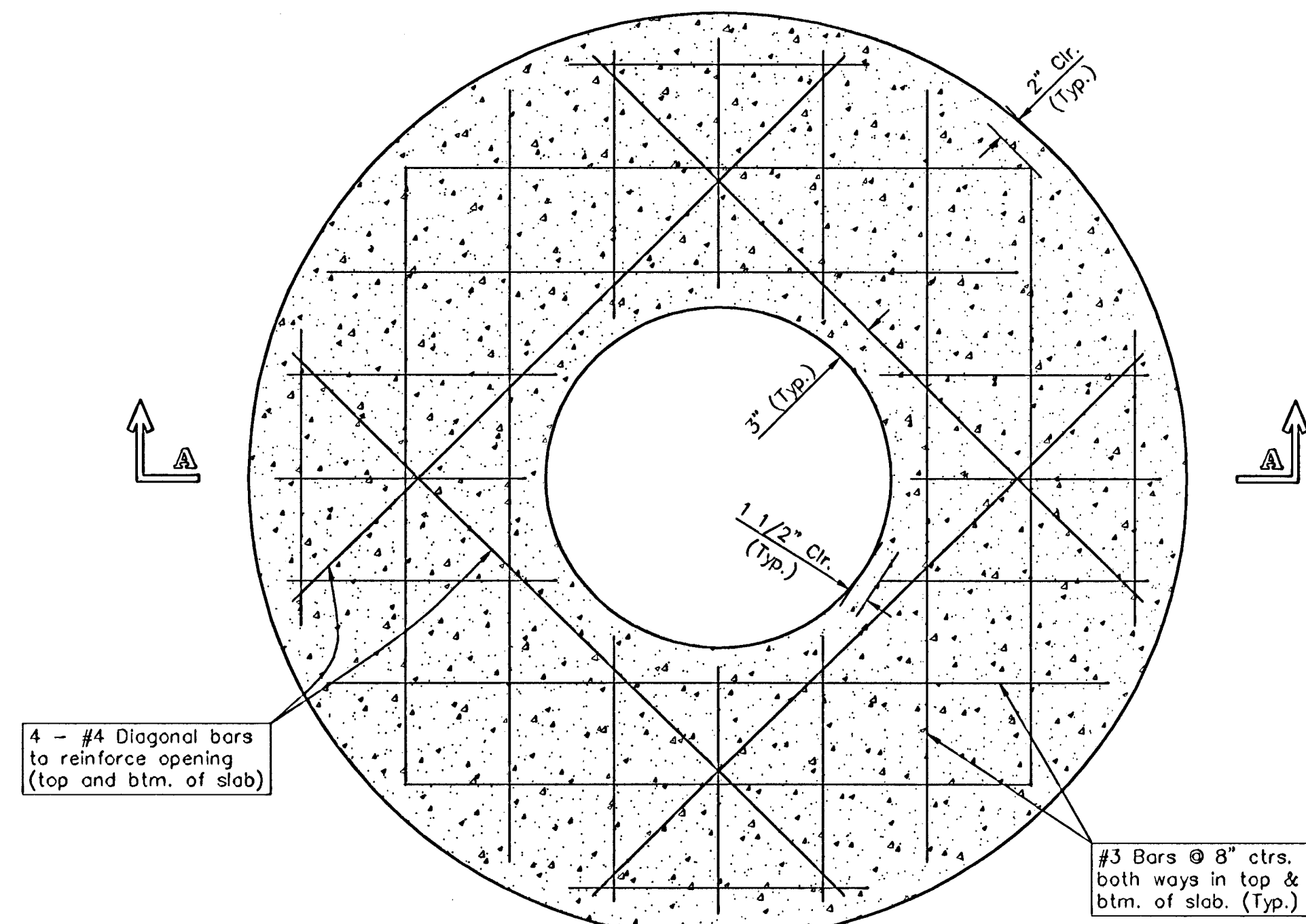




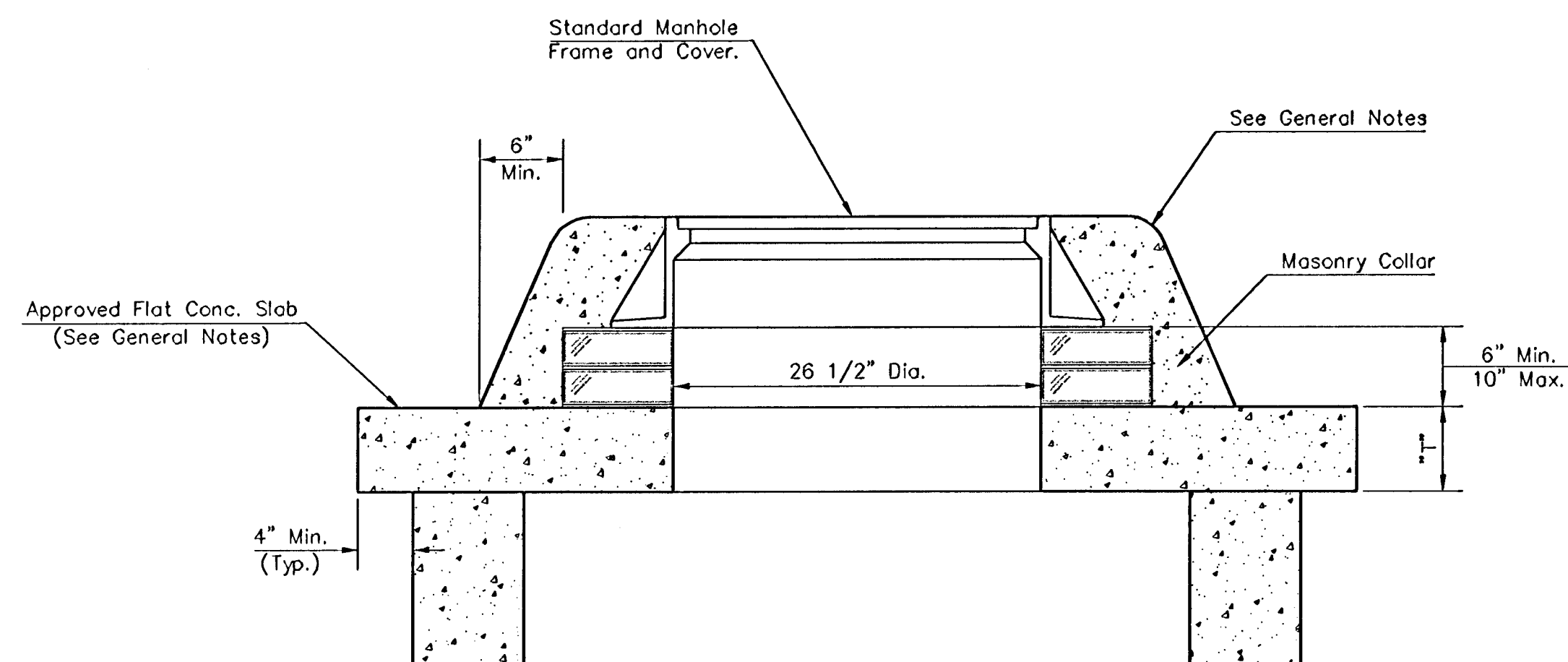
SHALLOW TYPE "P" MANHOLE



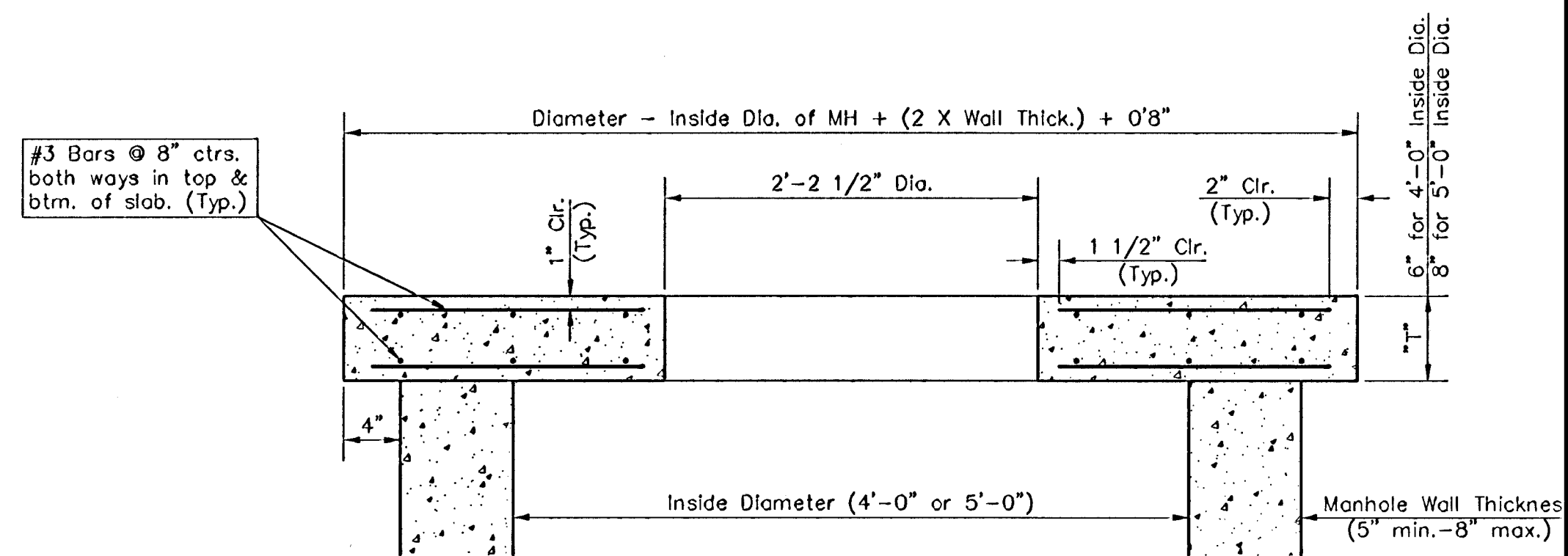
SHALLOW TYPE "C" MANHOLE



PLAN



MASONRY COLLAR DETAIL



SECTION A-A

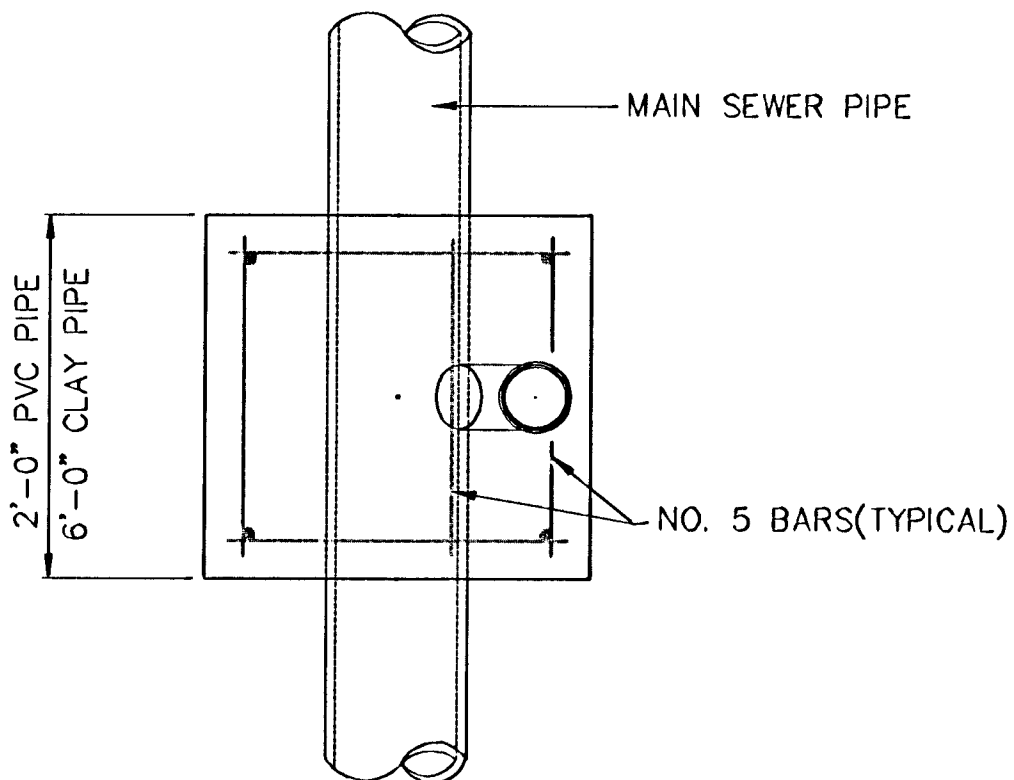
FLAT CONCRETE SLAB DETAILS

GENERAL NOTES

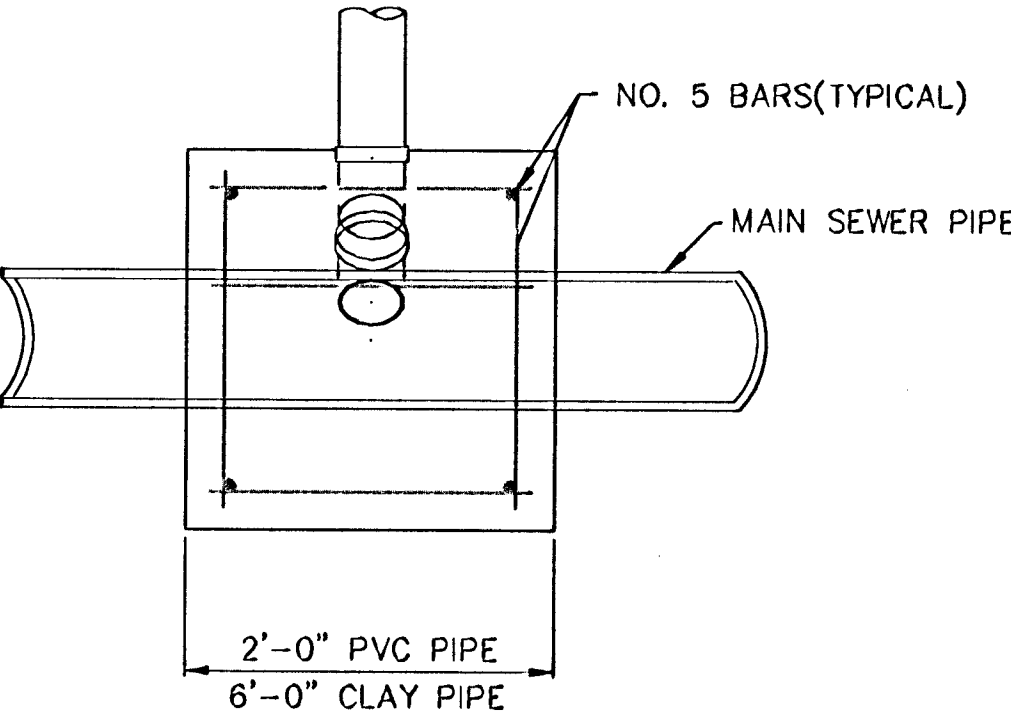
- Mortar used in masonry construction shall contain 8 sacks of cement per cubic yard. Concrete used in manhole bases shall conform to the requirements of concrete for concrete pavement construction as specified in the city standard paving specifications using city concrete cement mix without air entraining admixture. Mortar shall be placed around the manhole ring as shown on the drawings when manholes are constructed in unpaved areas. Manholes constructed where pipe sizes are smaller than 24" shall have an inside diameter of 4'. Manholes constructed where pipe sizes are 24" or larger shall have an inside diameter of 5'. Completed manhole shall be without leaks and water tight.
- Reinforcing steel shall be installed in the manhole bases and shall consist of no. 4 bars placed on 6" centers in both directions. The manhole base reinforcement shall be placed 6" above the bottom of the manhole base. All costs for furnishing and installing reinforcing steel shall be included in the unit price bid for the manhole.
- The floors of all manholes shall be shaped with flow channels such that the manholes will be self cleaning and free of areas where solids could be deposited as sewage flows through the manhole from all inlet pipes to the outlet pipe. Flow channels shall be formed to match the bottom halves of the inflowing pipes and the outflowing pipe as shown by the drawings. Manhole floors shall have slopes of 3 inches per foot in the areas outside of the flow channels sloped toward the flow channels. Pipes laid through manholes shall have the top half removed to neat lines for the full inside diameter of the manhole. Manhole floors shall then be shaped around the bottom half of the pipe which forms the flow channel.
- Pipes installed within the excavation made for the manhole shall be cradled with concrete to the limits of the manhole excavation. When clay pipe is used, the cradle shall extend to the first joint outside the manhole. The cradle shall be terminated at the clay pipe joint in a manner which will maintain the flexibility of the joint. Cost of cradle within manhole excavation or to clay pipe joints adjacent to manhole shall be included in the unit price bid for the manhole.
- Manhole cover castings and manhole frame castings shall conform to the requirements as indicated in the standard specifications and as shown in the standard detail drawings.
- The crowns of inflowing pipes shall never be set lower than the crown of the outflowing pipe.
- Standard shallow manholes type "P" and "C" shall be paid for at the unit price bid per each for the type and diameter indicated. All standard shallow manhole diameters will be 4' unless indicated otherwise.
- All brick used in manhole construction shall meet Grade SW of ASTM C652 or C62-87.

CITY OF WICHITA, KANSAS			
STD. SHALLOW MANHOLES			
TYPE "P" AND TYPE "C"			
BAUGHMAN COMPANY P.A.			
ENGINEERING, SURVEYING, & PLANNING			
316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211			
PROJECT NUMBER			
488-83239			
DESIGN	DRAWN	APPROVED	DATE
STAFF	STAFF	STAFF	4/27/02
SCALE		NONE	
SHEET		3	
OF		8	

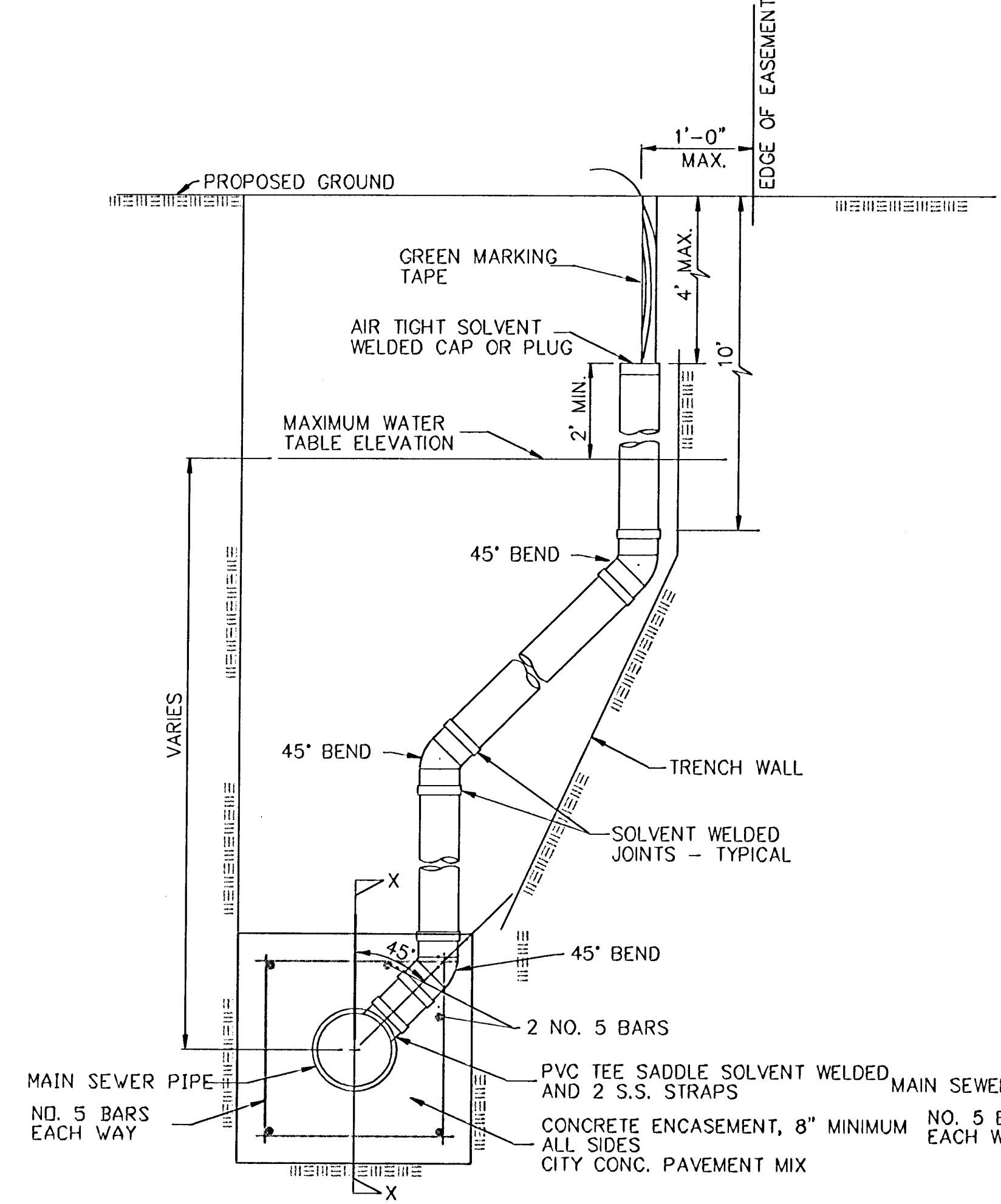
VERTICAL RISER DETAILS
ADOPTED AS STANDARD DESIGN
BY
CITY OF WICHITA, KANSAS
OCTOBER 1992



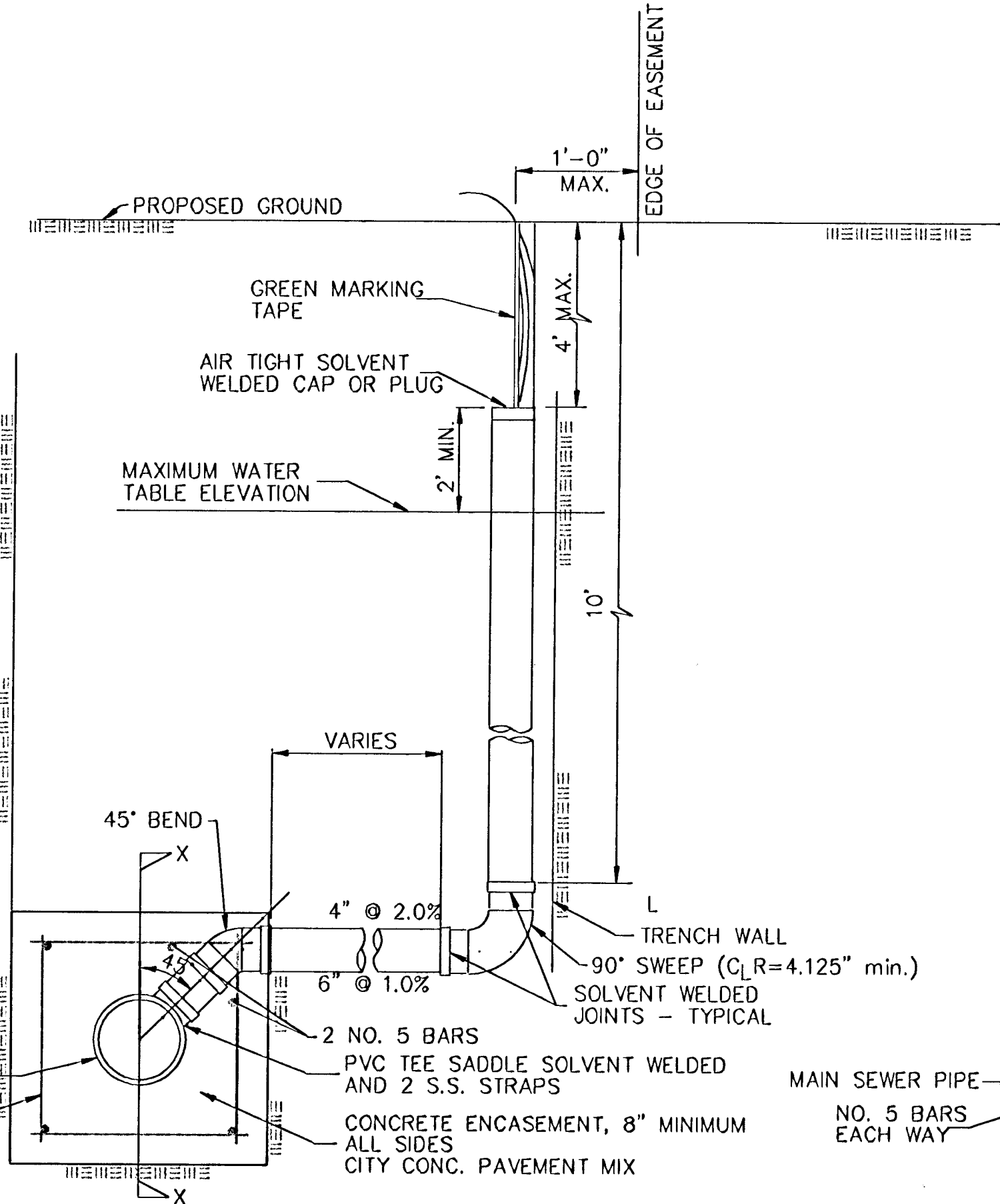
TYPICAL PLAN VIEW



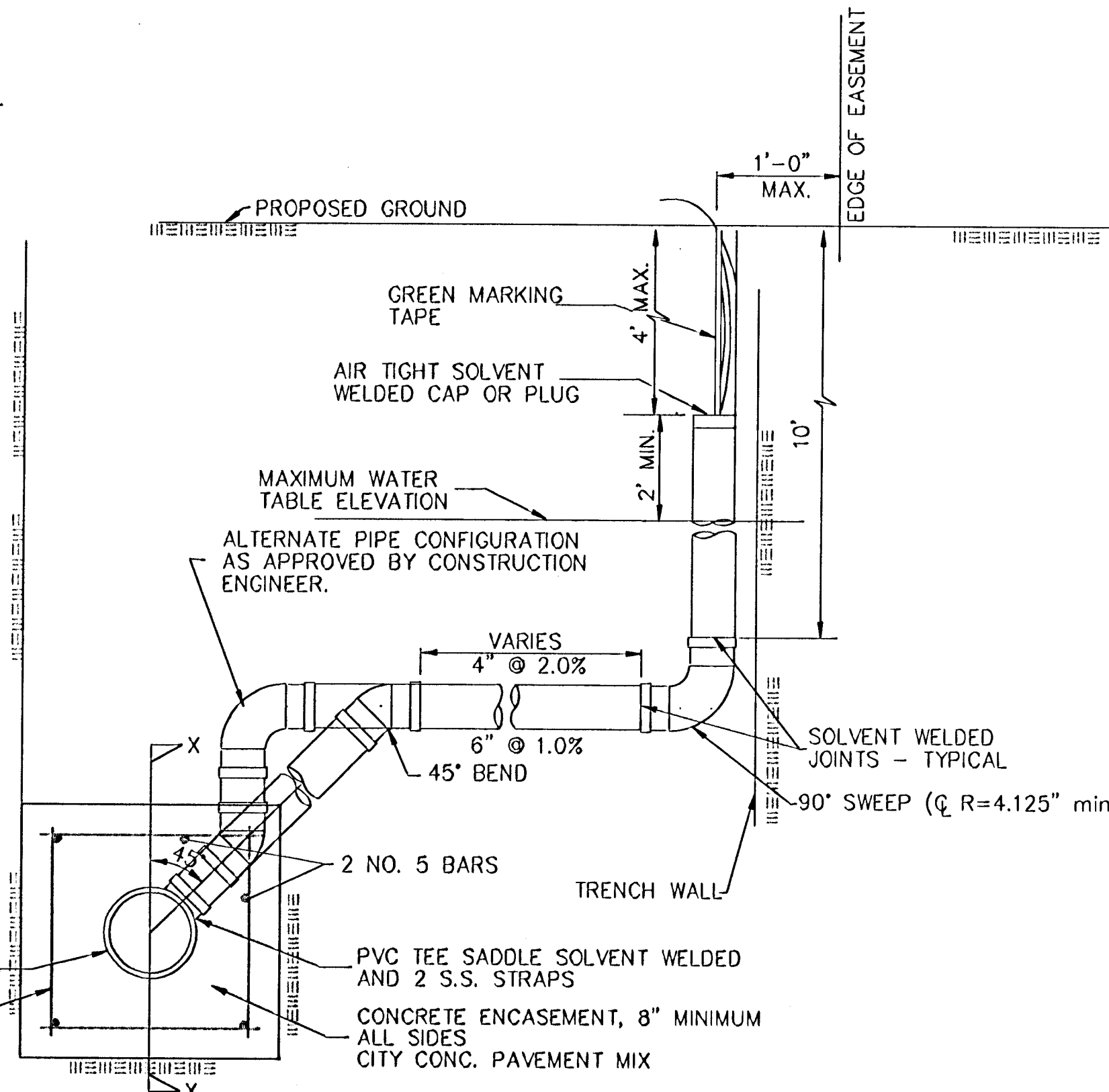
TYPICAL SECTION X-X



METHOD "A"



METHOD "B"



METHOD "C"

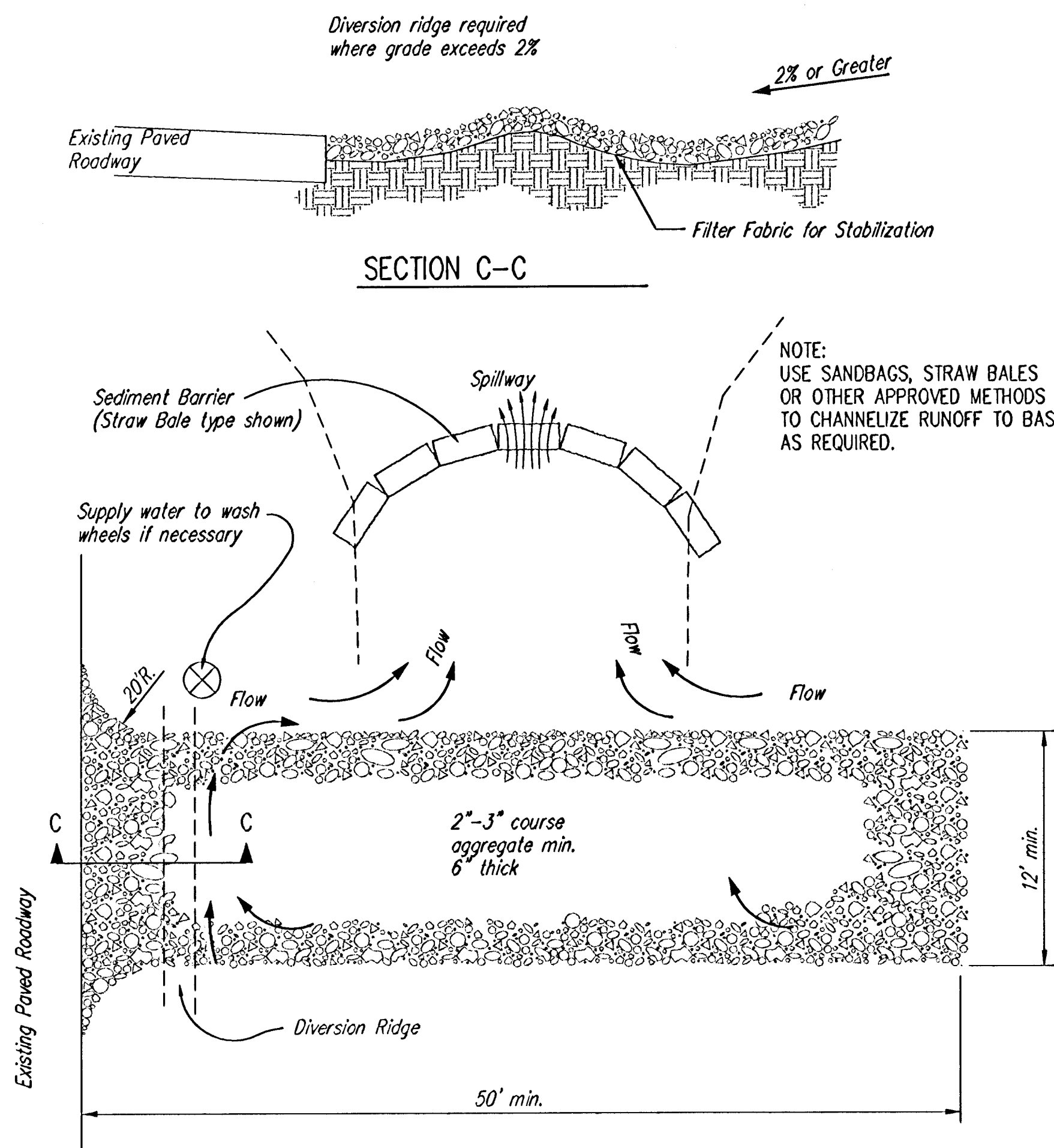
NOTE: RISER PIPE REQUIREMENTS AT MANHOLE STUBS SHALL BE SIMILAR TO THOSE SHOWN ABOVE.

- GENERAL NOTES
1. RISERS. Risers shall be installed to serve all lots or tracts where the sanitary sewer main is below the water table. Risers shall also be installed to serve all lots and tracts where the sanitary sewer main depth is greater than 12 feet below the proposed ground elevation. Installation of risers because of field conditions shall be as approved by the Construction Engineer. The location of the risers to serve developed property shall be approved by the property owner and the Construction Engineer.
 2. PIPE STUBS. Pipe stubs shall be installed in manholes where locations of manholes will provide satisfactory service connection as determined by the Construction Engineer. The vertical distance between the flowline of the manhole pipe stub and the flowline of the sanitary sewer main out of the manhole shall not exceed 2 feet. Risers shall be utilized at manhole pipe stubs as indicated in Note 1. Manhole pipe stubs shall be set such that the top of the stub is not lower than the top of the sanitary sewer main.
 3. SIZING. Pipe stubs and risers shall be sized according to the plans and riser table where risers are indicated by the plans. Where risers or pipe stubs are required because of field conditions, the risers and stubs shall be six-inch diameter for commercial or industrial properties and 4" or 6" diameter for residential properties, based on lot size and sanitary sewer main depth. Sizing of risers and stubs shall be approved by the Construction Engineer prior to installation.
 4. RISER OR STUB MATERIAL. Risers and stubs shall be constructed of Schedule 40 PVC Pipe, meeting the requirements of the latest revision of A.S.T.M. . All pipe joints shall be solvent welded.
 5. REINFORCED CONCRETE ENCASEMENT. Riser connections to clay pipe sanitary sewers shall be reinforced concrete encased both ways from the riser centerline. The reinforced concrete encasement shall extend three feet from the riser centerline or stop at the first sanitary sewer pipe joint within three feet of the riser centerline. Riser connections to PVC Sanitary Sewer mains shall be reinforced concrete encased one foot each way from the riser centerline. The concrete encasement shall be reinforced using reinforcing steel as shown in the appropriate drawing. The concrete shall conform to the City Standard Specifications for concrete pavement.
 6. BEDDING. Bedding around the sanitary sewer riser shall be compacted Pipe Bedding Type 1 or 2. The bedding shall be placed and compacted from the depth of the sanitary sewer main to the top of the sanitary sewer riser pipe. Compacted Pipe Bedding Type 1 or 2 shall be required for all risers whether constructed in vertical wall or sloped wall trenches. Bedding material and construction practices shall be approved by the Construction Engineer prior to installation.
 7. SUPPORT OF RISERS. Sanitary sewer riser pipe shall be supported during trench backfill. The riser pipe shall be held in a vertical position at all times until trench backfill and compaction has been completed. Contractor's methods for supporting and backfilling the riser pipe shall be approved by the Construction Engineer.
 8. PLUGGING. The ends of the riser pipes and manhole stubs shall be plugged using an airtight solvent welded cap or plug. Cap or plug fittings shall be approved by the Construction Engineer prior to installation. Caps or plugs which do not provide an airtight seal will not be accepted.
 9. TOP OF THE RISER PIPE. The top elevation of the sanitary sewer riser pipe shall be built per plan elevations, unless otherwise directed by the Construction Engineer. Where riser elevations are not shown on the plans, the top of the risers shall be set at an elevation four feet below the proposed ground surface. If ground water is encountered, the top of the riser pipe shall be set at an elevation two feet (min.) above the maximum water table elevation, regardless of the riser elevation shown on the plans.
 10. MARKING. Locations of the ends of the sanitary sewer riser pipe shall be marked by fastening green colored plastic tape to the end of the riser. The tape shall be supported by a length of wooden 2 x 4, extending from the top of the riser pipe to the proposed ground surface. The green tape shall be visible and extend one foot above the proposed ground surface. The green tape shall be 4 mil Polyethylene film with a minimum width of three inches, specifically manufactured for the purpose of identification of underground sewers.
 11. LOCATION MEASURES. The project inspector shall record and document the location of all risers constructed as measured from the nearest manhole, indicating the direction from the manhole, the direction and distance from the main, riser size, and elevation of the top of the riser.
 12. RISER LOCATION. The riser shall be located per plan if shown. If not shown on the plan, the riser shall be located at the center of the lot, within one foot of the property side of the easement for the lot being served. All riser locations shall be approved by the Construction Engineer prior to installation.
 13. PAYMENT. "Sanitary sewer risers" shall be paid for at the contract unit price per each, which price shall be full compensation for all pipe, fittings, marking tape, length of wooden 2 x 4, reinforced concrete encasement, support during backfill, backfill, labor, site restoration, and any other items necessary to complete the work.
- "Manhole stubs" shall be paid for at the contract unit price per each, which shall be full compensation for all labor, material, and incidentals necessary to complete the work including all pipe, fittings, reinforced concrete encasement, and all other items as required and listed for "Sanitary Sewer Risers".

City of Wichita Standard
Riser Details

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
315-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

DESIGN STAFF	DRAWN STAFF	APPROVED	DATE 3/26/02	SCALE NONE	SHEET 6 OF 8
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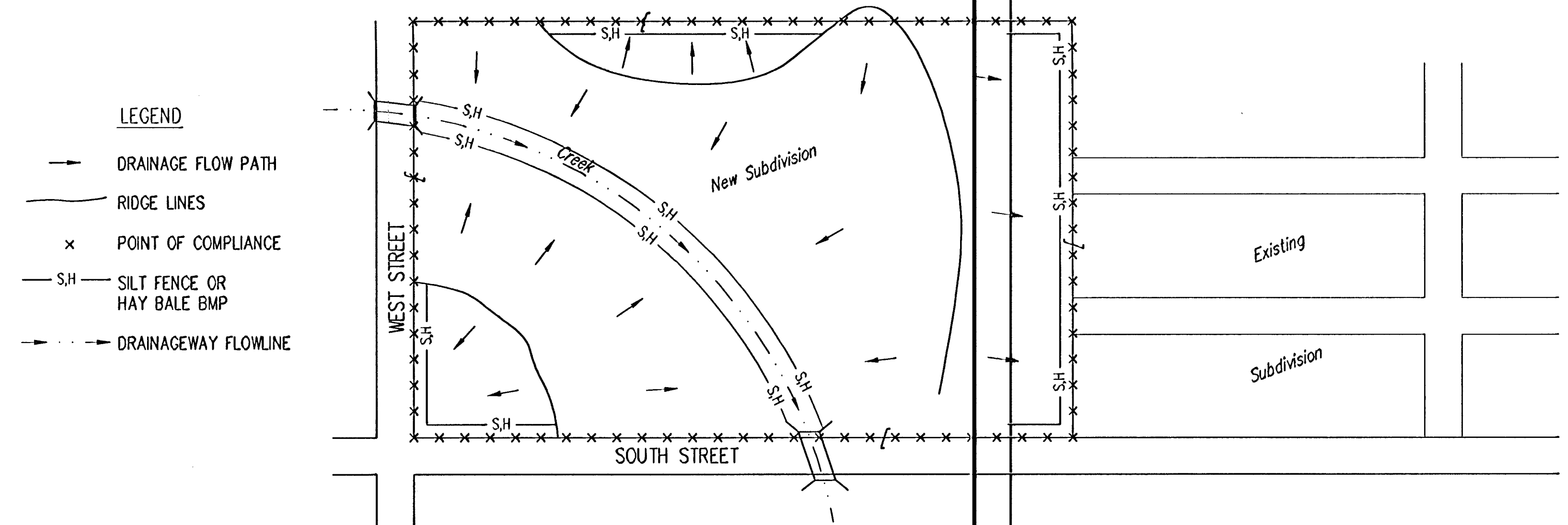


STABILIZED CONSTRUCTION ENTRANCE

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
4. DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

PHASE 1 - INITIAL EARTHWORK AND UTILITIES (EXCEPT STORM SEWER)

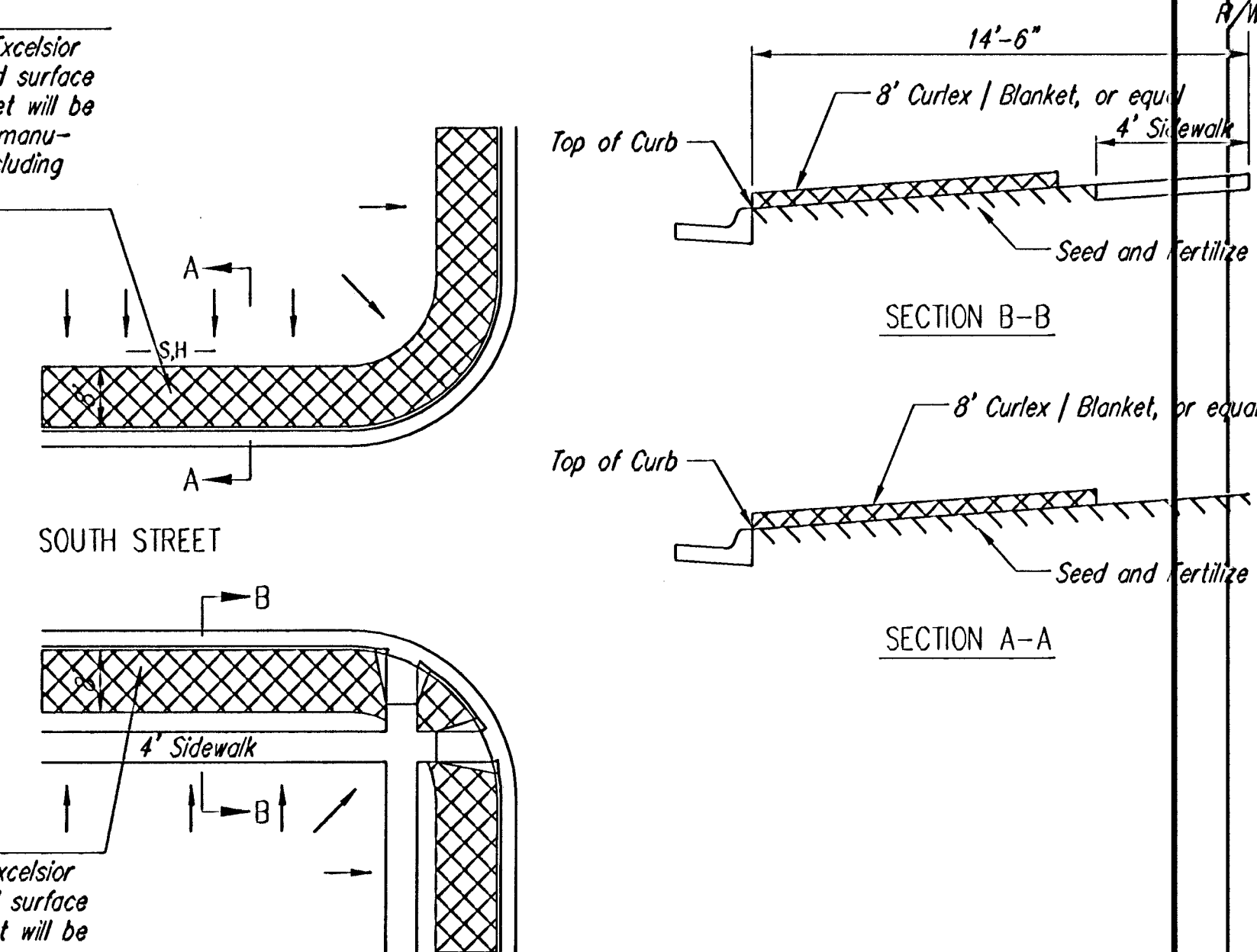


1. DURING THIS PHASE OF SUBDIVISION CONSTRUCTION, THE POINTS OF COMPLIANCE ARE THE PERIMETER BOUNDARIES AND ANY DRAINAGE WAYS OR STORM SEWERS DRAINING THROUGH OR FROM THE SITE. SHOULD LAKES BE CONSTRUCTED WITHIN THE SUBDIVISION THAT WILL DISCHARGE DURING STORMS, THEY ARE ALSO A POINT OF COMPLIANCE.
2. HAYBALES OR SILT FENCE MUST BE CONSTRUCTED ALONG THE PROPERTY LINE WHERE ON SITE WATER CAN DRAIN OFF THE PROPERTY. THESE BMP'S WILL ALSO BE INSTALLED ALONG ANY DRAINAGE DITCH OR LAKE THAT CAN DISCHARGE.
3. SHOULD SILT OR SEDIMENT ENTER THE DITCHES OR GUTTERLINES ON THE ADJACENT BOUNDARY STREETS, APPROPRIATE BMP'S WILL BE PLACED WITHIN THE SUBDIVISION TO PREVENT THIS.
4. ANY MUD TRACKED ONTO ADJACENT STREETS WILL BE REMOVED AT THE END OF EACH WORK DAY.
5. CONTRACTORS WORKING WITHIN THE SITE WILL NOT BE REQUIRED TO USE INDIVIDUAL BMP'S AS LONG AS THOSE SPECIFIED ABOVE ARE IN PLACE AND EFFECTIVE. CONTRACTORS WORKING ON THE BOUNDARY LINE STREETS OR ON ADJACENT PROPERTIES TO EXTEND UTILITIES ARE EXPECTED TO USE BMP'S AT THEIR WORK LOCATIONS, AS NEEDED.
6. UTILIZE STABILIZED CONSTRUCTION ENTRANCE AT ENTRANCE AND EXIT ONTO ANY EXISTING PUBLIC STREETS.
7. THE SUBDIVISION DEVELOPER (OWNER) SHALL INSTALL AND MAINTAIN THE ON-SITE BMP'S.

GENERAL NOTES:

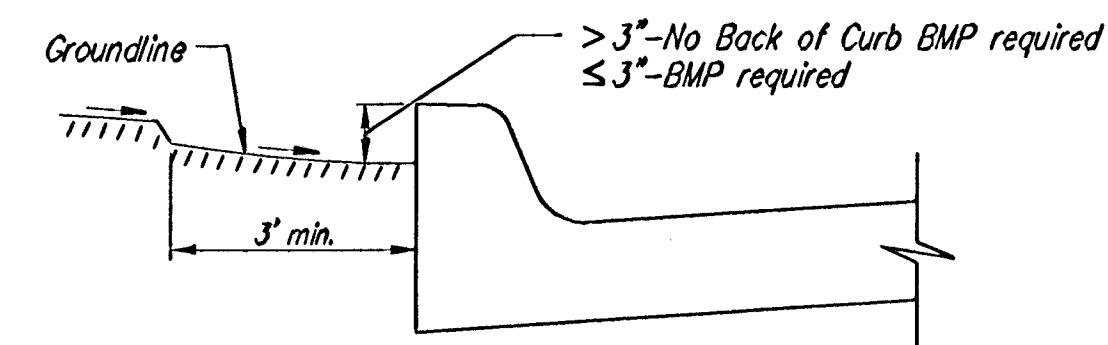
1. THE INTENT OF ALL BEST MANAGEMENT PRACTICES (B.M.P.'S) IS TO PREVENT ERODED SOIL FROM ENTERING DITCHES, STORM SEWERS, OR ANY OTHER DRAINAGE FEATURE.
2. THIS SHEET IS INTENDED TO PROVIDE GUIDELINES AS TO WHAT TYPE OF BMP'S WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS. CONTRACTORS ARE EXPECTED TO BID PROJECTS ACCORDINGLY.
3. BMP'S SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS TO REMAIN EFFECTIVE. MAINTENANCE SHALL BE AS INDICATED ON THE BMP DETAIL SHEETS.
4. PERSONS DESTROYING BMP'S SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING THEM OR INSTALLING SUITABLE REPLACEMENT BMP'S.
5. THE DEVELOPMENT OF ANY SUBDIVISION THAT DISTURBS 5 ACRES OR MORE WILL REQUIRE A FEDERAL/STATE NPDES STORMWATER PERMIT. THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN IS REQUIRED. EROSION CONTROL BMP'S ARE REQUIRED. THE DETAILS SHOWN ON THIS SHEET ARE THE MINIMUM STANDARDS TO BE SHOWN ON POLLUTION PREVENTION PLAN.
6. FOR SUBDIVISIONS SMALLER THAN 5 ACRES, SOIL EROSION BMP'S ARE REQUIRED. ALSO, DEVELOPERS AND CONTRACTORS ARE ENCOURAGED TO DEVELOP POLLUTION PREVENTION PLANS FOR EACH PROJECT PRIOR TO CONSTRUCTION.
7. FAILURE TO USE AND MAINTAIN BMP'S IS A VIOLATION OF SECTION 16.32 OF THE CITY CODE AND WILL SUBJECT THE SUBDIVISION DEVELOPER AND CONTRACTORS TO THE PENALTIES PROVIDED THEREIN.
8. THE APPLICATION OF BMP'S SHOWN ON THIS SHEET IS FOR SITUATIONS NORMALLY ENCOUNTERED. FROM TIME TO TIME, SITUATIONS WILL ARISE THAT MAY REQUIRE A DIFFERENT BMP OTHER THAN THAT SHOWN. BMP'S, OTHER THAN THOSE SHOWN, MAY BE UTILIZED SO LONG AS THEY ARE EFFECTIVE AND MAINTAINED.
9. A STABILIZED EARTH SURFACE IS DEFINED AS ONE THAT IS HARD SURFACED WITH CONCRETE, ASPHALT, OR THE LIKE, OR ONE ON WHICH 70% OF THE GRASS HAS GERMINATED ON THE ENTIRE SURFACE.

BMP-Install 8' wide Curlex | Excelsior Blanket, or equal, on prepared surface back of curb. Edge of blanket will be at back of curb. Install per manufacturers recommendation, including staples.



BACK OF CURB PROTECTION DETAIL

BMP-Install 8' wide Curlex | Excelsior Blanket, or equal, on prepared surface back of curb. Edge of blanket will be at back of curb. Install per manufacturers recommendation, including staples.



CURB BACKFILL DETAIL



SOIL EROSION BMP'S
SUBDIVISION
DEVELOPMENT
PROCESS

CHRISTOPHER M. CARRIER, P.E.
STORM WATER ENGINEER

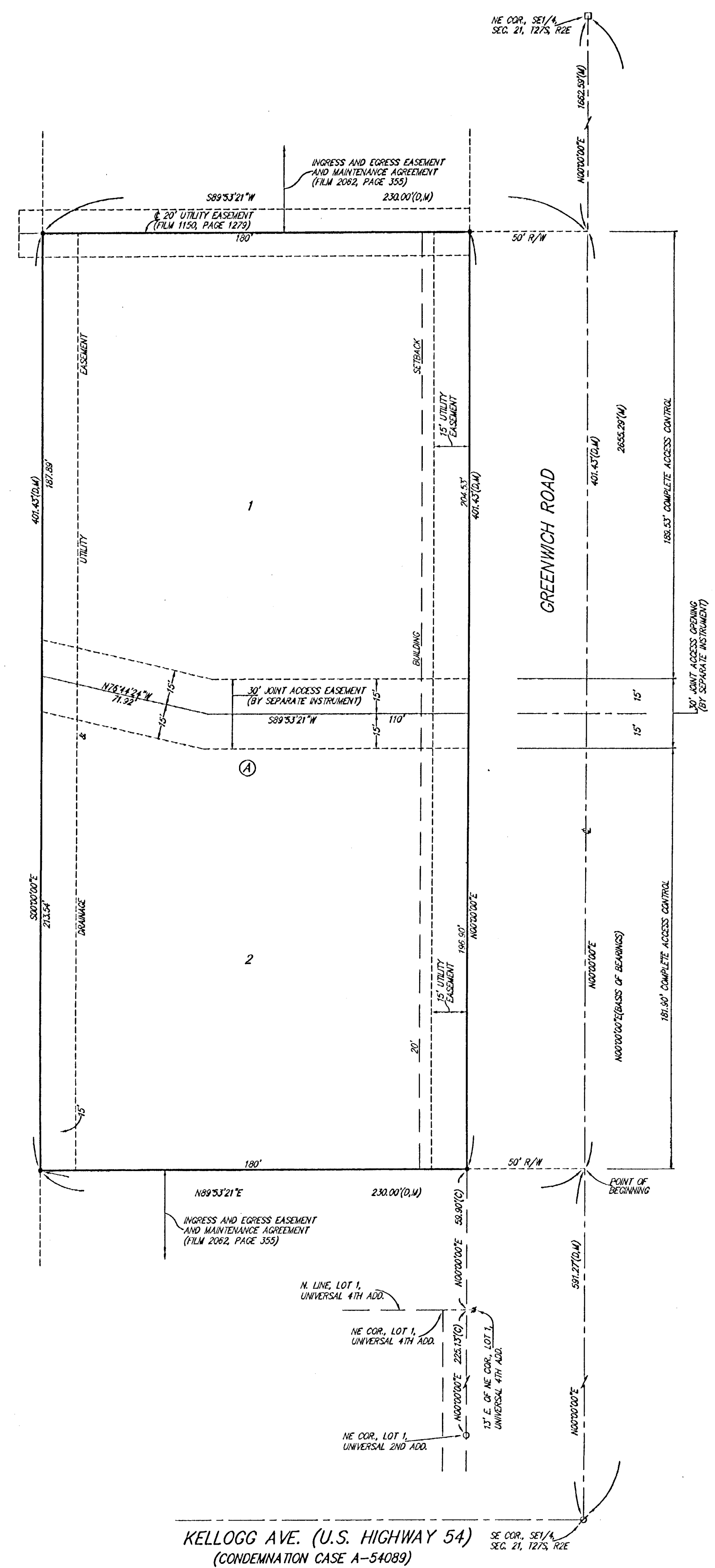
PROJECT NUMBER
468-83239

OCA NO.

DATE
MAR 2002

SHEET 7 OF 8

PREMIER ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



State of Kansas) SS
Sedgwick County) We, Baughman Company, P.A., Surveyors in
aforesaid county and state do hereby certify that we have surveyed and
platted "PREMIER ADDITION", Wichita, Sedgwick County, Kansas and that
the accompanying plat is a true and correct exhibit of the property
surveyed, described as a tract of land in the SE 1/4 of Sec. 21, Twp. 27-S,
R-2-E of the 6th P.M., Sedgwick County, Kansas, described as follows:
Commencing at the SE corner of said SE 1/4; thence bearing N00°00'00"E
along the east line of said SE, 591.27 feet to the point of beginning;
thence continuing N00°00'00"E along the east line of said SE 1/4,
401.43 feet; thence bearing S89°53'21"W, 230.00 feet; thence bearing
S00°00'00"E, 401.43 feet; thence bearing N89°53'21"E, 230.00 feet to
the point of beginning, EXCEPT the east 50.00 feet for road right-of-way.
Existing public easements and dedications
being vacated by virtue of K.S.A. 12-512(b).
Baughman Company, P.A.

Michael G. Conroy, Surveyor
Michael G. Conroy

Know all men by these presents that we,
the undersigned, have caused the land in the surveyors certificate to be
platted into Lots and a Block, to be known as "PREMIER ADDITION",
Wichita, Sedgwick County, Kansas. The utility easement is hereby granted
as indicated for the construction and maintenance of all public utilities.
The drainage and utility easement is hereby granted as indicated
for drainage purposes and for the construction and maintenance of all
public utilities. All abutters rights of access to or from Greenwood Road
Road over and across the east line of Lots 1 and 2, Block A, shall be
as depicted on the face of the plat and are hereby granted to the City
of Wichita, Kansas.

Equity Ventures/Bundy Joint Venture
Philip A. Bundy, Joint Venturer

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged before
me, this 21st day of March, 2001, by Philip A. Bundy, a Joint
Venturer of Equity Ventures/Bundy Joint Venture, on behalf of the joint
venture.

JUDITH M. TERHUNE
Notary Public, State of Kansas
My App'l. Exp. 11-7-2001
Judith M. Terhune, Notary Public

We the undersigned holders of a mortgage on the
above described property, do hereby consent to this plat of "PREMIER
ADDITION", Wichita, Sedgwick County, Kansas.
Central National Bank

TRANS BOKES, Commercial Loan Officer

State of Kansas) SS
Sedgwick County) The foregoing instrument acknowledged be-
fore me, this 22nd day of March, 2001, by Travis Bokes,
Commercial Loan Officer of Central National Bank, on behalf of the bank.

SHELBY MINNIS
Notary Public
My App'l. Exp. 09/20/2004
Shelby Minnis, Notary Public

This plat of "PREMIER ADDITION", Wichita,
Sedgwick County, Kansas has been submitted to and approved by the
Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita,
Kansas.
Dated this 18th day of January, 2001.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Christopher S. Carraher, Chairman
Marvin J. Krout, Secretary

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Wichita,
Kansas, this 21st day of August, 2001.

At the direction of the City Council
City Manager
Pat Burnett, City Clerk

Reviewed in accordance with K.S.A. 58-2005
on this 14th day of April, 2001.

Tricia L. Robello, L.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

Entered on transfer record this 30th day
of August, 2001.

Don Brace, County Clerk

State of Kansas) SS
Sedgwick County) This is to certify that this plat has been
filed for record in the office of the Register of Deeds, this 30th day
of August, 2001 at 10:02 o'clock A.M. and is duly recorded.

Bill Meek, Register of Deeds

Linda Kizzire, Deputy

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
318-252-7271 • 318-252-7272 • WICHITA, KANSAS 67211
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