



Wichita-Sedgwick County Metropolitan Area Planning Department

July 28, 2021

Marsha M. Haag & Billy Graf
1612 North West Lynn Avenue
Wichita, KS, 67212

Ref: CON2021-00021: City Conditional Use to allow an Accessory Apartment on SF-5 Single-Family Residential zoned property generally located a ¼-mile west of North West Street, a ¼-mile north of West 13th Street North and northwest of the West Ott Street – North West Lynn Avenue intersection (1612 North West Lynn Avenue – District VI)

Marsha & Billy,

CON2021-00021 was approved at the Wichita City Council meeting on Thursday July 6, 2021 with the following conditions:

- (1) The applicant shall provide a new site plan with dimensions that better depicts the size and location of the accessory apartment.
- (2) The accessory apartment shall comply with The Wichita-Sedgwick County Unified Zoning Code, specifically Art. III.Sec.III-D.6.a.
- (3) The accessory apartment shall not be rented out to a person or persons who would occupy it for a period of less than one week at a time; see attached recorded, July 14, 2021, Restrictive Covenant Doc #/Flm-Pg 30078434.
- (4) The applicant shall provide proof of proper building permits and an inspection to the MAPD. Modifications must comply with all State, County, and any other applicable standards.
- (5) Development and maintenance of the site shall be in general conformance with the approved site plan.
- (6) If the Zoning Administrator finds that there is a violation of any of the conditions of the Conditional Use, the Zoning Administrator, in addition to enforcing the other remedies set forth in Article VIII of the Unified Zoning Code, may, with the concurrence of the Planning Director, declare that the Conditional Use is null and void.

All of the above conditions have been successfully completed. The signed copy of the Conditional Use Resolution and approved site plan is for your property records. Should you have any questions, please feel free to call me at 268-4421.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Bill Longnecker', written over a horizontal line.

Bill Longnecker
Senior Planner, MAPD

WHEREAS, Marsha Haag, Owner, pursuant to Section V-D of the Wichita-Sedgwick County Unified Zoning Code (herein referred to as Unified Zoning Code), request a Conditional Use to allow an accessory apartment on property zoned SF-5 Single-Family Zoning District described as:

Lot 6, Block 2, Womer's West Lynn 2nd Addition to Wichita, Sedgwick County, Kansas.

WHEREAS, proper notice as required by the Unified Zoning Code and by the policy of the Metropolitan Area Planning Commission (hereinafter referred to as MAPC) has been given; and

WHEREAS, the MAPC did, at the meeting of June 3, 2021, consider said application; and

WHEREAS, the MAPC has authority to permit a Conditional Use, subject to any special conditions deemed appropriate in order to assure full compliance with the criteria of the Unified Zoning Code.

NOW, THEREFORE, BE IT RESOLVED by the Metropolitan Area Planning Commission that this application be approved to allow a Conditional Use to allow an Accessory Apartment on property zoned SF-5 Single-Family Zoning District described as:

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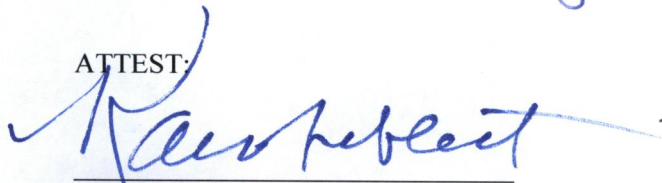
Approved subject to the following conditions:

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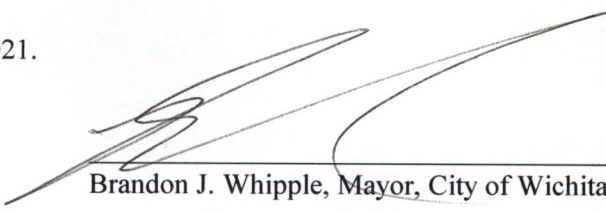
Adopted this 16th day of July, 2021.

ATTEST:

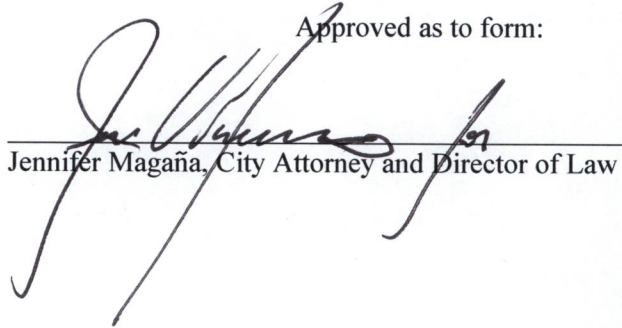


Karen Sublett, City Clerk




Brandon J. Whipple, Mayor, City of Wichita

Approved as to form:


Jennifer Magaña, City Attorney and Director of Law

CON2021-00021



Beaufort Gazette
Belleville News-Democrat
Bellingham Herald
Bradenton Herald
Centre Daily Times
Charlotte Observer
Columbus Ledger-Enquirer
Fresno Bee

The Herald - Rock Hill
Herald Sun - Durham
Idaho Statesman
Island Packet
Kansas City Star
Lexington Herald-Leader
Merced Sun-Star
Miami Herald

el Nuevo Herald - Miami
Modesto Bee
Raleigh News & Observer
The Olympian
Sacramento Bee
Fort Worth Star-Telegram
The State - Columbia
Sun Herald - Biloxi

Sun News - Myrtle Beach
The News Tribune Tacoma
The Telegraph - Macon
San Luis Obispo Tribune
Tri-City Herald
Wichita Eagle

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
32522	95677	Print Legal Ad - IPL0031459	RESOLUTION NO. 21-249	\$70.45	1	84 L

Attention: Jamie Buster
CITY OF WICHITA/CLERKS OFFICE
455 N MAIN ST FL 13
WICHITA, KS 67202

LEGAL PUBLICATION

OCA 150004
PUBLISHED IN THE WICHITA
EAGLE ON July 9, 2021
RESOLUTION NO. 21-249
CON2021-00021

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Adopted this 6th day of July, 2021.
ATTEST:
Brandon J. Whipple, Mayor, City of Wichita
Karen Sublett, City Clerk
(SEAL)

Approved as to form:
Jennifer Magana, City Attorney and Director of Law
IPL0031459
Jul 9 2021

In The STATE OF KANSAS
In and for the County of Sedgwick

No. of Insertions: 1

Beginning Issue of: 07/09/2021

Ending Issue of: 07/09/2021

STATE OF KANSAS)

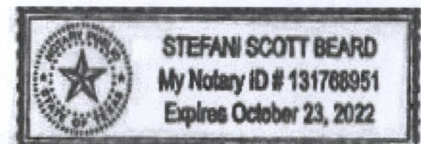
SS
County of Sedgwick)

Hayley Martin, of lawful age, being first duly sworn, deposeth and saith: That he is Record Clerk of The Wichita Eagle, a daily newspaper published in the City of Wichita, County of Sedgwick, State of Kansas, and having a general paid circulation on a daily basis in said County, which said newspaper has been continuously and uninterruptedly published in said County for more than one year prior to the first publication of the notice hereinafter mentioned, and which said newspaper has been entered as second class mail matter at the United States Post Office in Wichita, Kansas, and which said newspaper is not a trade, religious or fraternal publication and that a notice of a true copy is hereto attached was published in the regular and entire Morning issue of said The Wichita Eagle from 07/09/2021 to 07/09/2021.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

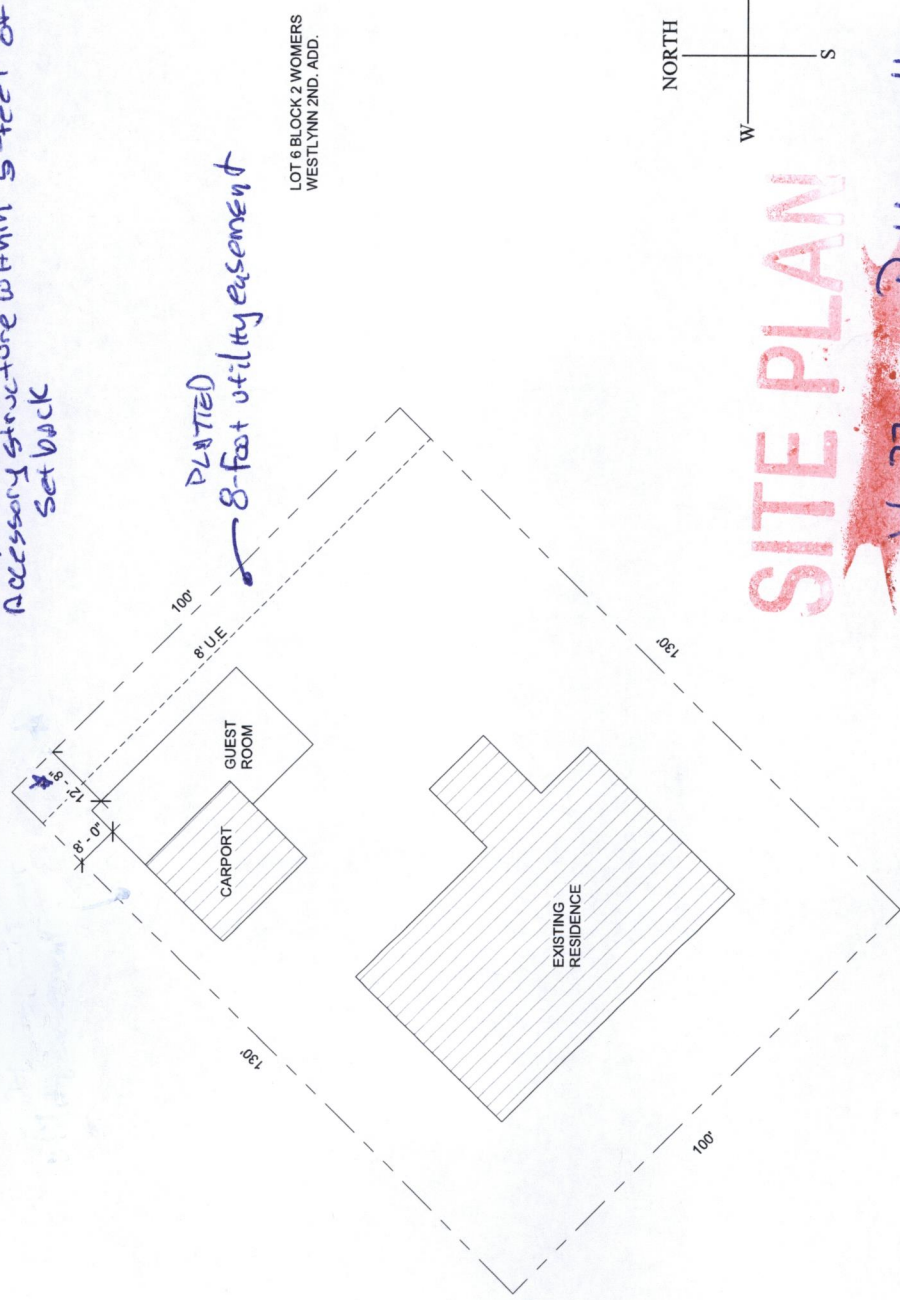
DATED: 07/12/2021

Notary Public in and for the state of Texas, residing in Dallas County



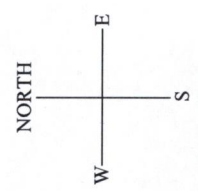
Extra charge for lost or duplicate affidavits.
Legal document please do not destroy!

* Ant III, Sec III-D, 7.0(1) REAR SETBACK - PERMITS
Necessary structure within 5-foot of rear
Set back



PLATTED
8-foot utility easement

LOT 6 BLOCK 2 WOMERS
WESTLYNN 2ND. ADD.



SITE PLAN

APPROVED July 27, 2021 Bill Longnecker

1 Site
1" = 20'-0"

EVANS EVANS BUILDING CO. INC. 5555 N. LARSON MAIZE, KANSAS 67101	MARSHA HAAG RESIDENCE WICHITA, KS	1612 W. LYNN PROPERTY WICHITA CITY LICENSE NO. 26 EXPIRATION DATE 12/31/2021	DATE: 7/15/21 DR. BY: JMC CK. BY:	PROJECT NO. SHEET SA1.1
	LOT 6 BLOCK 2 WOMERS WESTLYNN 2ND. ADD.			

GENERAL NOTES: _____
ALL NOTES HEREFTER ARE TYPICALLY APPLICABLE UNLESS OTHERWISE NOTED

GENERAL:

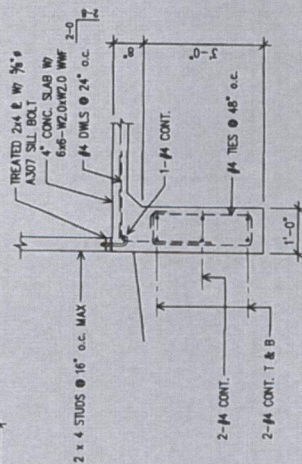
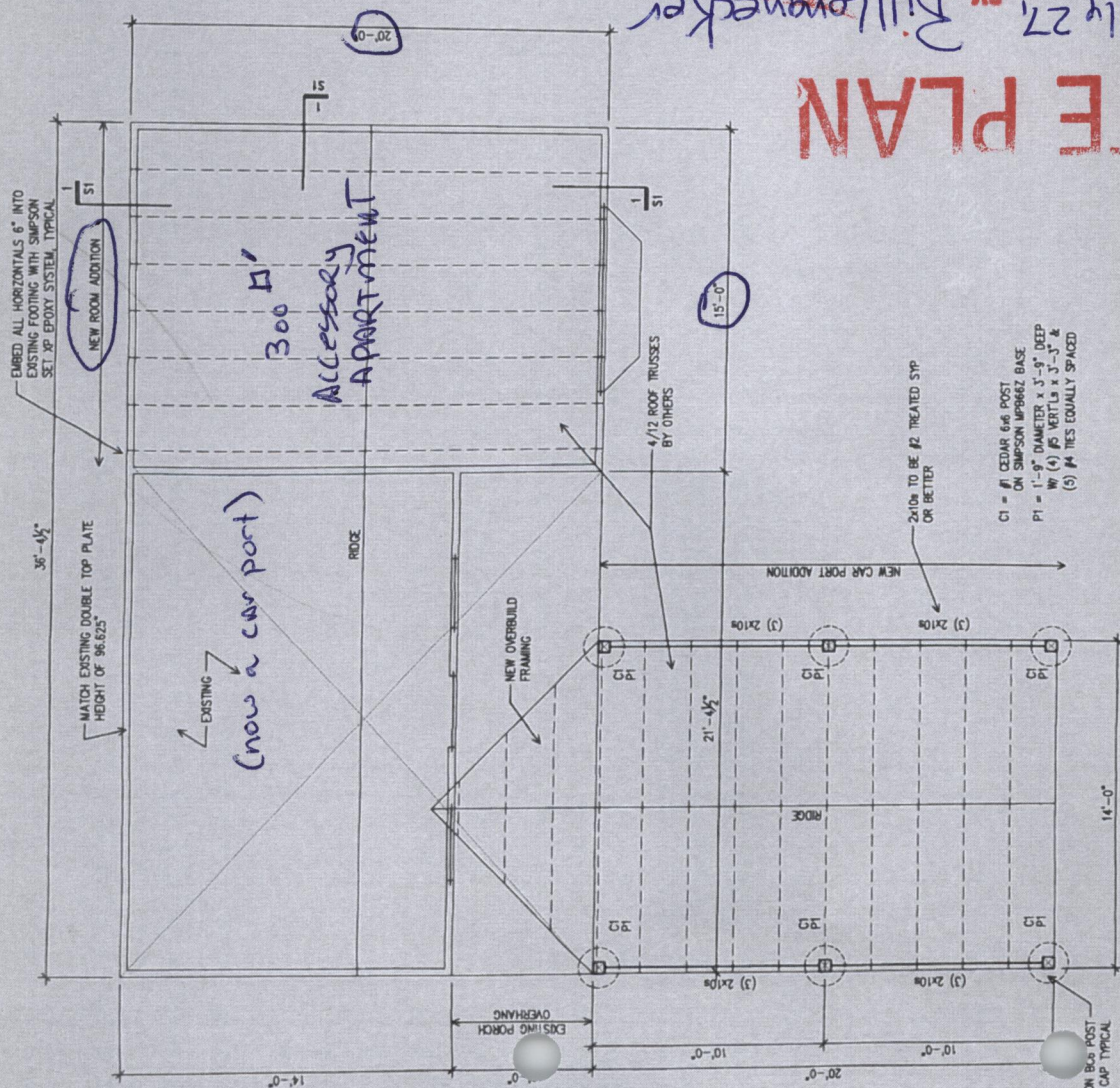
- 1 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS
2 WITH THE ARCHITECT'S PLANS BEFORE STARTING WORK.
3 OPENINGS IN WALLS, ROOF AND FLOOR SYSTEMS.
4 CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BRACING,
5 SHORING, GUYING, ETC. AND OTHER METHODS TO PREVENT EXCESSIVE
6 STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING
7 CONSTRUCTION. THESE PROVISIONS TO REMAIN IN PLACE UNTIL
8 SUFFICIENT PERMANENT MEMBERS ARE CONSTRUCTED TO INSURE THE
9 SAFETY OF THE STRUCTURE.
10 ALL DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO
11 SIMILAR CONDITIONS, UNLESS SHOWN OTHERWISE.

FOUNDATION/SOILS:

- 1 PREPARATION DESIGN IS BASED ON AN ASSUMED BEARING CAPACITY, INCLUDING BACKFILL OF UTILITY TRENCHES AND VERIFICATION OF BEARING MATERIALS, SHALL BE UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER. PROXIMITY OF UTILITY TRENCHES TO FOUNDATION SYSTEM SHALL BE AS APPROVED BY THE SOILS ENGINEER TO INSURE THE INTEGRITY OF THE BEARING SOILS
- 2 ALL FOUNDATIONS SHALL BEAR ON UNDISTURBED EARTH OR ENGINEERED FILL AT ELEVATIONS SHOWN ON DETAILS. BEARING MATERIALS TO BE VERIFIED BY A LICENCED SOILS ENGINEER.
- 3 ALL FOUNDATIONS SHALL BE VERIFIED BY THE SOILS ENGINEER. INTERFERE WITH NEW CONSTRUCTION SHALL BE. BEAR NEW FOUNDATIONS ON ENGINEERED FILL OR INCREASE BEARING DEPTH TO UNDISTURBED EARTH AT REMOVED OBSTRUCTIONS.
- 4 ALL FOUNDATIONS (OR PORTIONS THEREOF) BELOW GRADE MAY BE EARTH FORMED BY NAT'L EXCAVATIONS, SOIL PERMITTING. FOOTINGS TO BE CENTERED ON WALLS, OR COLUMNS, UNQ.

CONCRETE REINFORCING FABRICATOR AND GENERAL CONTRACTOR SHALL

- C 2 SHOP DRAWINGS SHALL BE PREPARED IN KEEPING WITH THE CURRENT NATIONAL STANDARDS, A.C.I. AND C.E.S.I.
- C 3 CONCRETE SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PRACTICE."
- C 4 ALL PORTLAND CEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, EXCEPT CONCRETE EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS
- C 5 ADDITIONAL STEERING SHALL BE ENTAINED AIR. SEE PLANS AND DETAILS FOR PORTLAND CEMENT SHALL MEET ASTM SPECIFICATIONS TYPE I OR II
- C 6 ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33. DESIGN MIX TO CONTAIN A MINIMUM OF SIZE COARSE AGGREGATE NO ADMIXTURES, OTHER THAN AIR ENTRAINMENT, SHALL BE USED WITHOUT THE ARCHITECT'S OR ENGINEER'S PRIOR APPROVAL.
- C 7 REINFORCING SHALL BE DETAILED, FABRICATED, AND PLACED PER CRS AND ACI, INCLUDING CONCRETE COVER AND BAR SUPPORTS. CRS AND METHOD OF SUPPORTING TOP BARS IN THICK WALLS TO BE VERIFIED BY THE CONTRACTOR.
- C 8 "TRENCH FOOTING" FACTORY PROVIDE CORNER BARS AT ALL SLABS. CORNER BARS TO MATCH INTERSECTIONS INCLUDING THOSEN QUANTITY, SIZE, AND SPACING, AT INTERSECTIONS OF CONTINUOUS OR SPREAD FOOTINGS, EXTEND ALL BARS TO FAR SIDE OF INTERSECTING FOOTING.
- C 9 LAP BARS AT ALL SPLICES AND JUNCTIONS. MINIMUM LAP AS SCHEDULED BELOW, UNLESS NOTED OTHERWISE ON PLANS AND/OR DETAILS. LONGER ALL SPICES 2'-0" MINIMUM.
- C 10 HORIZONTAL BARS CORNER BARS 46 BAR DIAMETERS 33 BAR DIAMETER
- C 11 LAP WELDED WIRE FABRIC 60" OR GREATER. WHICHEVER IS GREATER.
- C 12 ALL REINFORCING SHALL MEET ASTM A101, GRADE 60. ALL REINFORCING TO BE WELDED SHALL MEET ASTM A101, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A101.
- C 13 ALL PROTECTION FOR REINFORCING, 3" AT FOUNDATIONS; 2" AT FORMER SURFACES LATER EXPOSED TO SOIL OR WEATHER; 1 1/2" AT ALL OTHER FORMED SURFACES. 3/4" AT SLABS.
- C 14 ALL SLABS OVER 12" CONCRETE THICK WITH 6#6 W20/W20 WWF EXPOSED TO WEATHER SHALL BE CHAMFERED 3/4".
- C 15 AT MID-POINT, SEE ARCHITECTURAL SECTION FOR FINISH ELEVATIONS. SEE DETAILS FOR CONTROL AND/OR CONSTRUCTION JOINTS LOCATED TO FORM APPROXIMATELY SQUARE PANELS OF NOT MORE THAN 100 SQUARE FEET. CONSTRUCTION JOINTS MAY BE SUBSTITUTED AT CONTRACTORS OPTION. CONTROL JOINTS SHALL BE CENTERED ON MAXIMUM CENTURIES WHENEVER POSSIBLE.
- C 16 ALL JOISTS OPENINGS THROUGH FOUNDATION WALLS AND/OR FOOTINGS ARE PERMITTED WITHOUT THE ENGINEERS APPROVAL.
- C 17 NO ALUMINUM SHALL BE USED WITHOUT THE ENGINEERS APPROVAL.
- C 18 SIZES OF 2"-FS, 4"-OR LONGER THAN OPENING DIMENSION, ON ALL
- C 19 LOCATION OF CONSTRUCTION JOINTS, RUSTICATION JOINTS AND BRICK LEDESSES SHALL BE APPROVED BY ARCHITECT OR ENGINEER.



A PLAN

SNOW LOADS & WIND PRESSURES	20 PSF
DESIGN WIND SPEED: 100 MPH	15 PSF
DESIGN WIND SPEED: 100 MPH	0.9
DESIGN WIND SPEED: 100 MPH	1.0
DESIGN WIND SPEED: 100 MPH	1.0
DESIGN WIND SPEED: 100 MPH	115 MPH
DESIGN WIND SPEED: 100 MPH	91 MPH
DESIGN WIND SPEED: 100 MPH	2
DESIGN WIND SPEED: 100 MPH	200 PSF

1/2" = 1'-0" EXTERIOR FOOTING

SITE PLAN
APPROVED July 27, 2021 BY Bill Lownacker

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