



FILE COPY

Wichita-Sedgwick County Metropolitan Area Planning Department

June 19, 2002

Architectural Innovations
Attn: Randall Crook
7701 E. Kellogg, Suite 850
Wichita, KS 678207

Re: BZA2001-00060: A Zoning Adjustment to allow parking in the front setback on residentially-zoned property.

Legal Description: Lot 4 and the S. 22' of Lot 5, Block 4, College Hill Addition. Lot 15, 17, 19, 21, and the S. 16' of Lot 13 Wallingford Addition. Lot 9, 11, 13, 15, 17, 19, 21, Chas. W. Myers Subdivision of Lot 5 in Block 4, College Hill Addition. Located at the northeast corner of Douglas and Roosevelt (3810 E. Douglas).

Dear Mr. Crook:

We have reviewed your request for a Zoning Adjustment to allow parking in the front setback on the aforementioned property. From reviewing your application, we understand that you are expanding Blessed Sacrament School and desire to locate a small portion of the parking area in the front setback in order for the parking lot to follow the contours of the new courtyard located on the west side of the expanded building. Therefore, you have requested a Zoning Adjustment to permit parking within the front setback on residentially-zoned property.

Sec. V-I.2.1. of the Unified Zoning Code allows an adjustment to permit parking in residential districts to be located within the front setback, but in no case closer to the property line than 8 feet, when the conditions required by Sec. V-I.6. of the Code are met. We find that permitting parking within the front setbacks no closer than 16 feet from the property lines meets the four conditions required by Section V-I.6 of the Code as set out below:

- 1) Impact on safety and convenience of vehicular and pedestrian circulation: Vehicular and pedestrian circulation in the vicinity will not be negatively impacted by permitting parking within the front setback. The proposed location of parking spaces with the front setback fits logically with the pedestrian and vehicular circulation plan for the property.
- 2) Impact on existing uses in surrounding areas: There should not be a negative impact on the existing uses in the surrounding areas as a result of parking within the setbacks. Only ten parking spaces for will be located within the front setback and these spaces will be appropriately screened by landscaping from residential uses across the street.
- 3) Compatibility with existing or permitted uses on abutting sites: Parking for schools and churches is

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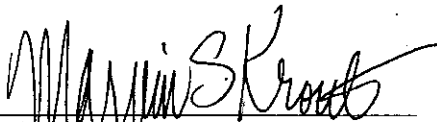
permitted in residential zoning districts, and the allowance of parking within the setback should not compromise existing or permitted uses on abutting sites due to the minor nature of the encroachment of the parking area into the front setback and the provision of landscaping and screening for the parking lot.

- 4) Effect on public health, safety or welfare: There will be no encroachment into public utility easements or right-of-way; therefore, there should not be a negative impact on the public health, safety or welfare nor will properties or improvements in the vicinity be materially injured.

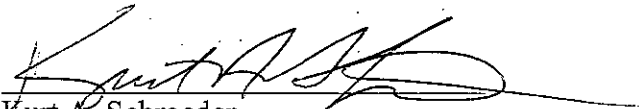
Our signatures below indicate that a Zoning Adjustment to allow parking in the front setback, but no closer than 16 feet from the property line, is hereby granted subject to the following conditions:

- 1) The parking lot shall be developed in accordance with the approved site plan.
- 2) All parking areas shall be paved and marked.
- 3) The parking lot shall be screened and landscaped per an approved landscape plan.
- 4) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in Article VIII of the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Zoning Adjustment is null and void.

The zoning adjustment sign may now be removed from the property.



Marvin S. Krout
Planning Director



Kurt A. Schroeder
Superintendent of Central Inspection

Enclosure

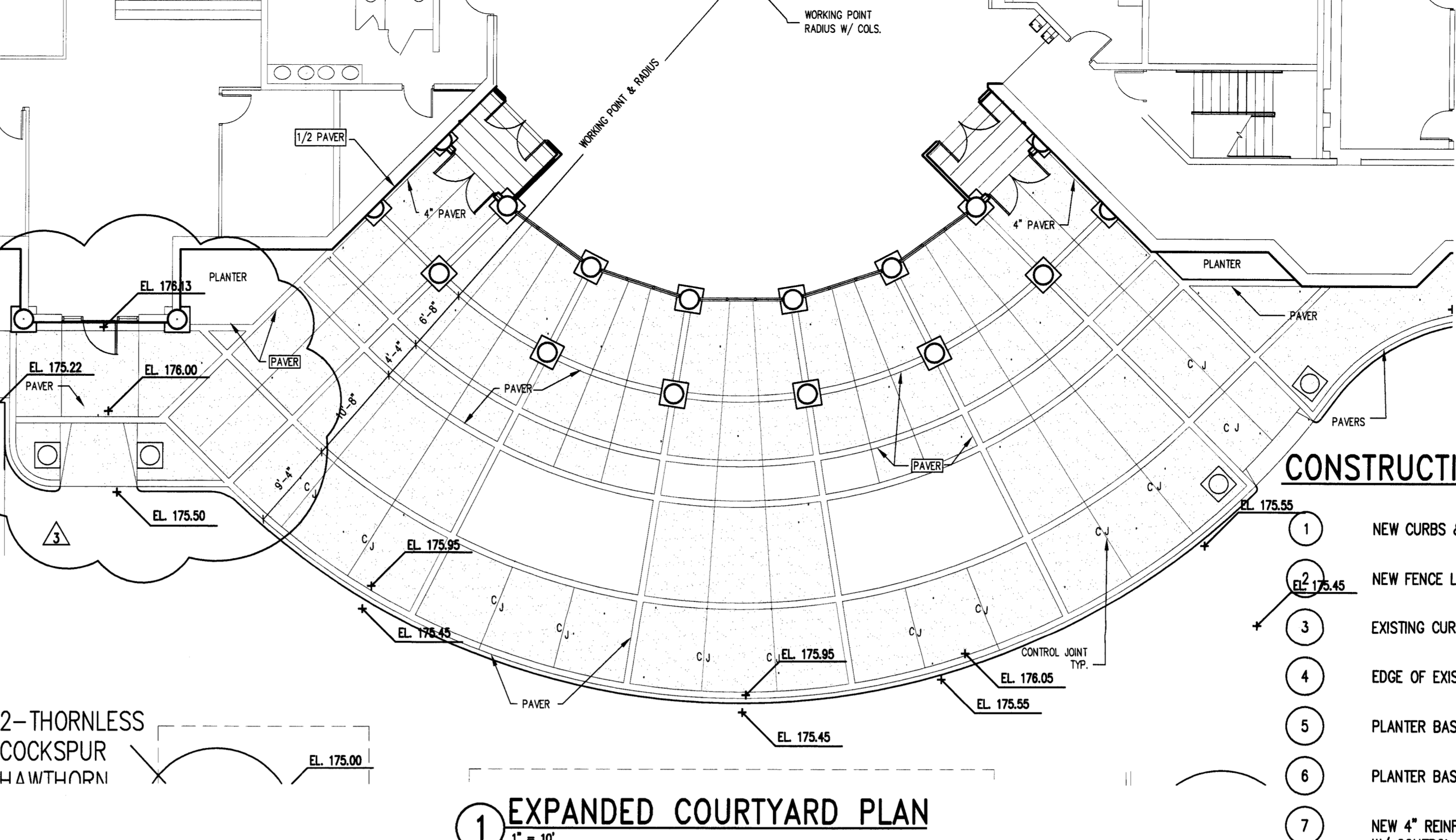
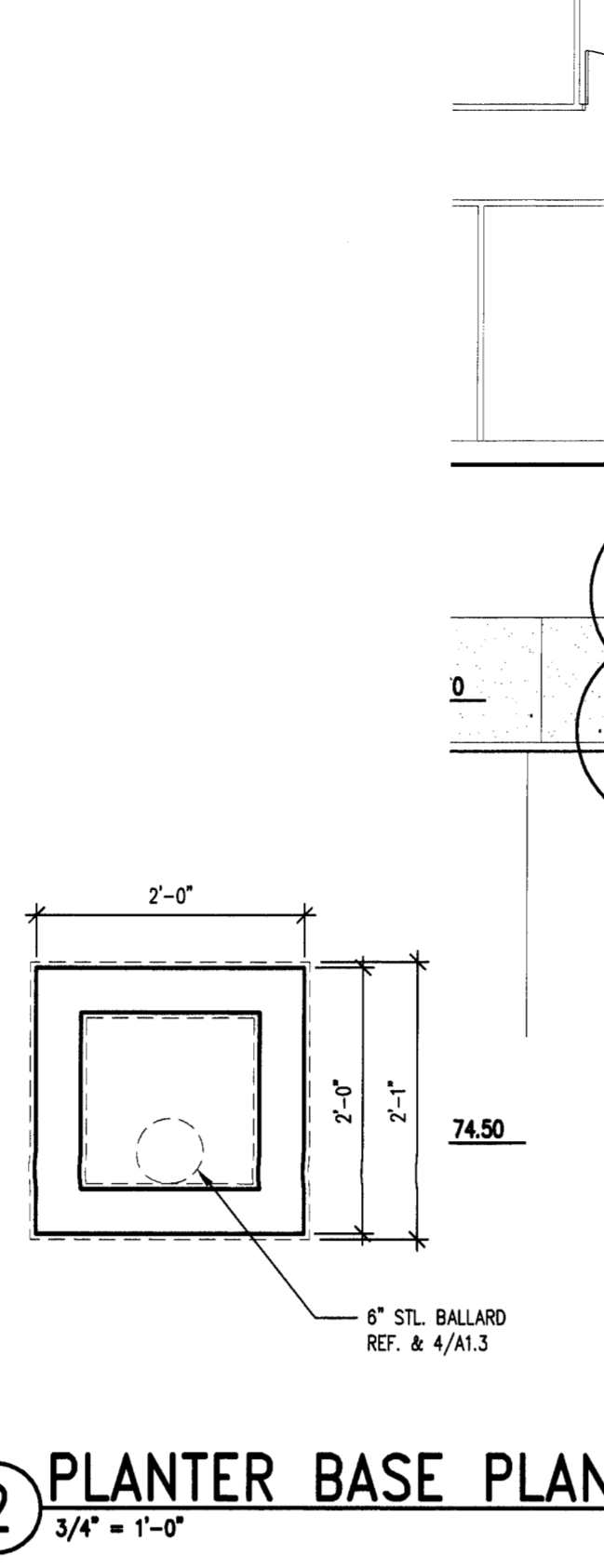
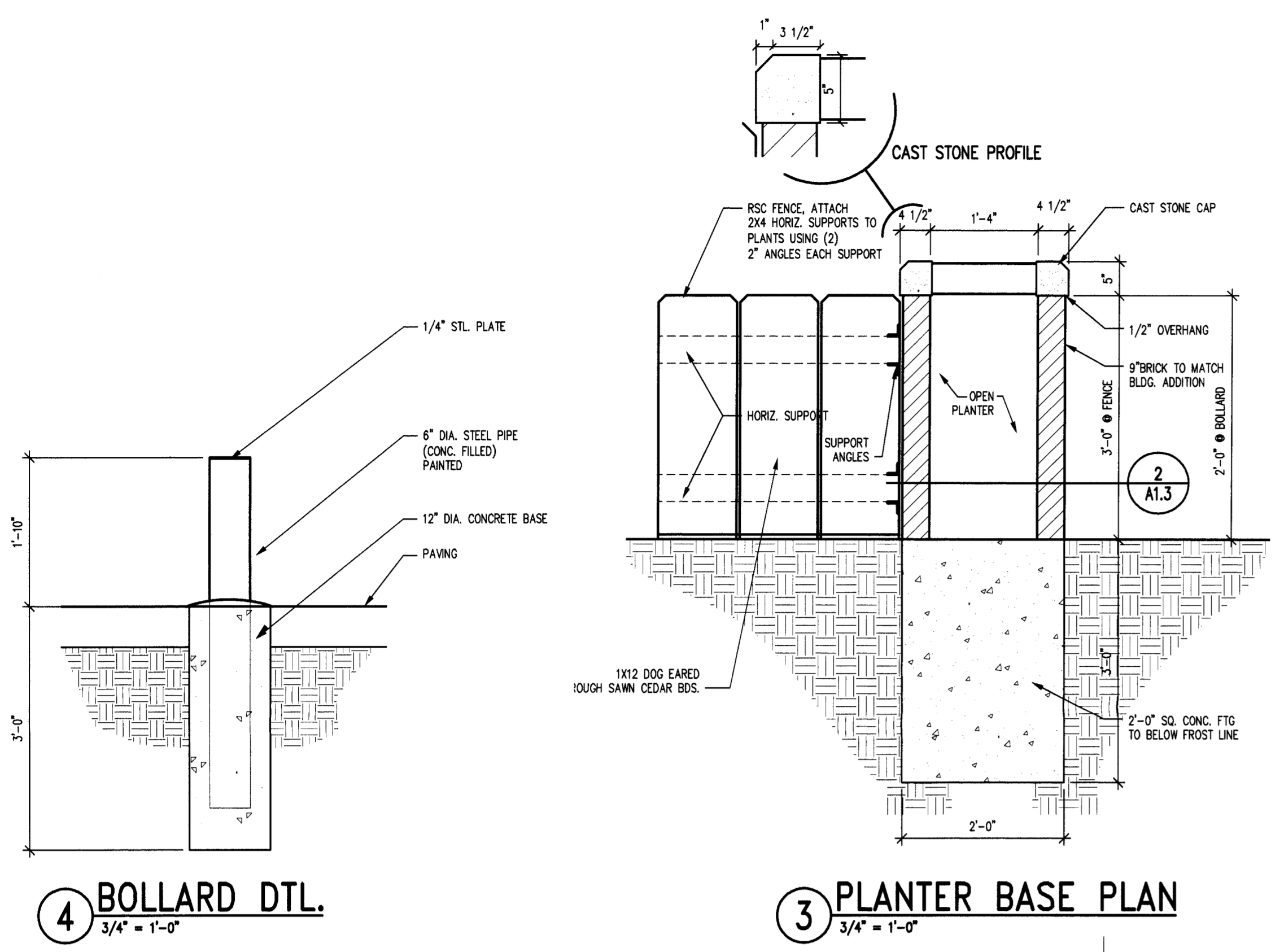
cc: Catholic Diocese, Blessed Sacrament Parish, 3810 E. Douglas, Wichita, KS 67208
Kurt Schroeder, Office of Central Inspection
Paul Hays, Office of Central Inspection
Randy Sparkman, Office of Central Inspection
J.R. Cox, Office of Central Inspection

NOTES:

1. PAVERS ARE TO BE CENTERED ON COL. CENTERS
2. RUN CONTROL JOINTS UNDER PAVERS & AS SHOWN ON PLANS.
3. ALL PAVERS ARE 4" X 8" X 2"d
4. CONTROL JTS. ARE TO BE TOOLED, NOT SAWN

CONSTRUCTION NOTES DEMOLITION NOTES

- | | | | |
|---|------------------------------------------------------------|---|-------------------------------------------------------|
| 1 | NEW CURBS & GUTTER, REF. A1.1 | 1 | CURB TO BE REMOVED |
| 2 | NEW FENCE LOCATION (BY OTHERS) | 2 | REMOVE EXISTING CURB @ OLD DRIVEWAY DRIVEWAY ENTRANCE |
| 3 | EXISTING CURB | | |
| 4 | EDGE OF EXISTING SIDEWALK | | |
| 5 | PLANTER BASE - REF. 2/A1.3 | | |
| 6 | PLANTER BASE W/ BALLARD, REF. 2/A1.3 & 3/A1.3 | | |
| 7 | NEW 4" REINF. CONC. WALK W/ CONTROL JTS. @ 5'-0" O.C. MAX. | | |

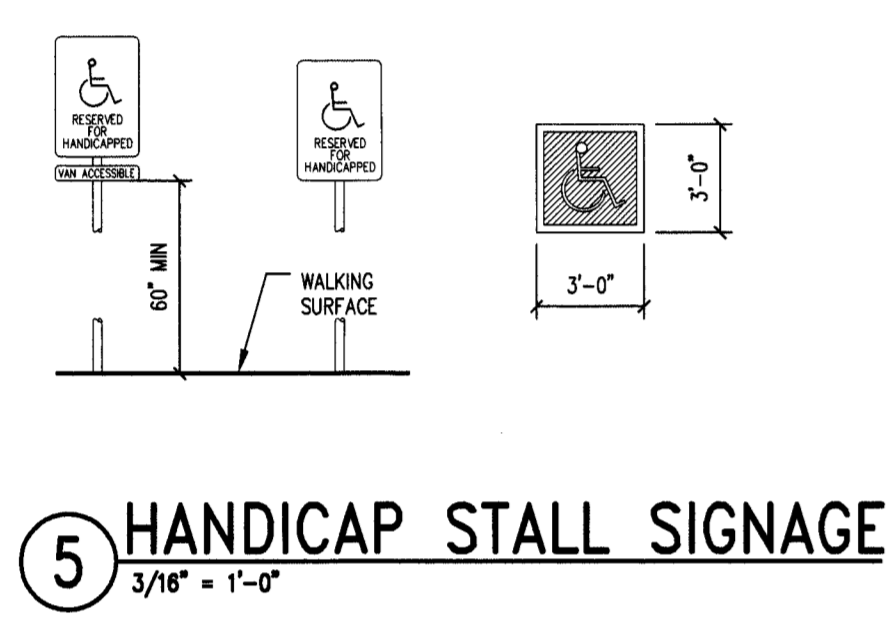


4 BOLLARD DTL.
3/4" = 1'-0"

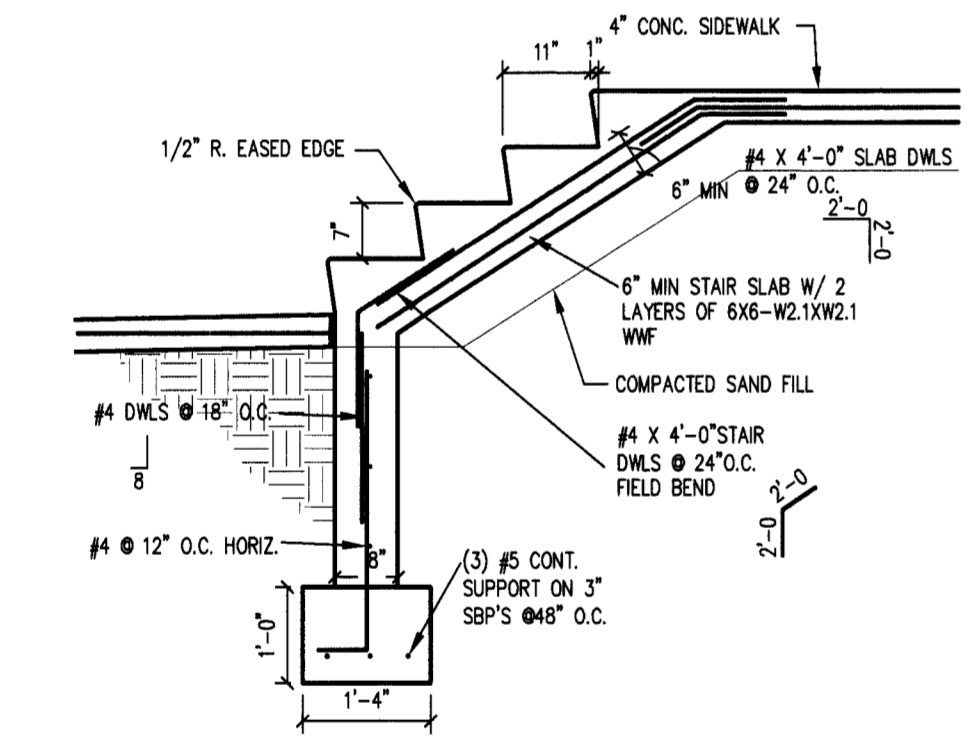
3 PLANTER BASE PLAN
3/4" = 1'-0"

2 PLANTER BASE PLAN
3/4" = 1'-0"

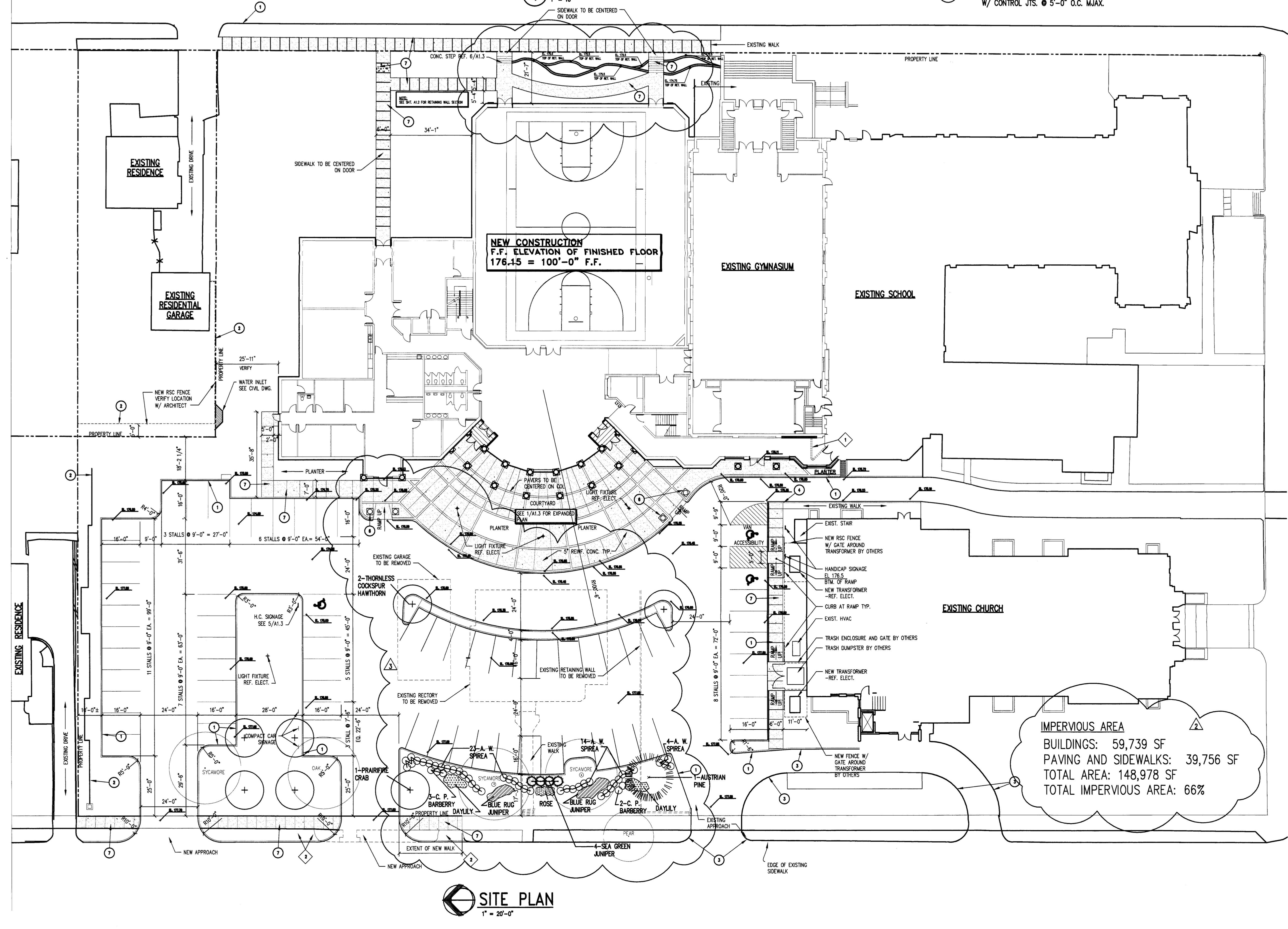
1 EXPANDED COURTYARD PLAN
1" = 10'



5 HANDICAP STALL SIGNAGE
3/16" = 1'-0"



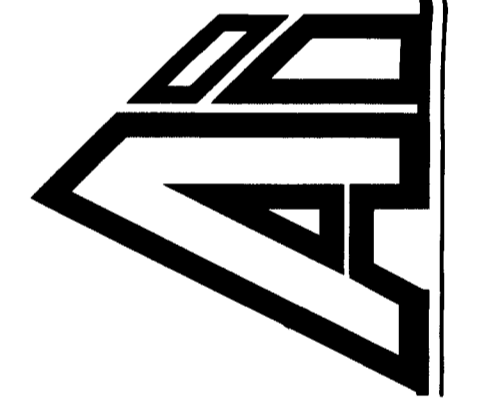
6 CONC. STEP DETAIL
1/2" = 1'-0"



IMPERVIOUS AREA
BUILDINGS: 59,739 SF
PAVING AND SIDEWALKS: 39,756 SF
TOTAL AREA: 148,978 SF
TOTAL IMPERVIOUS AREA: 66%

SITE PLAN
1" = 20'-0"

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(316) 855-1867 FAX



project no. 0002

PHASE II
BLESSED SACRAMENT
3810 EAST DOUGLAS
WICHITA, KANSAS

sheet
A1.3