

GENERAL NOTES:

- The Contractor shall comply with all applicable safety regulations. All construction shall be completed following current City Standard Specifications and Special Provisions.
- Contractor will be required to provide notice to utility companies a minimum of seventy-two (72) hours prior to any excavation, as follows:
 Kansas One-Call 687-2470
 The Contractor must notify the following in case of an emergency:
 AT&T 1-800-246-8464
 Black Hills Energy 1-800-694-8989
 City of Wichita Water & Sewer 1-316-219-8921
 City of Wichita Stormwater 1-316-268-4090
 City of Wichita Traffic 1-316-268-4034
 Cox Communications 1-888-249-3530
 Kansas Gas Service 1-888-482-4950
 Eergy 1-800-544-4857
- Utility service lines, poles, etc. are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The Contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations, in the opinion of the Engineer, that will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain will require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps. of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits will require additional archaeological investigations unless buried in a previously approved borrow location.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the City Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- The Contractor shall give all property owners and/or tenants of developed property abutting the construction of this project a minimum of ten (10) days notice prior to start of construction.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.
- The Engineering Division shall field locate water valve one time during construction when requested by the Contractor. It shall be the Contractor's responsibility to preserve such field locations during the construction process. Water valves, valve boxes or fire hydrants damaged during construction shall be repaired by Contractor at his own expense. Valve boxes and water meters within the project limits shall be adjusted to match field grades by the contractor.
- The Contractor shall notify the consultant engineer and Dawnita Reinhardt at 316-650-0740 with the City of Wichita with the anticipated construction start date and notify them of project completion. Staking and inspection for this project will be the responsibility of the Contractor.
- If traffic will be impacted by construction, a traffic control plan must be submitted and approved by the City Traffic Engineer at traffic@wichita.gov before construction can begin. The Contractor shall be responsible for all traffic control measures to facilitate construction. All construction zone markings and signage shall conform to the latest version of Manual on Uniform Traffic Control Devices (MUTCD) as published by the US Dept. of Transportation, Federal Highway Administration. All costs associated with construction markings and signage shall be the Contractors responsibility.
- All elevations shown are NAVD88.
- All areas disturbed during construction that will not be under proposed pavement shall be restored to match existing conditions per City specifications.
- A portion of excess excavated material shall be mounded around manholes which extend more than one (1) foot above the existing ground. Such mound shall be constructed with new development a six (6) foot diameter flat top with 4 to 1 side slopes down to the original ground. The elevation of the flat top of the mound shall be 0.4 foot below the top to the manhole.
- Contractor shall limit the extent of trench openings overnight and weekends to less than 50 feet.
- The inspecting firm shall submit to the City Stormwater Maintenance Division a digital copy of the CCTV inspection of the conduits and structures following construction. The digital file formation shall be compatible with the City input template. A copy of the template is available upon request at 316-268-4090.
- The Contractor shall protect from damage and support existing utilities through construction as approved by the utility owner and the Engineer at the contractor's expense.
- All existing and proposed erosion control measures including silt fencing, erosion control mat, straw bales, inlet barriers, and const. entrance shall be maintained throughout construction by the contractor and until project is accepted by the City of Wichita. The on-site engineer shall complete weekly reports on the status of erosion control measures. The contractor shall be required to comply with maintenance and/or replacement of erosion control measures as determined by the on-site engineer until project is accepted by City of Wichita. Maintenance and/or replacement of erosion control measures to be paid by L.S. bid item "Maintain Existing BMPs".
- All excess excavation shall remain on-site and shall be stockpiled or spread at a location determined by the engineer.
- All areas disturbed during construction (except building pads) are to be seeded as follows:
 Seed --- Rye grass; 5 lbs./1000 Sq. Ft.
 All costs associated with seeding including mobilization, preparation of ground, seeding, fertilizing, mulching, etc. shall be included in the L.S. bid item "Seeding".
- The Contractor shall not begin work on the project until the Project Inspector is assigned and on site. Any work completed without inspection will be required to be uncovered for inspection at the Contractor's expense.

Benchmarks

BM #1: CHISELED CROSS ON FACE OF WALK, 12.2' N. & 15.8' W. OF THE NW COR., LOT 1, BLOCK A, R. D. WOOD COMMERCIAL ADDITION. Elev. = 1357.30 NAVD88

BM #2: CHISELED CROSS ON NE COR. OF CATCH BASIN, 36.4' W. & 11.8' S. OF SW COR., RESERVE "A", R. D. WOOD COMMERCIAL ADDITION. Elev. = 1353.98 NAVD88

AS BUILT PLANS

Contractor: McCullough Excavating
 Inspector: David VanSickle, Baughman Co
 As BUILTs by: KEK, 10/12/2022

STORM SEWER IMPROVEMENTS

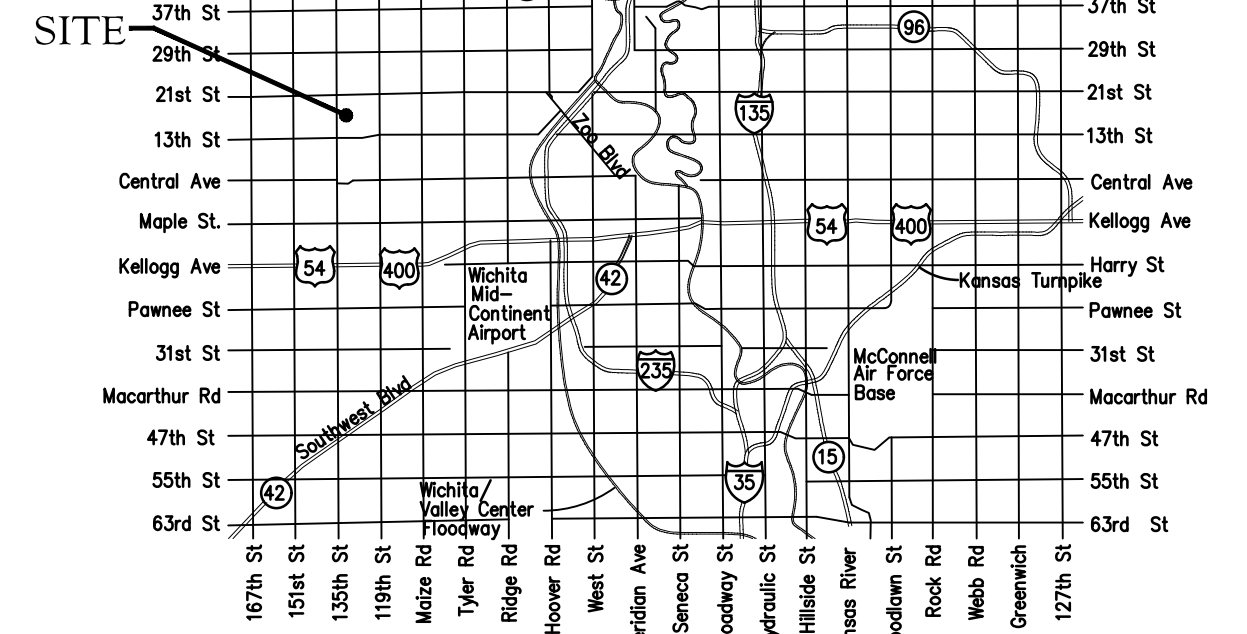
to serve

MAX SECURE STORAGE - Ph. 2

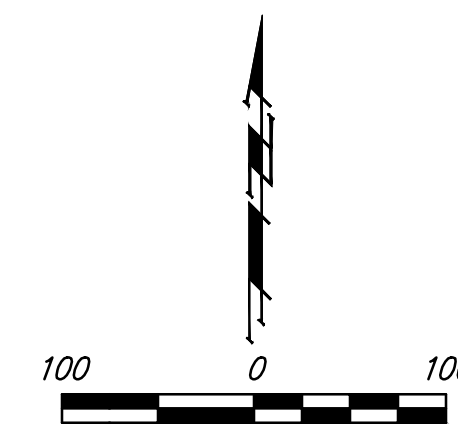
R.D. WOOD COMM. ADD.

N. 135th St. W.
 CITY OF WICHITA, KANSAS

Gary Janzen, P.E. City Engineer
 2022 2024-000738PPD
 (56030970)

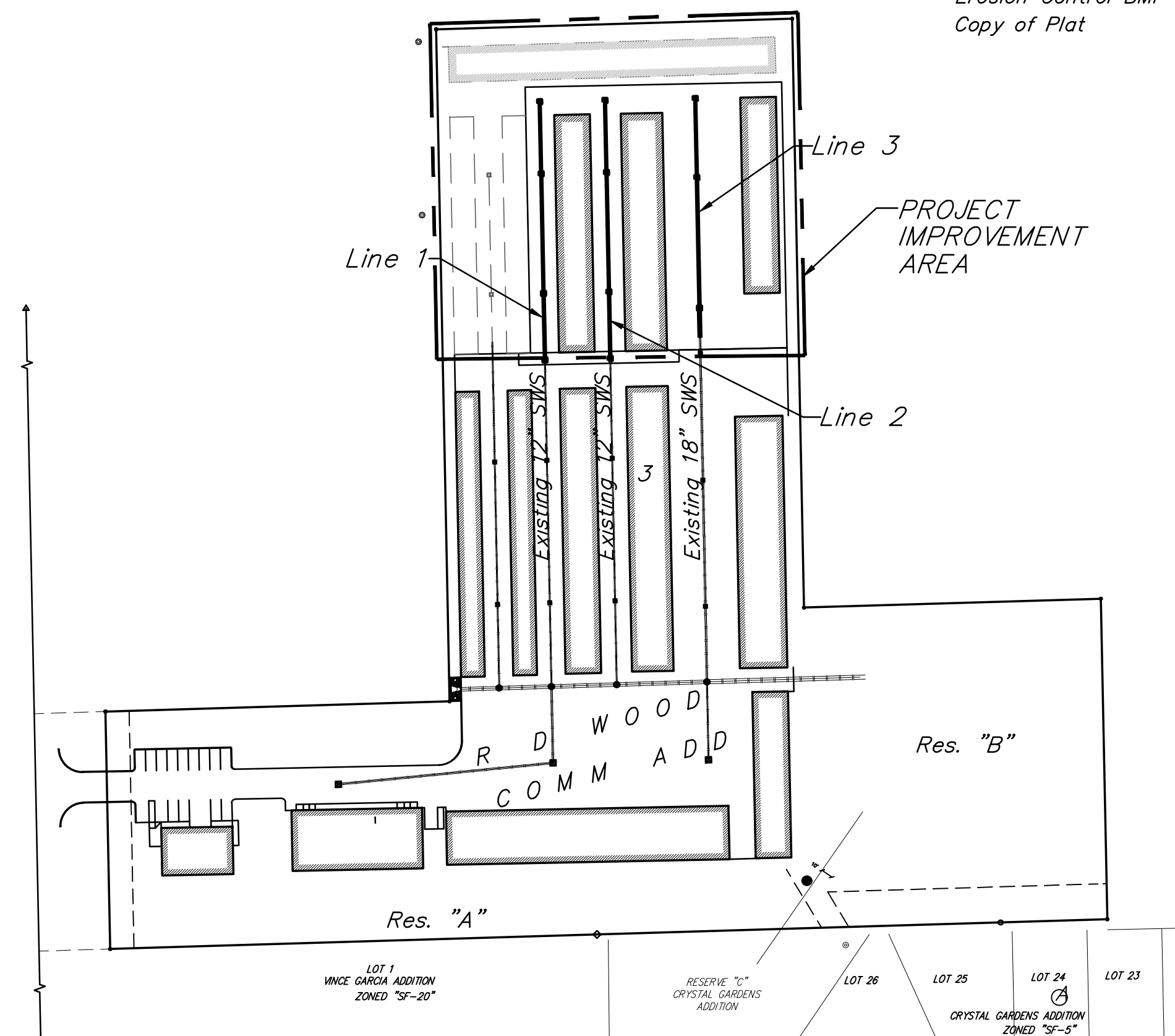


Vicinity Map



Sheet Index

Title Sheet	1
Lines 1 & 2	2
Line 3	3
Erosion Control/Grading Plan	4
Single-Double Drop Inlet Detail	5
Erosion Control BMP Details	6-10
Copy of Plan	11



Stormwater Certification:
 New Development Redevelopment (Circle One)
 Stormwater Permit # SW02019-0053
 NOI Permit # S-AR94-1543 KSR114605

These construction plans were prepared in accordance with the current Stormwater management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines presented in the Wichita/Sedgwick County Stormwater Manual.

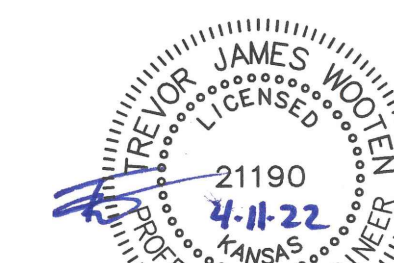
Site Area (Acres) = 1.2 Ac
 Disturbed Area (Acres) = 1.2 Ac
 Water Quality Treatment: Off-Site BMP Program
 Downstream Channel Protection: N/A
 Detention: On site pond
 The BMP used for this development is Construction entrance, silt fence & drop inlet protection- Offsite BMP.

APPROVED AS NOTED
 BY WICHITA PUBLIC WORKS ENGINEERING
 AND STORMWATER DIVISION

Engineering approved by Shawn Mellies on 04/12/22

Stormwater approved by Joe Hickle on 04/12/22

NOTE TO CONTRACTORS
 Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said Inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer in the state of Kansas. No work shall be performed by the Contractor without such inspection nor shall any work be commenced without written authorization by City Engineering. All Construction and Materials shall comply with the current City of Wichita Specifications and Standards and Special Provisions (on file and available at Wichita.gov).
 An approved copy of these plans signed by City staff are required on-site.

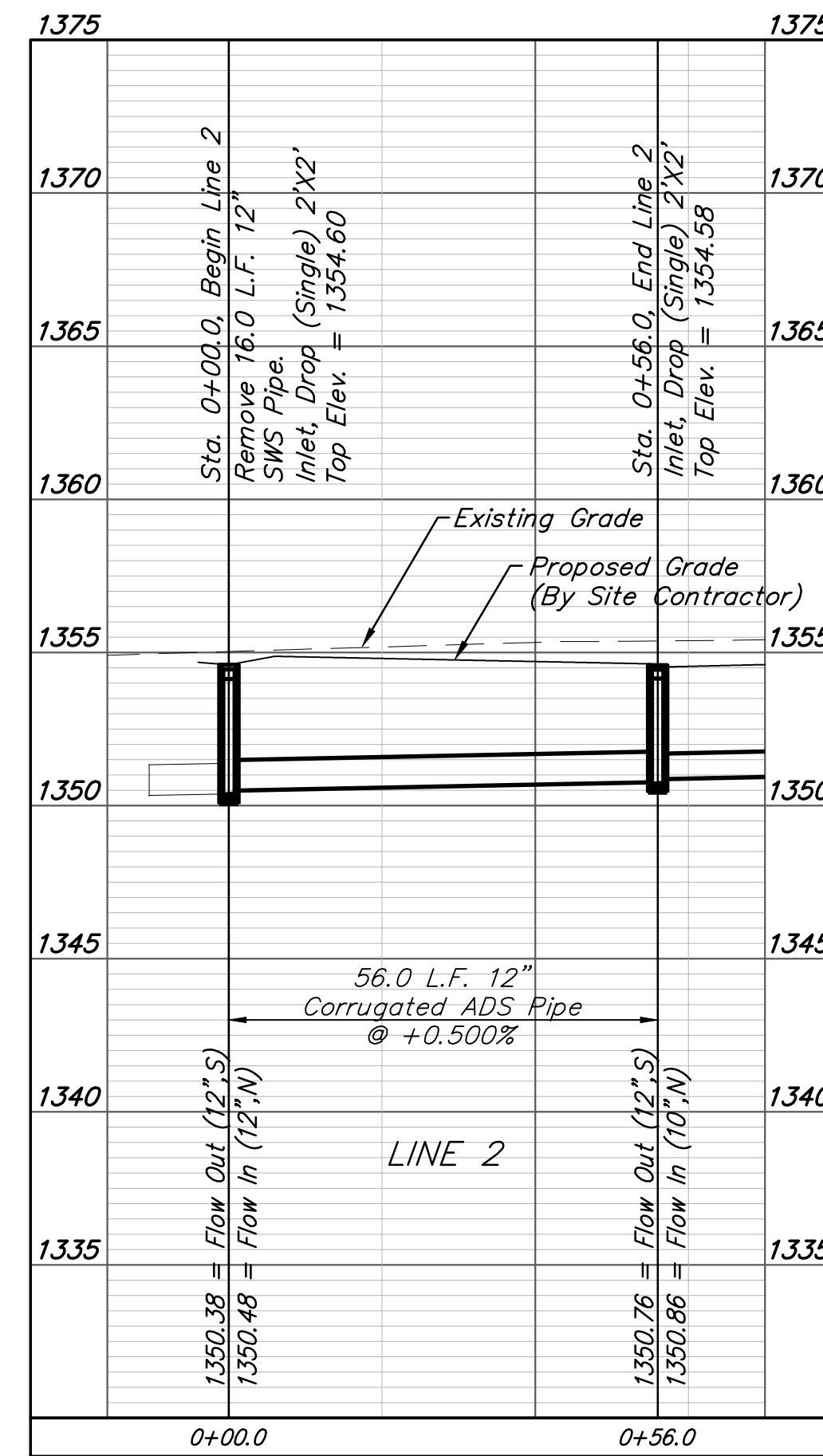
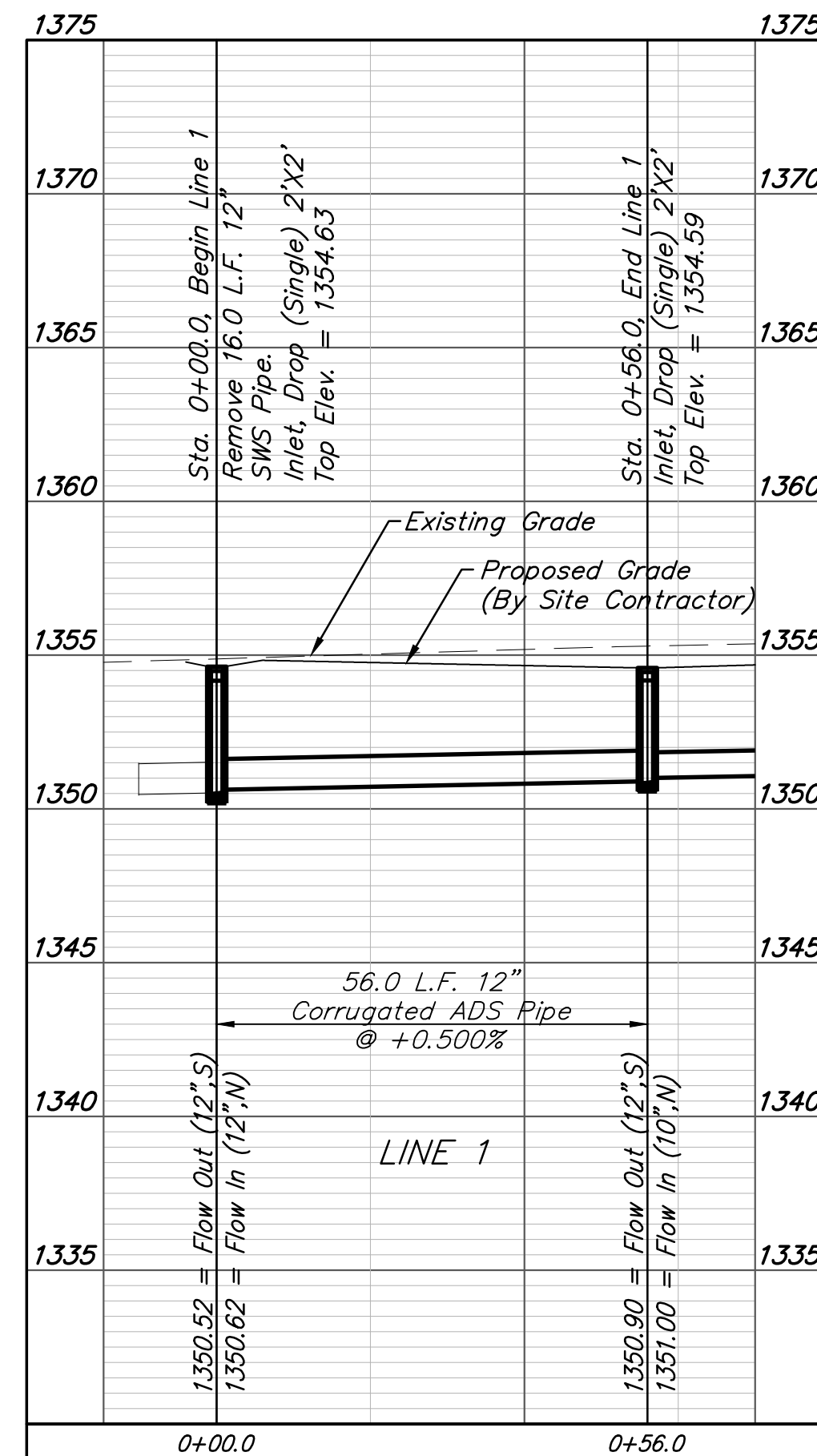
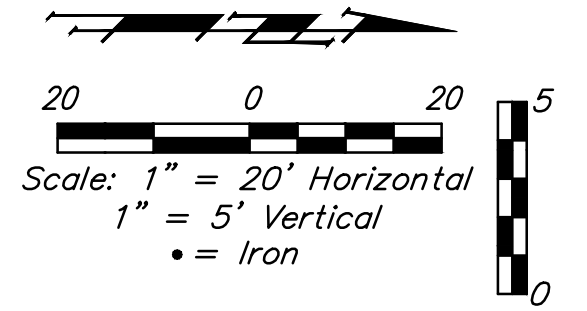
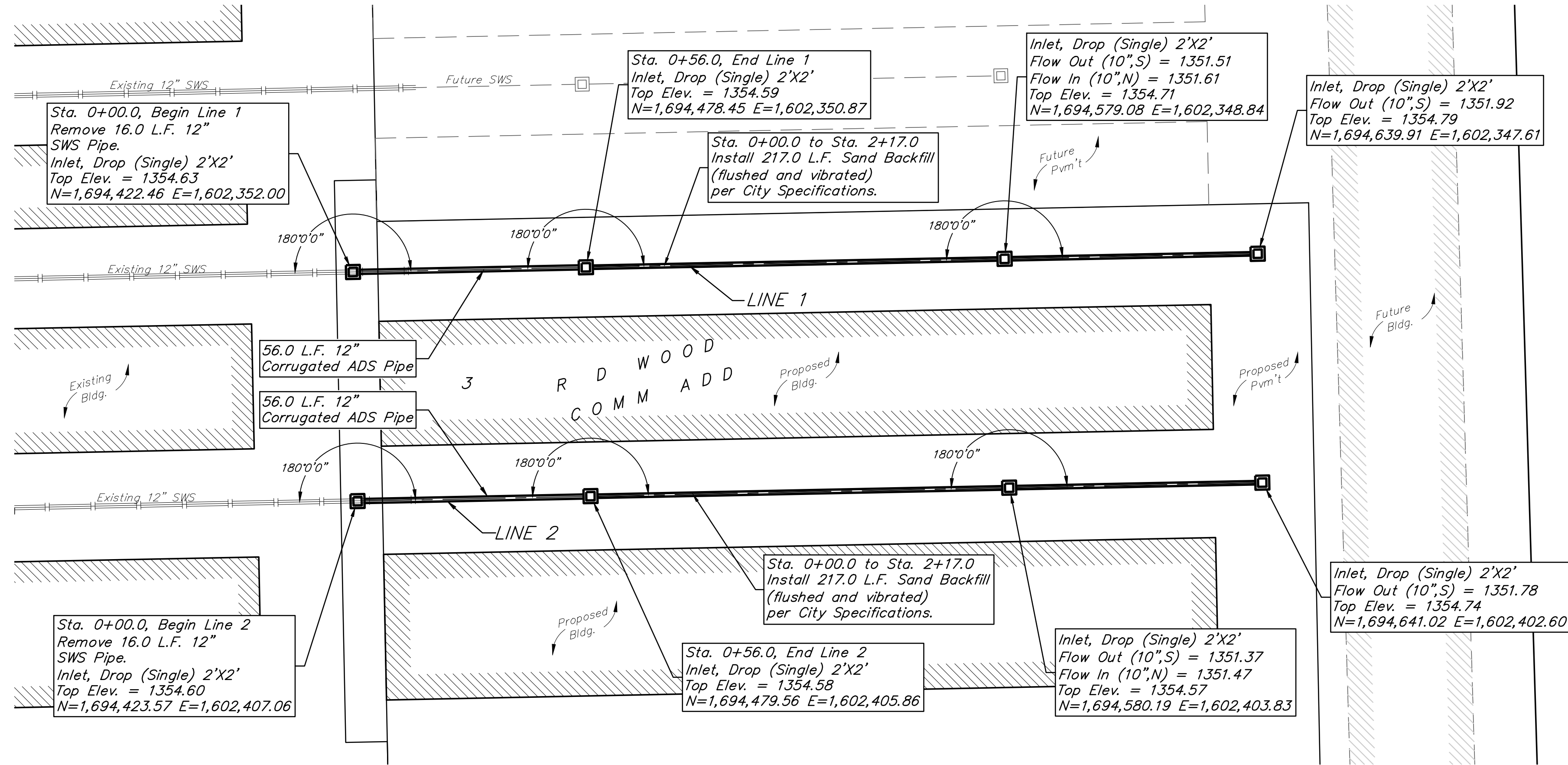


April 13, 2022

BAUGHMAN COMPANY
 315 Ellis St. Wichita, KS 67211 316-262-7271
 BaughmanCo.com

BENCHMARKS:
 BM #1: CHISELED CROSS ON FACE OF WALK, 12.2' N. & 15.8' W. OF THE NW COR., LOT 1, BLOCK A, R. D. WOOD COMMERCIAL ADDITION. Elev. = 1357.30 NAVD88

BM #2: CHISELED CROSS ON NE COR. OF CATCH BASIN, 36.4' W. & 11.8' S. OF SW COR., RESERVE "A", R. D. WOOD COMMERCIAL ADDITION. Elev. = 1353.98 NAVD88



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 Wichita, KS 67211
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 BaughmanCo.com

R.D. WOOD COMM. ADD.
 Phase 2

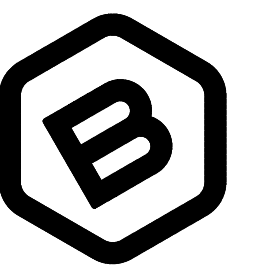
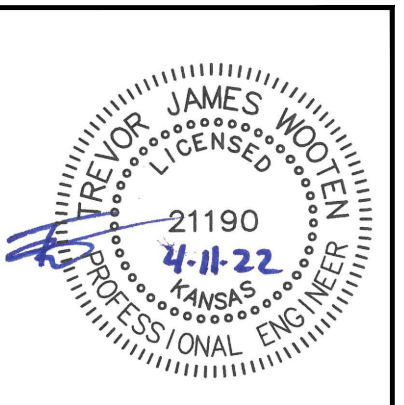
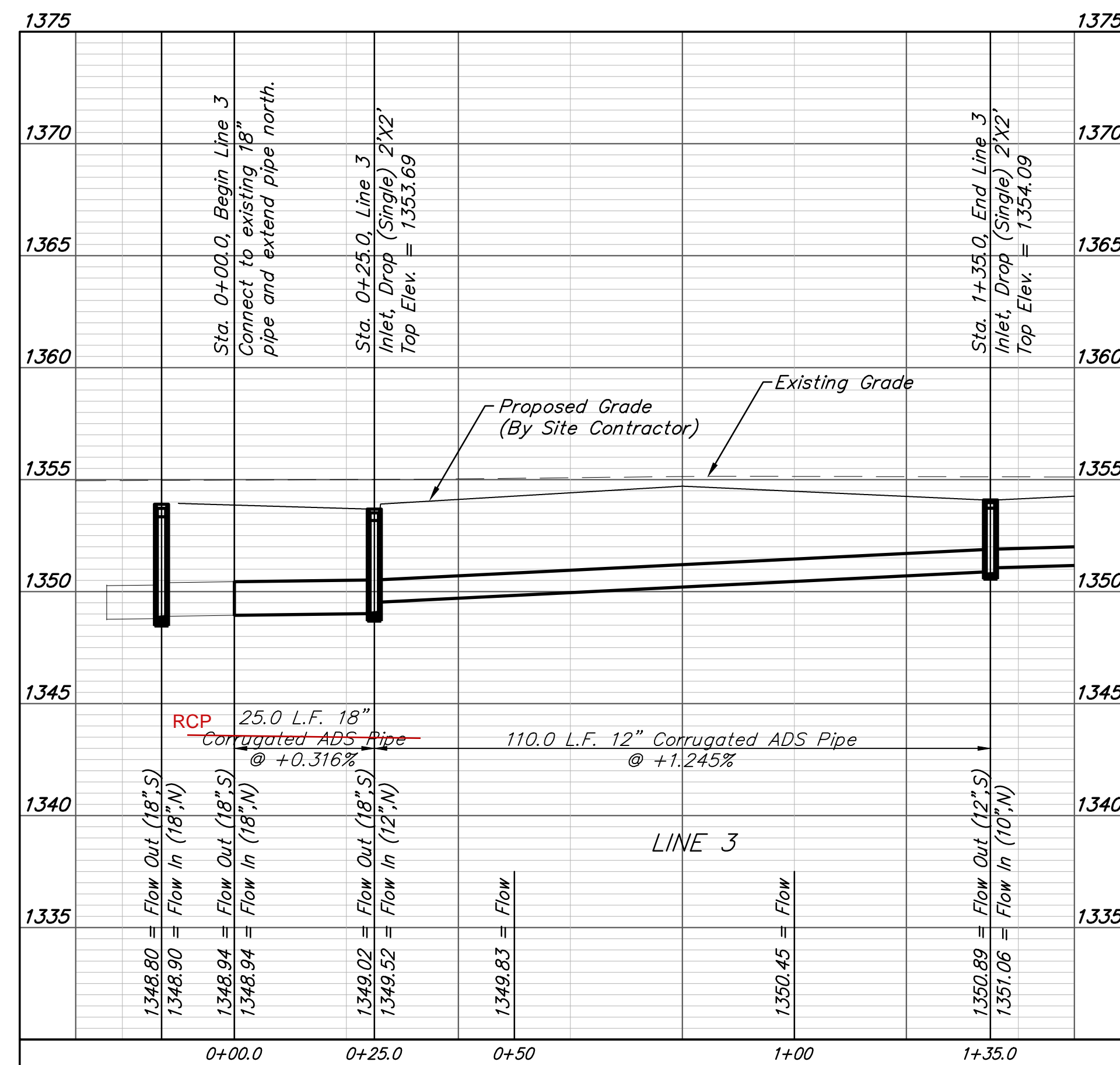
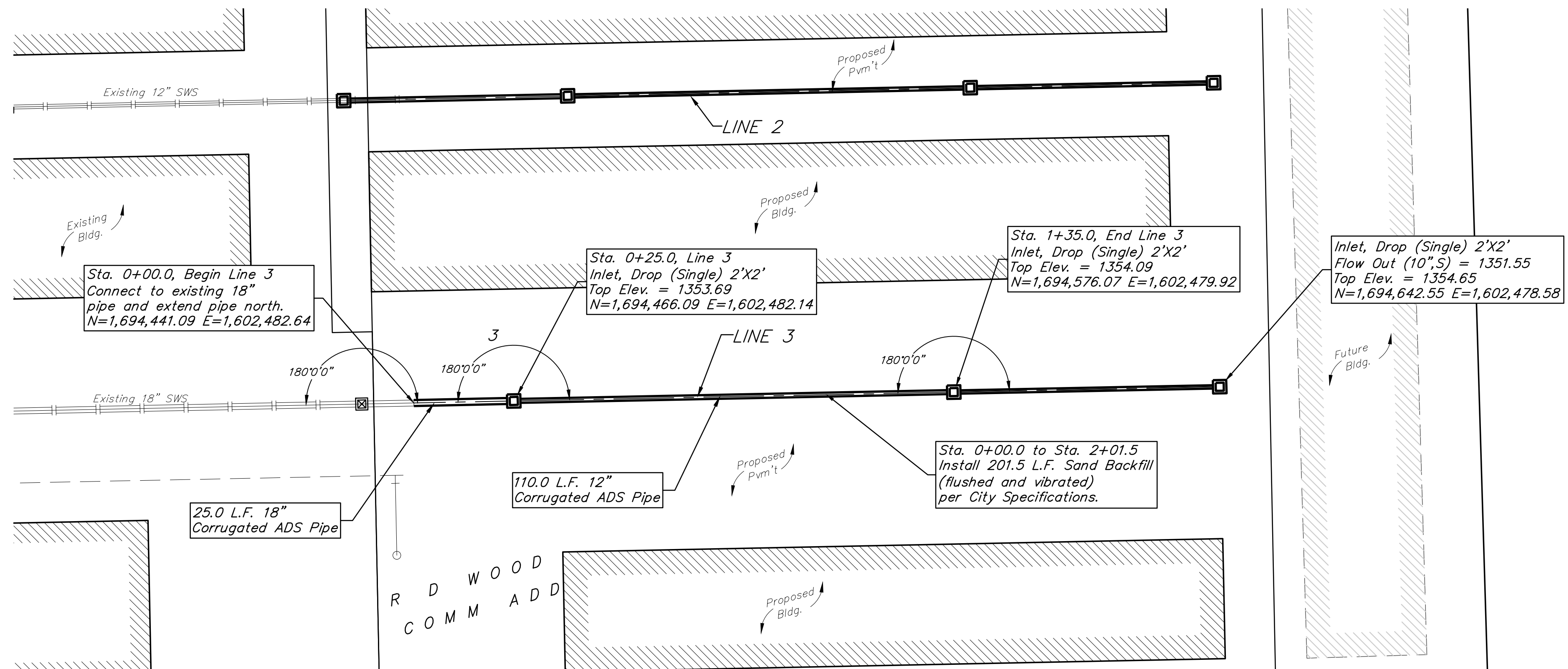
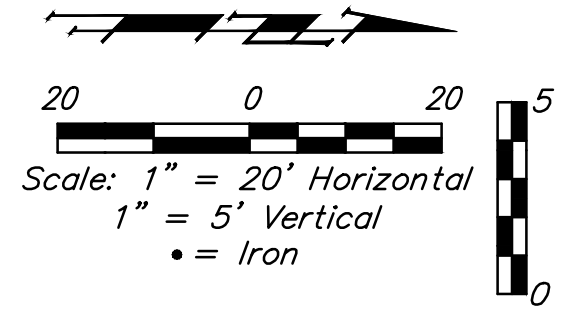
LINES 1&2

STORM WATER SEWER IMPROVEMENTS
 PROJECT NUMBER:
 DESIGN: KH DRAWN: TMS
 DATE: April 13, 2022
 SHEET **2** OF **11**

File: E:\Projects\RD Wood Commercial Addition_16-07-P215\Engineering\Phase 2\PPD\PPD.dwg

BENCHMARKS:
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BAUGHMAN COMPANY

315 Ellis St.
 Wichita, KS 67211
 316-262-7271
 BaughmanCo.com

R.D. WOOD COMM. ADD.
 Phase 2

LINE 3

STORM WATER SEWER IMPROVEMENTS

PROJECT NUMBER:

DESIGN: KH DRAWN: TMS

DATE: April 13, 2022

SHEET **3** OF **11**

LEGAL DESCRIPTION

Lot 3, Block A, R. D. Wood Commercial Addition, Wichita, Sedgwick County, Kansas.

SITE INFORMATION

Total Area:	±258,286.0 sq. ft. (5.93 acres)
Disturbed Area:	±276,646.0 sq. ft. (6.35 acres)
Impervious Area, pre-const:	±140,971.6 sq. ft. (3.24 acres)
Impervious Area, post-const:	±189,354.7 sq. ft. (4.35 acres)

BENCHMARKS

CHISELED CROSS ON FACE OF WALK, 12.2' N. & 15.8' W. OF THE NW COR., LOT 1, BLOCK A, R. D. WOOD COMMERCIAL ADDITION.
Elev. = 1357.30 NAVD88

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Elev. = 1353.98 NAVD88

KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.

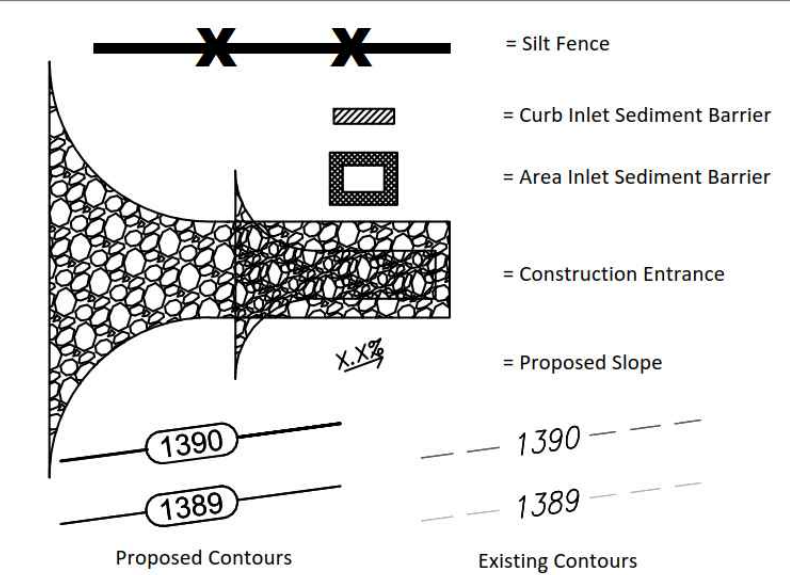
Kansas One Call 1-800-DIG-SAFE

UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:

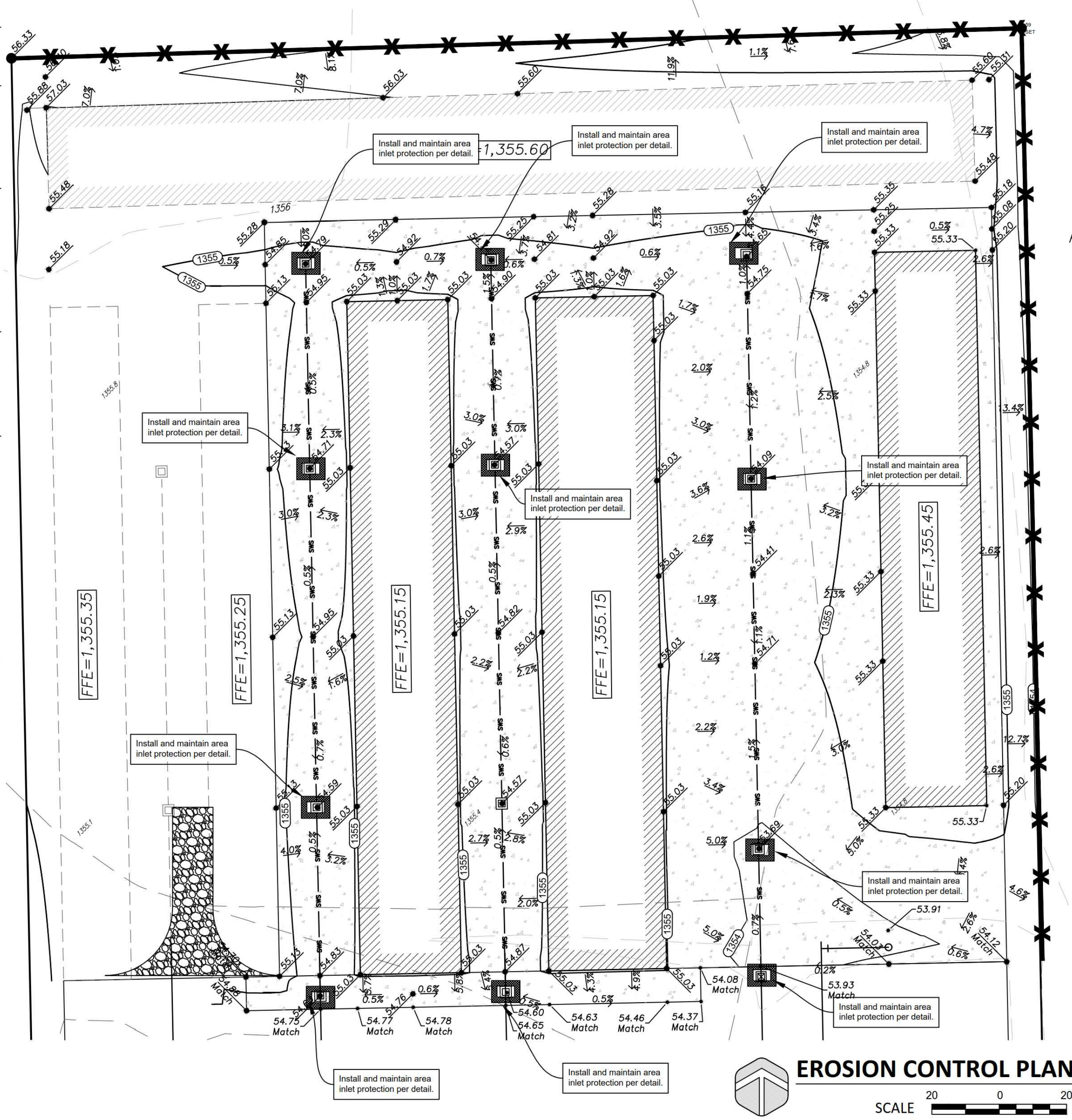
Kansas Gas Service (Gas)	1-888-482-4950
Black Hills Energy (Gas)	1-800-303-0357
Evergy (Electric)	383-8650
Cox Communications (Telecommunication)	262-4270
AT&T (Telecommunication)	268-2759
City of Wichita Water Dept. (Water)	268-4563
or 268-4908	
City of Wichita Sewer Maint. (San. Sewer)	268-4024
or 262-6000	
City of Wichita Storm Sewer Maint. (Storm Sewer)	268-4090
City of Wichita Traffic Maint. (Traf. Control)	268-4034
or 268-4203	
Conoco Pipeline Co. (Petroleum)	1-800-231-2551
Williams Pipeline Co. (Petroleum)	529-6600
or 1-800-324-9696	
Phillips Pipeline Co. (Petroleum)	1-800-766-8230

EROSION CONTROL LEGEND



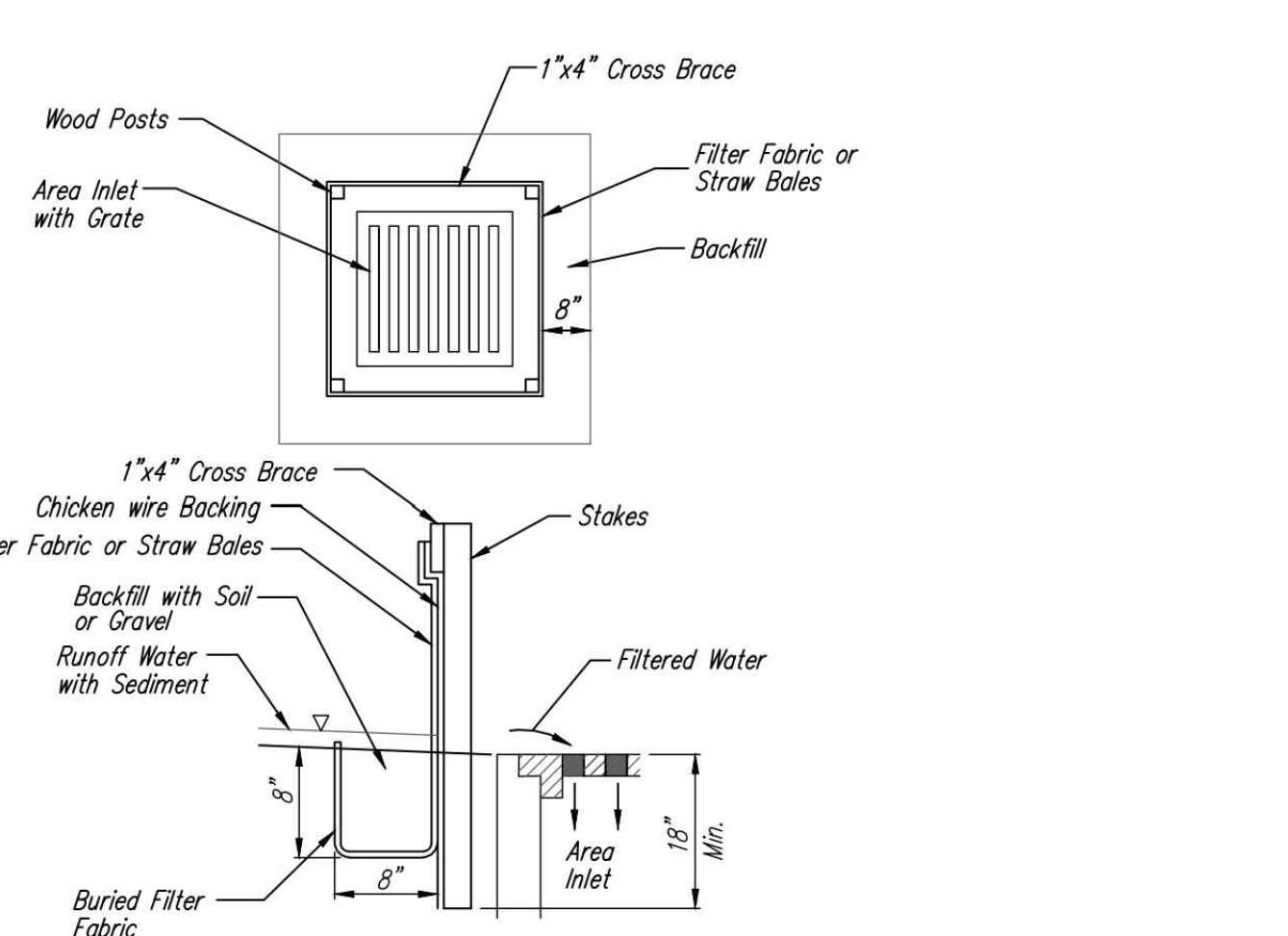
EROSION CONTROL NOTES

- No land clearing or grading shall begin until all applicable erosion control measures have been installed. This project is subject to this SWPP Plan, if applicable. The Contractor shall comply with any unusual requirements as necessary for the site to be in compliance during construction, per this plan and per City and State specifications (See #11).
- All exposed areas shall be seeded as specified within 14 days of final grading. Seed is to include straw mulch, crimped in place per industry standards.
- Should construction stop for longer than 14 days, the site shall be seeded as specified.
- Maintain erosion control measures after each rain and at least once a week.
- This plan shall not be considered all inclusive as the contractor shall take all necessary precautions to prevent soil sediment from leaving the site.
- Contractor shall comply with all state and local ordinances that apply.
- Additional erosion and sediment control measures will be installed if deemed necessary by on site inspection.
- Land disturbing activities shall not commence until approval to do so has been received by governing authorities.
- If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric.
- See Landscape Plan for ground treatments in all disturbed areas beyond impervious surfaces.
- This Erosion Control Plan should be in job trailer and/or on site at all times. The Contractor is responsible for any needed changes, updates or maintenance to BMP's on site. This plan may change and updates need to be recorded and documented on the plan. This plan is a flexible plan, due to changing site conditions and weather. Please inform Landscape Architect and/or Engineer of changes to plan.
- ANY substitutions for the sediment control devices shown, must be approved by the Landscape Architect and/or Engineer prior to any uses on site.
- If site disturbance is over 1 acre, an NPDES Permit Application has been submitted for this property and a copy of this application must be kept at the job site for the duration of the construction process.

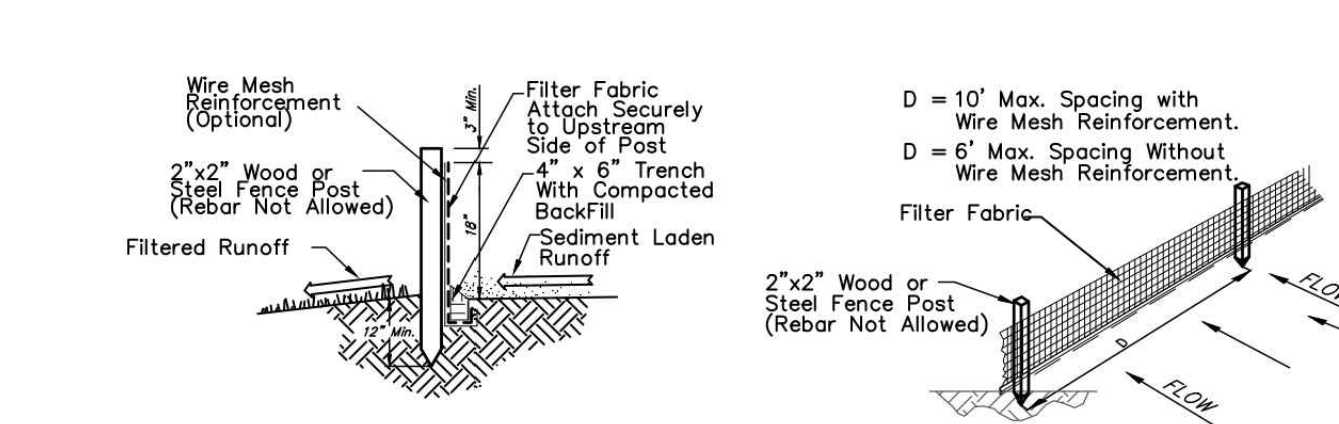


EROSION CONTROL PLAN
SCALE 20 0 20

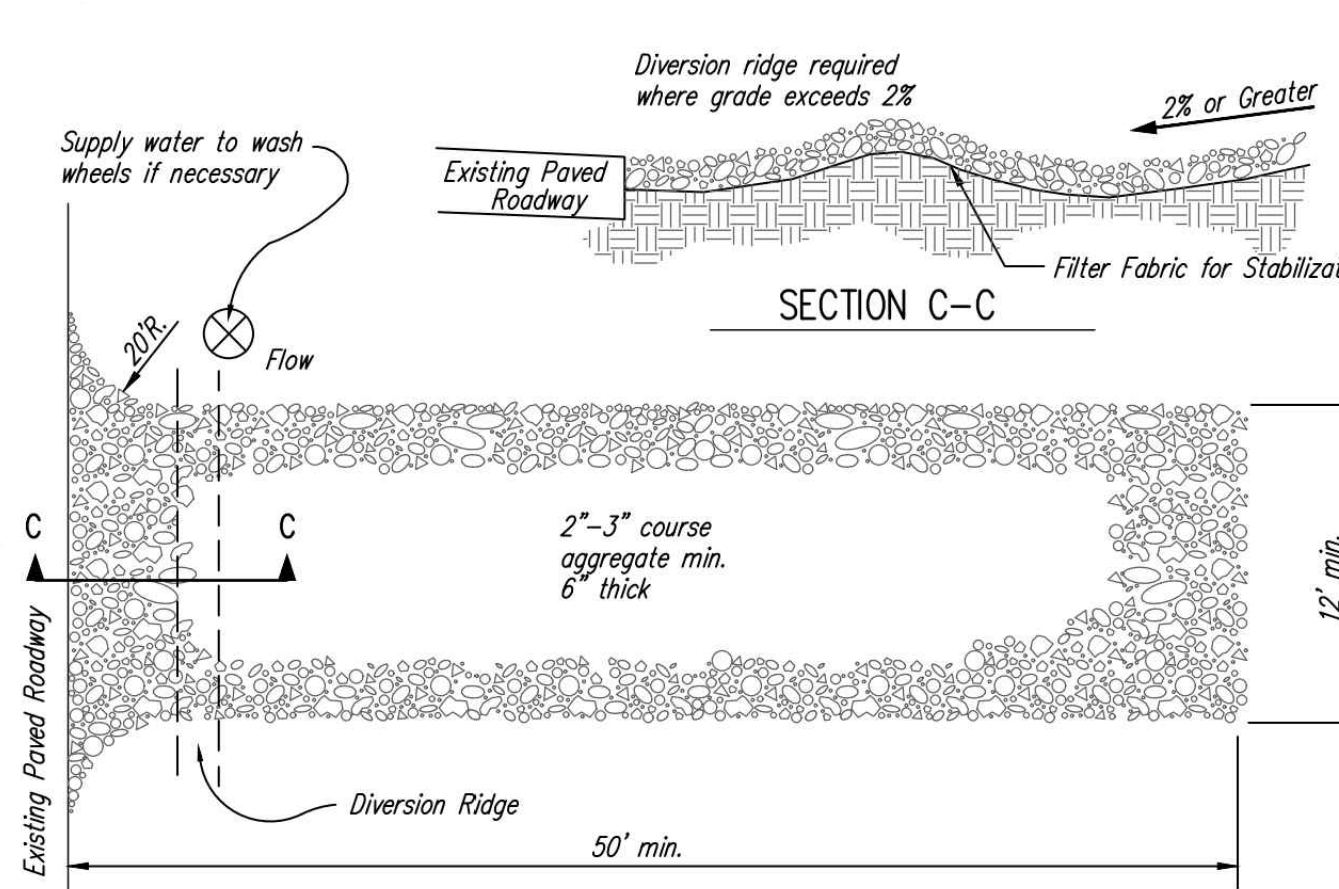
**FOR REFERENCE ONLY
NOT TO SCALE**



4 INLET PROTECTION FOR AREA INLETS
(INLET PROTECTION: SILT FENCE OR STRAW BALES)



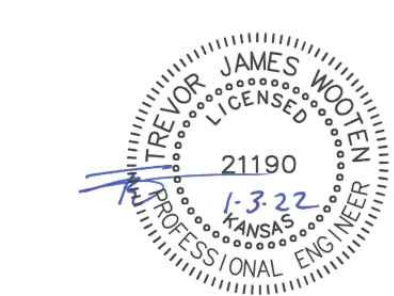
2 SILT FENCE DETAIL
NOT TO SCALE



1 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN, AS SHOWN ABOVE.
 - DRIVE ENTRANCES ONTO RESIDENTIAL LOTS WILL NOT BE REQUIRED TO HAVE THE SEDIMENT BARRIER SHOWN, BUT WHEEL WASHING MAY BE REQUIRED IF STABILIZED ENTRANCE IS NOT SUFFICIENT TO KEEP MUD FROM BEING TRACKED ONTO ADJACENT STREET. ENTRANCE SHALL EXTEND FROM BACK OF CURB TO DWELLING.

STUDIUM
151 N. Rock Island, Suite 1B
Wichita, Kansas 67202
studiumwichita.com 316.295.4563



Max Secure Storage- Phase 2
135th West & 13th St. North
Wichita, Kansas

Grading Revision
01.04.22

BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com

C3.0

PRELIMINARY PLAN. NOT FOR CONSTRUCTION.
This document is preliminary in nature and is not a final, signed and sealed document.

BAUGHMAN COMPANY
315 Ellis St. Wichita, KS 67211 316-262-7271
BaughmanCo.com

R.D. WOOD COMM. ADD. Phase2

GRADING & EROSION CONTROL PLAN

STORM WATER SEWER IMPROVEMENTS

PROJECT NUMBER:

DESIGN: KH DRAWN: TMS
DATE: January 5, 2022

SHEET **4** OF **11**

R. D. WOOD COMMERCIAL ADDITION WICHITA, SEDGWICK COUNTY, KANSAS

**FOR REFERENCE ONLY
NOT TO SCALE**

State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) and state do hereby certify that we have surveyed and
platted "R. D. WOOD COMMERCIAL ADDITION", Wichita, Sedgwick County,
Kansas and that the accompanying plat is a true and correct exhibit of
the property surveyed, described as follows: That part of the Southwest
Quarter of Section 12, Township 27 South, Range 2 West of the Sixth
Principal Meridian, Sedgwick County, Kansas described as follows:
Commencing at the southwest corner of said Southwest Quarter; thence
north along the west line of said Southwest Quarter, 990.00 feet to the
intersection with the westerly extension of the north line of Lot 1, Vince
Garcia Addition, an Addition to Sedgwick County, Kansas, and for a point
of beginning; thence continuing north along the west line of said
Southwest Quarter, 200.00 feet; thence east parallel with the south line
of said Southwest Quarter, 350.00 feet; thence north parallel with the
west line of said Southwest Quarter, 566.00 feet; thence east parallel with
the south line of said Southwest Quarter, 300.00 feet; thence south
parallel with the west line of said Southwest Quarter, 496.00 feet; thence
east parallel with the south line of said Southwest Quarter, 250.00 feet;
thence south parallel with the west line of said Southwest Quarter, 270.00
feet to a point on the north line of Crystal Gardens Addition, Wichita,
Sedgwick County, Kansas; thence west along the north line of said Crystal
Gardens and along the north line of Lot 1 in said Vince Garcia Addition,
and as extended west, 900.00 feet to the point of beginning, all being
subject to road rights-of-way of record.

Existing public easements, building setbacks,
access controls, and dedications, if any, being
waived by virtue of K.S.A. 12-512b, as amended.
Baughman Company, P.A.

This plat of "R. D. WOOD COMMERCIAL
ADDITION", Wichita, Sedgwick County, Kansas has been submitted to
and approved by the Wichita-Sedgwick County Metropolitan Area
Planning Commission, Wichita, Kansas.
Dated this 6th day of September, 2019
Wichita-Sedgwick County Metropolitan Area Planning Commission



Candy Miles, Chairman
City Miles
Dale Miller, Secretary
Dale Miller

This plat approved and all dedications
shown hereon, accepted by the City Council of the City of Wichita,
Kansas, this 14th day of August, 2019.

Jeff Longwell, Mayor
Jeff Longwell
Karen Sublett, City Clerk
Karen Sublett

Michael G. Conroy, Surveyor
18-071
29.2019

Know all men by these presents that we,
the undersigned, have caused the land in the surveyors certificate to be
platted into a Lot, a Block, a Street, and Reserves to be known as "R. D.
WOOD COMMERCIAL ADDITION", Wichita, Sedgwick County, Kansas. The
utility easements are hereby granted as indicated for the construction and
maintenance of all public utilities. No signs, light poles, private drainage
systems, masonry fences, masonry trash enclosures or other structures
shall be located within public utility easements unless a Use of Easement
Permit is obtained from the City of Wichita Public Works & Utilities
Department. The street is hereby dedicated to and for the use of the
public. Reserve "A" is hereby reserved for open space, landscaping,
drainage purposes, lakes, berms, sidewalks, waterlines and related
appurtenances as confined to easement, and utilities as confined to
easement. Reserve "B" is hereby reserved for open space, landscaping,
drainage purposes, lakes, berms, sidewalks, and utilities as confined to
easement. Reserves "A" and "B" shall be owned and maintained by the
owner of Lot 1, Block A. Access controls shall be as depicted on the
face of the plat and are hereby granted to the City of Wichita, Kansas.
The Minimum Building Pad Elevations for the lowest opening to the
structures shall be as indicated on the face of the plat. FEMA Floodplain
and regulatory floodway boundaries are subject to periodic change and
such change may affect the intended land use within the subdivision.

Reviewed in accordance with K.S.A. 58-2005
on this 14th day of August, 2019.

Tricia L. Rabello, Deputy County Surveyor
Tricia L. Rabello, P.S. #1246
Deputy County Surveyor
Sedgwick County, Kansas

R. D. Wood, Betty Jo Wood
R. D. Wood, Betty Jo Wood

Entered on transfer record this 14th day
of August, 2019.

Kelly B. Arnold, County Clerk
Kelly B. Arnold, Sedgwick County Clerk

State of Kansas) SS The foregoing instrument acknowledged before
me, this 29th day of July, 2019, by R. D. Wood and Betty Jo
Wood, husband and wife.

This is to certify that this plat has been
filed for record in the office of the Register of Deeds, this 15th day
of August, 2019 at 10:28:03 o'clock A.M. and is duly recorded.

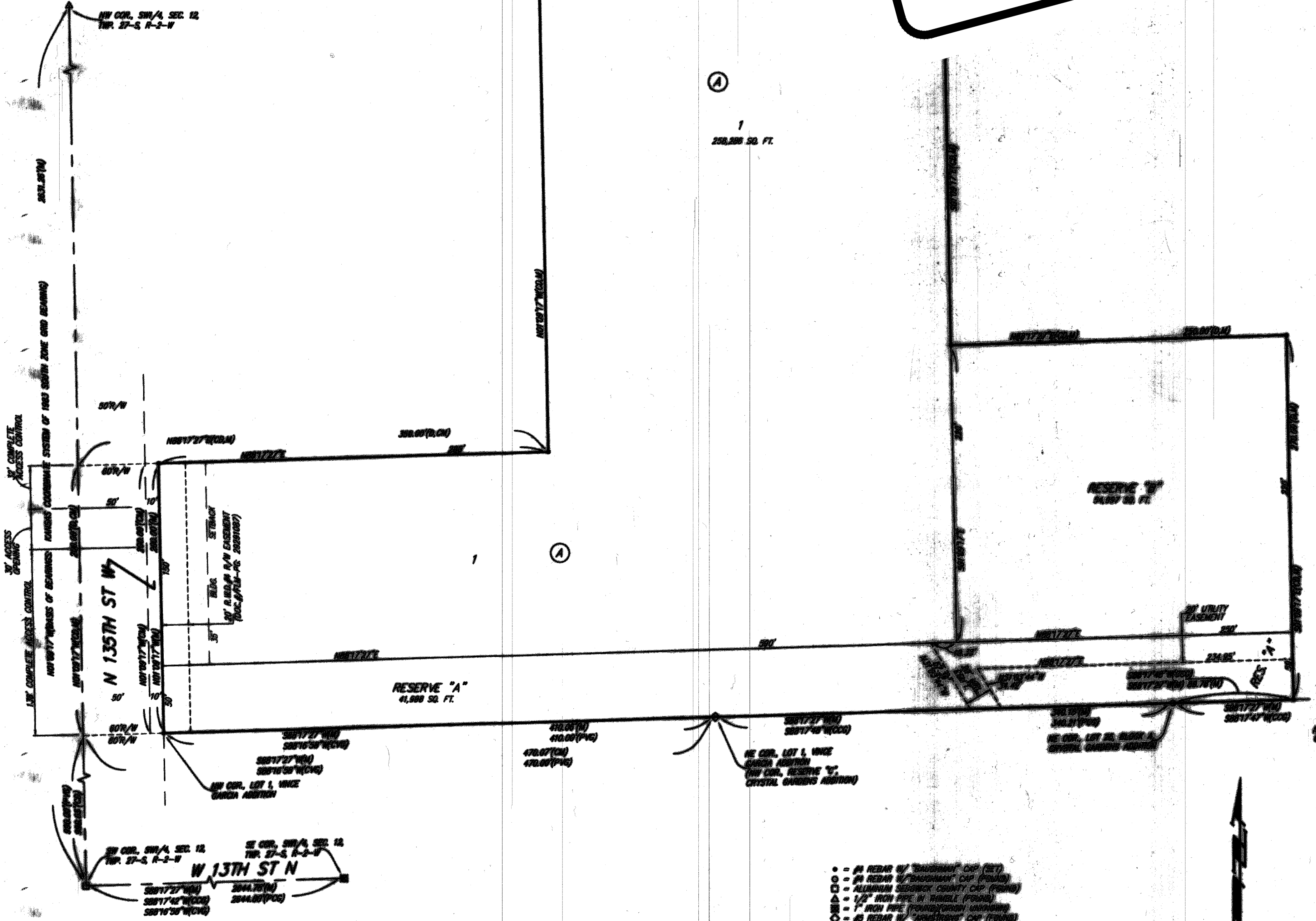
Tanya Buckingham, Register of Deeds
Tanya Buckingham

Kathy Zahring, Deputy
Kathy Zahring

Lynette A. Bauer, Notary Public
My App. Exp. 09-30-22

Register of Deeds - Tanya Buckingham
Doc. #/Fil#-Pg: 29870200
Recording Fee: \$32.00
Page Recorded: 1
Clerk: vbaugh
Date Recorded: 08/15/2019 11:28:18 AM
Authorized: Tanya Buckingham

Baughman Company, P.A.
315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0149
Baughman ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



LOT	BLOCK	ELEVATION
1	A	1394.2

- - AS READ BY "BAUGHMAN" ON PLOT
- - AS READ BY "PROVISION" ON PLOT
- - AS READ BY "CRITICAL OPENING" ON PLOT
- △ - 1/2" IRON PIPE IN WALL (FLOOR)
- - 1" IRON PIPE (FOUNDATION) (UNDER)
- ◇ - AS READ BY "CRITICAL OPENING" ON PLOT

REMARKS:
CHECKED CROSS ON FACE OF BLK. 570.1' N. OF THE WEST
WESTERLY NE COR. LOT 1, BLOCK A, R. D. WOOD COMMERCIAL
ADDITION (AND MOST WESTERLY NE COR. BEING A POINT ON THE
E. 1/4 W. LINE OF N 135TH ST. W.) & 44.1' E. OF THE W. LINE
SW 1/4 SEC. 12, TWP. 27-S, R-2-W
ELEV. = 1397.39 NAVD83

CHECKED CROSS ON NE COR. OF GATCH BASIN, 30.4' N. & 11.6' S.
OF SW COR. RESERVE "A", R. D. WOOD COMMERCIAL ADDITION.
ELEV. = 1392.89 NAVD83

PRELIMINARY PLAN. NOT FOR CONSTRUCTION.
This document is preliminary in nature and is not a final, signed and sealed document.

BAUGHMAN COMPANY
315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com

R.D. WOOD COMM. ADD.
Phase 2

COPY OF PLAT

STORM WATER SEWER IMPROVEMENTS
PROJECT NUMBER:

DESIGN: DRAWN:
DATE: December 10, 2021
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File: E:\Projects\RD Wood Commercial Addition_16-07-P215\Engineering\Phase 2\PPD\PPD.dwg