

GENERAL PROVISIONS

- THIS DEVELOPMENT IS PROPOSED TO CONTAIN 29.7 ACRES.
- THE PROPOSED DEVELOPMENT CONTAINS NINE (9) PARCELS PERMITTING OFFICE, GOLF COURSE MAINTENANCE AND LIGHT COMMERCIAL USES. FOR SPECIFIC USES, SEE PARCEL DESCRIPTIONS.
- SETBACKS ARE AS INDICATED ON PLAN VIEW OR IN GENERAL ARE AS FOLLOWS:
 PARCEL NO. 1 - VARIES ALONG 21ST STREET. (SEE PLAN)
 25' SETBACK ALONG EAST AND WEST PROPERTY LINES. 20' SETBACK ALONG NORTH PROPERTY LINE.
 PARCEL NO. 2 - 10' ALONG N. S. E. W. PROPERTY LINES.
 PARCEL NO. 3 - 25' ALONG WEST & N.W. PROPERTY LINE.
 70'- 235' ALONG RIDGE ROAD.
 70' ALONG 21ST STREET NORTH.
 30' ALONG ADJACENT PARCELS 4 THRU 9.
 PARCEL NO. 4 - 35' ALONG 21ST ST. NORTH.
 30' ALONG EAST PROPERTY LINE.
 PARCEL NO. 5 - 20' ALONG RIDGE ROAD AND 15' ALONG 21ST STREET NORTH AND 5' ALONG WEST PROPERTY LINE.
 PARCEL NO. 6 - 35' ALONG RIDGE ROAD.
 10' ALONG NORTH PROPERTY LINE.
 30' ALONG SOUTH PROPERTY LINE.
 PARCEL NO. 7 - 35' ALONG RIDGE ROAD.
 10' ALONG SOUTH PROPERTY LINE.
 PARCEL NO. 8 - 35' ALONG RIDGE ROAD.
 15' ADJACENT TO PARCEL NO. 9
 PARCEL NO. 9 - 35' ALONG RIDGE ROAD.
 10' ALONG N.W. PROPERTY LINE
 15' ADJACENT TO PARCEL NO. 8.

A. ON STREETS HAVING A 32' ROW WITH 20' BB PAVEMENT, THERE SHALL BE PLATTED A 15' STREET, DRAINAGE AND UTILITY EASEMENT ON EITHER SIDE OF R.O.W. LINE, WHERE PARKING SHALL BE PERMITTED BUT LANDSCAPING LIMITED TO TURF AND STREET TREES APPROVED BY CITY FORESTER. OFF-STREET PARKING BAYS SHALL BE PERMITTED WHERE APPROVED BY THE TRAFFIC ENGINEER AT TIME OF PLATTING.

B. BUILDING SETBACK LINES FROM ALL EXISTING PIPELINE EASEMENTS SHALL BE ESTABLISHED AT THE TIME OF PLATTING AND ALL PAVING OVER THE EASEMENT SHALL BE WITH THE APPROVAL OF THE AFFECTED PIPELINE COMPANY. ANY CHANGE IN ELEVATION OR RELOCATION OF THE PIPELINE SHALL BE WITHOUT COST TO THE CITY OF WICHITA.

NOTE: IN THE EVENT THAT CONTIGUOUS PARCELS ARE DEVELOPED UNDER THE SAME OWNERSHIP, SETBACK BETWEEN THOSE PARCELS WILL NOT BE REQUIRED.

- ACCESS CONTROL ON 21ST STREET NORTH:
 PARCEL NO. 1 - ONE MAJOR OPENING.
 PARCEL NO. 3 - TWO OPENINGS, ONE MAJOR OPENING AND ONE OPENING PROVIDING ACCESS TO PARCEL NO. 2.
 PARCEL NO. 4 - ONE RIGHT TURN ONLY.
 PARCEL NO. 5 - ONE OPENING ON THE WEST 140'. COMPLETE ACCESS CONTROL ON THE EAST 40'.

- ACCESS CONTROL ON RIDGE ROAD.
 PARCEL NO. 3 - TWO OPENINGS, ONE OPENING TO BE MAJOR (SEE PLAN)
 PARCEL NO. 5 - ONE OPENING. COMPLETE ACCESS CONTROL ON THE SOUTH 40'.
 PARCELS 6, 7 & 8 - ONE OPENING EACH.
 PARCEL NO. 9 - TWO OPENINGS, ONE OPENING TO BE MAJOR ON SOUTH 80'. (SEE PLAN)

C. THERE SHALL BE COMPLETE ACCESS CONTROL ALONG THE WEST LINE OF LOTS 2-5 IN PARCEL 1.

D. THOSE PORTIONS OF THE MAJOR ENTRANCES TO RIDGE AND TO 21ST STREET NORTH, ON PUBLIC R.O.W., SHALL BE GUARANTEED AT THE TIME OF PLATTING. THOSE PORTIONS OF THE MAJOR ENTRANCES ON PRIVATE PROPERTY WILL BE A REQUIREMENT AT THE TIME ANY MAJOR BUILDING PERMIT(S) ARE REQUESTED FOR PARCELS 1, 3 OR 9.

E. INGRESS AND EGRESS TO PARCEL 2 SHALL BE PROVIDED VIA THE 25' ACCESS EASEMENT PROPOSED TO 21ST STREET NORTH.

5. MAJOR STREET IMPROVEMENTS FOR RIDGE ROAD AND 21ST STREET NORTH SHALL BE IN CONFORMANCE WITH THE DETERMINED AGREEMENT BY AND BETWEEN THE OWNER AND THE CITY ENGINEER. SPECIFIC ITEMS AGREED TO ARE AS FOLLOWS:

- AT THE TIME OF PLATTING, THE APPLICANT SHALL GUARANTEE THE RECONSTRUCTION OF THE TRAFFIC MEDIAN ON 21ST STREET NORTH IN ORDER TO PROVIDE A LEFT TURN BAY OR A FIFTH LANE PROVIDING FOR LEFT TURN STORAGE TO SERVE PARCEL 1.
- AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF A TEMPORARY THIRD LANE IN RIDGE ADJACENT TO THIS C.U.P. THE GUARANTEE FOR THE TEMPORARY THIRD LANE SHALL BE HELD BY THE CITY OF WICHITA UNTIL DEVELOPMENT OCCURS. (PARTIAL DEVELOPMENT WOULD NECESSITATE PARTIAL DEVELOPMENT OF THE THIRD LANE.)
- AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF A FIFTH LANE OR CENTER LANE IN 21ST STREET NORTH AND A THIRD LANE OR CENTER LANE IN RIDGE ROAD TO ACCOMMODATE A LEFT TURN LANE TO SERVE THE MAJOR OPENING INTO PARCEL 3 FROM 21ST STREET NORTH AND THE MAJOR OPENINGS INTO PARCELS 3 AND 9 FROM RIDGE ROAD.
- AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF CONTINUOUS DECEL LANES TO SERVE THE OPENINGS INTO PARCELS 3, 4 AND 5 FROM 21ST STREET NORTH INCLUDING THE RIGHT TURN MEDIAN AT THE INTERSECTION OF 21ST STREET NORTH AND RIDGE ROAD, AND TO SERVE THE MAJOR OPENINGS INTO PARCELS 3 AND 9 FROM RIDGE ROAD.

- AN OWNERS ASSOCIATION AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, NON-PUBLIC OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC. SHALL BE FILED WITH THE PLAT OF THE AREA.
- ALL DRIVES AND PARKING AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNERS ASSOCIATION(S).
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.

8. SIGNS AS PERMITTED BY ZONING DISTRICT SHALL BE PERMITTED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 24.04 OF THE CODE OF THE CITY OF WICHITA. EXCEPT FOR OFF-STREET SIGNS SHALL BE PERMITTED. (SEE ADMIN. ADJ. DATED 2-1-91) (SEE ADMIN. ADJ. DATED 5-16-95 FOR PARCEL 4)

9. ALL DRAINAGE WAYS AND DRAINAGE IMPROVEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING. A LOT GRADING PLAN WILL BE PREPARED IN CONFORMANCE WITH THE GENERAL DRAINAGE CONCEPT PLAN FOR REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

10. FINAL DETERMINATION OF STREET RIGHT-OF-WAY AND PAVEMENT WIDTHS SHALL BE RESOLVED AT THE TIME OF PLATTING.

11. PARKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 28.04.140 ET SEQ OF THE CODE OF THE CITY OF WICHITA, UNLESS SPECIFIED IN THE PARCEL DESCRIPTIONS. (SEE ADMIN. ADJ. DATED 4-8-91 FOR LOT 2 ON PARCEL 1)

12. A FIVE (5) TO EIGHT (8) FOOT SOLID OR SEMI-SOLID WALL SHALL BE CONSTRUCTED OF STONE, MASONRY, BRICK, ARCHITECTURAL TILE OR SIMILAR MATERIAL (NOT INCLUDING WOOD OR WOVEN WIRE) ADJACENT TO OR ACROSS THE STREET FROM A RESIDENTIAL DISTRICT IF THE STORAGE AREA, SERVICE AREA, OR REAR OF THE BUILDING FACES THE RESIDENTIAL DISTRICT.

B. THE PLANTING STRIP, AS INDICATED ON THE DRAWING SHALL CONSIST OF TREES, GRASS AND LOW SHRUBBERY NOT LESS THAN TEN FEET IN WIDTH AND SHALL BE OF SUCH TYPE AND MAINTAINED IN SUCH A MANNER AS TO NOT CONSTITUTE A TRAFFIC HAZARD. FAILURE TO PROPERLY MAINTAIN THE PLANTING STRIPS SHALL BE CONSIDERED A VIOLATION OF THE C.U.P., AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND THE SUPERINTENDENT OF CENTRAL INSPECTION.

C. THE WALL REQUIREMENT ALONG THE WEST BOUNDARIES OF PARCELS 3 AND 9 AND THE NORTH BOUNDARIES OF PARCELS 1 AND 2 ADJACENT TO THE GOLF COURSE SHALL BE WAIVED UNLESS THE STORAGE AREA, SERVICE AREA OR REAR OF THE BUILDING(S) FACE DIRECTLY ONTO THE RESIDENTIAL DISTRICT.

D. ALL WALLS SHALL BE CONSTRUCTED WITHIN A PLATTED FIVE(5) FOOT WALL EASEMENT. CONSTRUCTION OF WALL SHALL BE PERMITTED ACROSS UTILITY EASEMENTS IF COLUMN FOOTINGS ARE USED.

E. THE WALL INDICATED ALONG THE SOUTH AND WEST PROPERTY LINES OF PARCEL 1 CAN BE SUBSTITUTED WITH A 10' LANDSCAPE BUFFER AS DESCRIBED IN 12-B ABOVE AT THE OWNER'S OPTION.

- A LANDSCAPE PLAN, PREPARED BY A LANDSCAPE ARCHITECT, FOR THE LANDSCAPE BUFFERS ALONG 21ST STREET NORTH, AND RIDGE ROAD INDICATING THE LOCATION, TYPE AND SPECIFICATIONS OF PLANT MATERIAL AND METHOD OF PROVIDING WATER SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF BUILDING PERMIT(S) ON PARCEL INVOLVED. A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED IN THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN PLANTED.
- A. FIRE LANES SHALL BE IN ACCORDANCE WITH THE FIRE CODE OF THE CITY OF WICHITA. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANES, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING.

B. DURING THE BUILDING PERMIT REVIEW, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE SHALL APPROVE THE SITE PLAN REGARDING THE DESIGN OF THE FIRE LANE PRIOR TO ISSUANCE OF A BUILDING PERMIT.

C. FIRE HYDRANT INSTALLATION AND PAVED ACCESS TO ALL BUILDING SITES SHALL BE PROVIDED FOR EACH PHASE OF CONSTRUCTION PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

15. SHOULD AN ALTERNATE LAND USE, PERMITTED UNDER PARCEL DESCRIPTIONS BELOW BE DEVELOPED INSTEAD OF THE PARCEL PLAN AS ILLUSTRATED, A CONCEPTUAL SITE PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE DIRECTOR OF PLANNING. THE APPROVAL OF THIS CONCEPTUAL PLAN SHALL BE SUBJECT TO THE CONDITIONS OF PLATTING.

16. THE TRANSFER OF TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE C.U.P. DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR COMMERCIAL DEVELOPMENT AND BE BINDING ON THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.

17. TRASH RECEPTACLES SHALL BE APPROPRIATELY SCREENED TO REASONABLY HIDE THEM FROM GROUND VIEW.

18. ACCEL/DECEL LANES ALONG THE SOUTH AND EAST LINES OF THIS C.U.P. SHALL BE GUARANTEED AT THE TIME OF PLATTING, IF APPLICABLE.

19. PARCEL DESCRIPTIONS:

PARCEL NUMBER 1:
 PROPOSED USES: OFFICES, MEDICAL AND DENTAL OFFICES OR CLINICS OR APARTMENTS.

GROSS AREA - 11.949 ACRES (520,498 SQ. FT.)
 NON-RESIDENTIAL USES:
 MAXIMUM BUILDING COVERAGE - 156,149 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 185,000 SQ. FT.
 FLOOR AREA RATIO - 0.355

RESIDENTIAL USES:
 MAXIMUM NUMBER OF UNITS - 228
 MAXIMUM DENSITY - 20 DU/ACRE
 MAXIMUM BUILDING HEIGHT - 45'

PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11 AND 1.5 SPACES/DU FOR APARTMENT USES.

SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

PARCEL NUMBER 2:
 PROPOSED USES: GOLF COURSE MAINTENANCE FACILITY

GROSS AREA - 1.148 ACRES (50,007 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 15,002 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 18,500 SQ. FT.
 FLOOR AREA RATIO - 0.370

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11

SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

PARCEL NUMBER 3: see AA dated 9-8-98
 PROPOSED USES: NEIGHBORHOOD SHOPPING CENTER USES INCLUDING GROCERY, FURNITURE, THEATERS, RESTAURANTS, RETAIL SHOPS, FAST FOOD OFFICES, MEDICAL AND DENTAL CLINICS, CLOTHING STORES, PHARMACIES, DRY CLEANING, LAUNDRY, BARBER SHOPS, BEAUTY SHOPS, TAILORS, STUDIOS, SHOE STORES, HARDWARE AND APPLIANCE STORES, FITNESS CENTERS.

GROSS AREA - 10.1(439,958 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 131,987 SQ. FT. (30% MAXIMUM)
 MAXIMUM GROSS FLOOR AREA - 180,354 SQ. FT.
 FLOOR AREA RATIO - 0.385

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 2
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11

SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

PARCEL NUMBER 4:
 PROPOSED USES: SAME AS PARCEL NO. 3. AND BANNER BANKS BY DRIVE-UP FACILITIES (SEE ADMIN. ADJ. DATED 4-27-94)

GROSS AREA - 0.74 ACRES (32,409 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 9,723 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 9,720 SQ. FT. (30% MAX.)
 FLOOR AREA RATIO - 0.385

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.

SETBACK - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

PARCEL NUMBER 5:
 PROPOSED USES: CONVENIENCE STORES, RESTAURANTS, FAST FOOD, SERVICE STATIONS WITH CAR WASH AS ACCESSORY USE WITH BZA APPROVAL, RETAIL SHOPS, BANKS AND FINANCIAL INSTITUTIONS.
 GROSS AREA - 0.744 ACRES (32,409 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 9,723 SQ. FT. (30% MAXIMUM)
 MAXIMUM GROSS FLOOR AREA - 11,500 SQ. FT.
 FLOOR AREA RATIO - 0.385
 MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11
 SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

IF A SERVICE STATION WITH A BZA APPROVED CAR WASH IS CONSTRUCTED, ACCESSORY USE STRUCTURES INCLUDING A CAR WASH AND A CANOPY SHALL BE PERMITTED.

PARCEL NUMBER 6:
 PROPOSED USES: SAME AS PARCEL NUMBER 3.

GROSS AREA - 0.82 ACRES (35,888 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 10,800 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 13,099 SQ. FT.
 FLOOR AREA RATIO - 0.385

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.

SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

PARCEL NUMBER 7:
 PROPOSED USES: SAME AS PARCEL NUMBER 3.

GROSS AREA - 0.83 ACRES (36,000 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 10,800 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 13,140 SQ. FT.
 FLOOR AREA RATIO - 0.385

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.

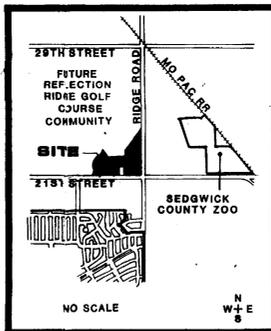
SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

PARCEL NUMBER 8:
 PROPOSED USES: SAME AS PARCEL NUMBER 3. Bank and Financial Institution (AA approved 11/20/08)

GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 FLOOR AREA RATIO - 0.380

MAXIMUM BUILDING HEIGHT - 35'
 MAXIMUM NUMBER OF BUILDINGS - 1
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.

SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.



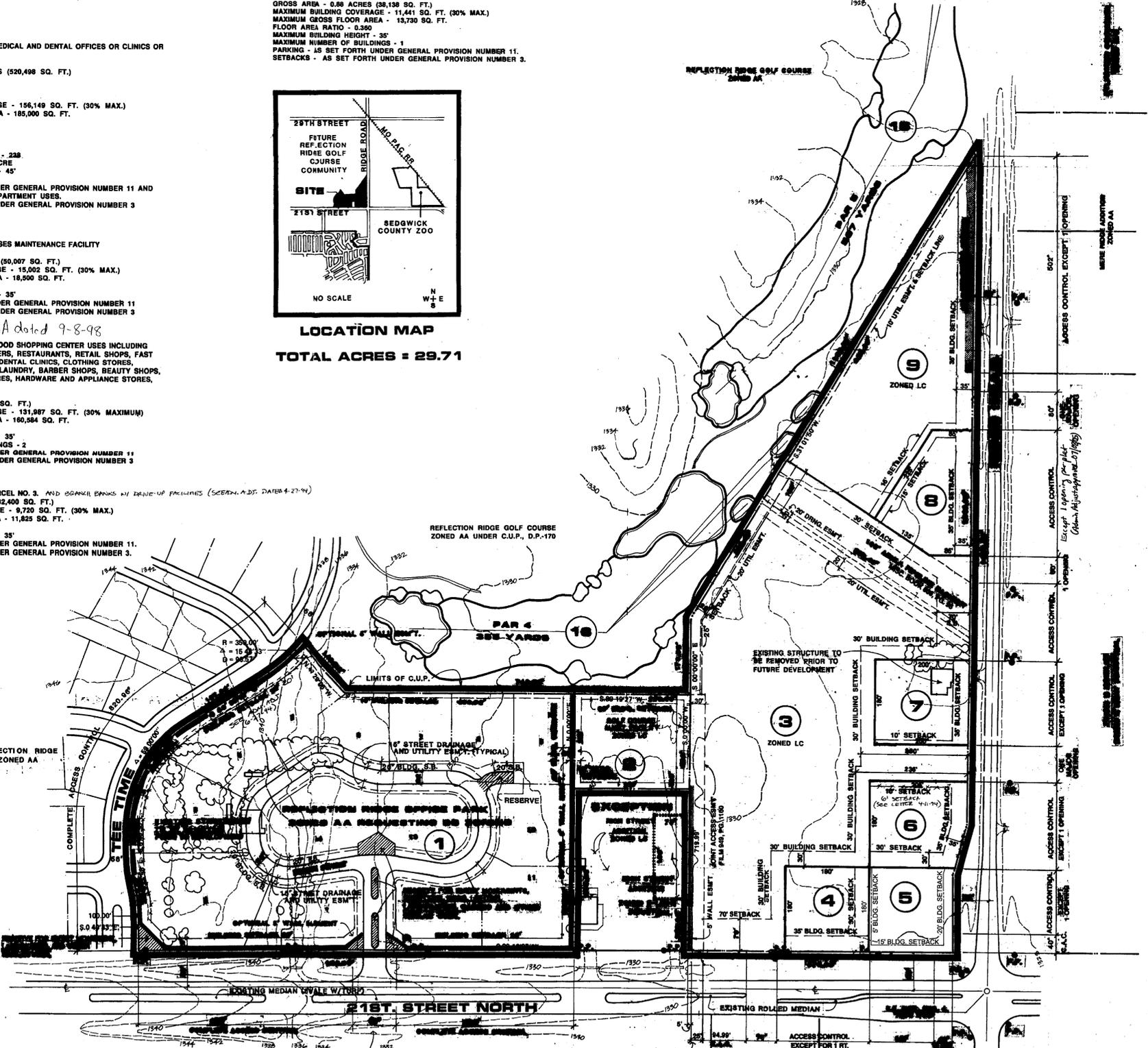
PARCEL NUMBER 9:
 PROPOSED USES: ALL USES IN PARCEL 3 AND MOTELS AND APARTMENTS
 GROSS AREA - 2.5 ACRES (108,900 SQ. FT.)
 NON RESIDENTIAL USES:
 MAXIMUM BUILDING COVERAGE - 32,676 SQ. FT. (30% MAXIMUM)
 MAXIMUM GROSS FLOOR AREA - 38,622 SQ. FT.
 FLOOR AREA RATIO - 0.355

ALL USES:
 MAXIMUM BUILDING HEIGHT - 35'
 PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11
 SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

RESIDENTIAL USES:
 MAXIMUM NUMBER OF UNITS - 50
 MAXIMUM DENSITY - 20 DU/ACRE

20. THE EXISTING HOUSE ON RIDGE ROAD SHALL BE ALLOWED TO REMAIN UNTIL FUTURE DEVELOPMENT OF THAT PARCEL OCCURS. THE INTERIM PERMITTED USES FOR THIS STRUCTURE SHALL INCLUDE SALES AND MARKETING OFFICES, AND CONSTRUCTION OFFICE.

21. ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.



For Admin Adj CUP2016-47 flm

APPROVED CUP
 7-9-87 flm
 BOLL 9-29-87 flm
 MAPD Copy 1/84



COMMERCIAL COMMUNITY UNIT PLAN UNDER REFLECTION RIDGE COMM. C.U.P., D.P.-171 (REVISED MAY 17, 1990)

REFLECTION RIDGE

OWNER: REFLECTION RIDGE INC. 7926 W. 21ST STREET WICHITA, KS 67212 316-721-2153

DP-171
 REFLECTION RIDGE
 COMMERCIAL C.U.P.
 APPROVED CUP
 MAPD 7-9-87
 BCC APPD 9-29-87
 MAPD Copy 1/84



21st ST N

Plant List

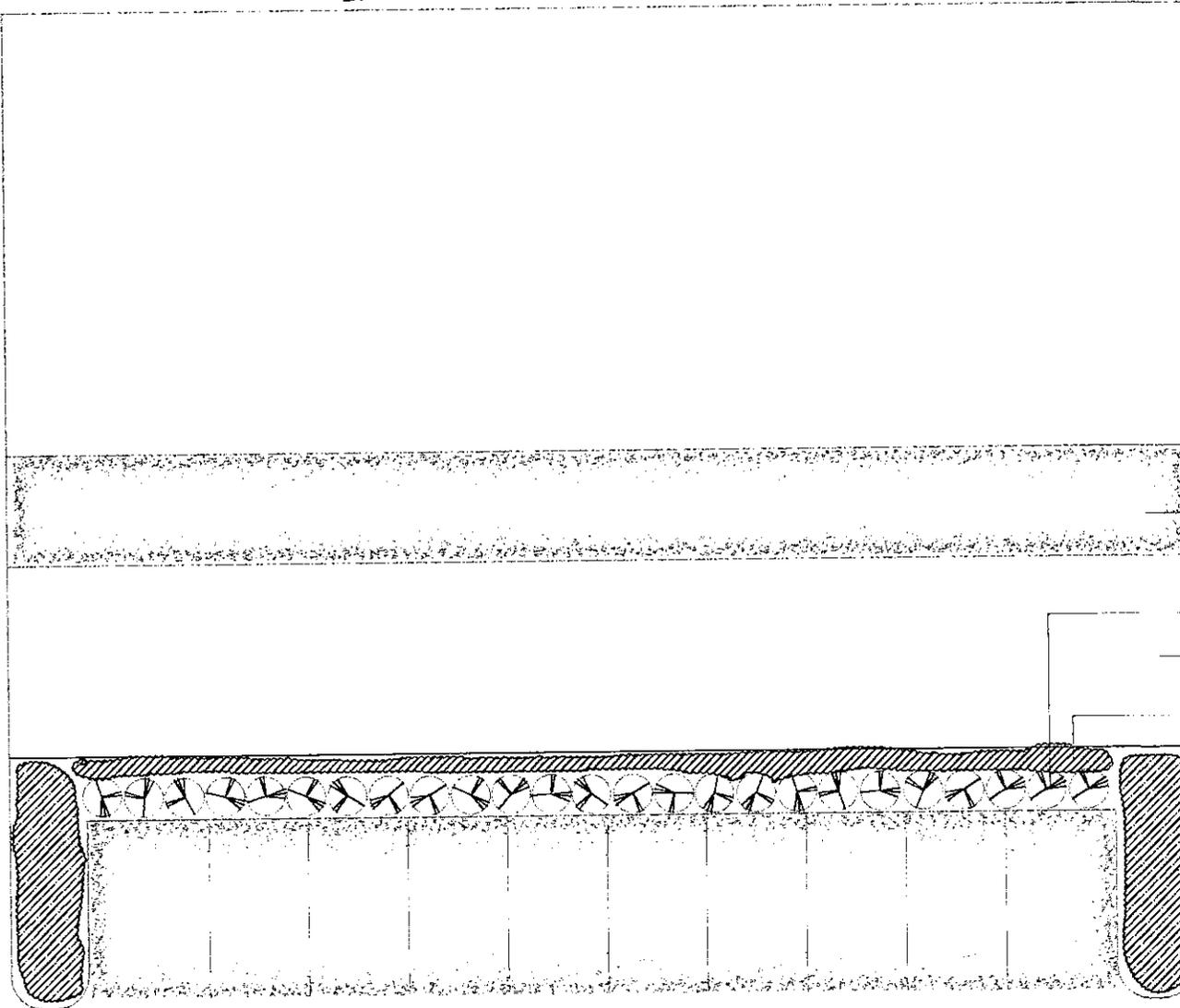
25 Pyracantha Pyracantha Coccinea Gnome 5g.

DP-171 ADDENDUM TO PLAN
APPROVED 04/23/99 - PARCEL 3

LANDSCAPE PLAN

APPROVED 05/31/04 BY DG

MADD Copy 1 of 2



Sidewalk

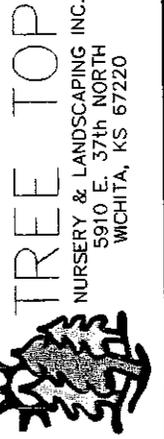
Gnome Pyracantha

Turf

Transplanted Broadmoor Jun.

Ex. Shrubs

SCALE: 1" = 16'

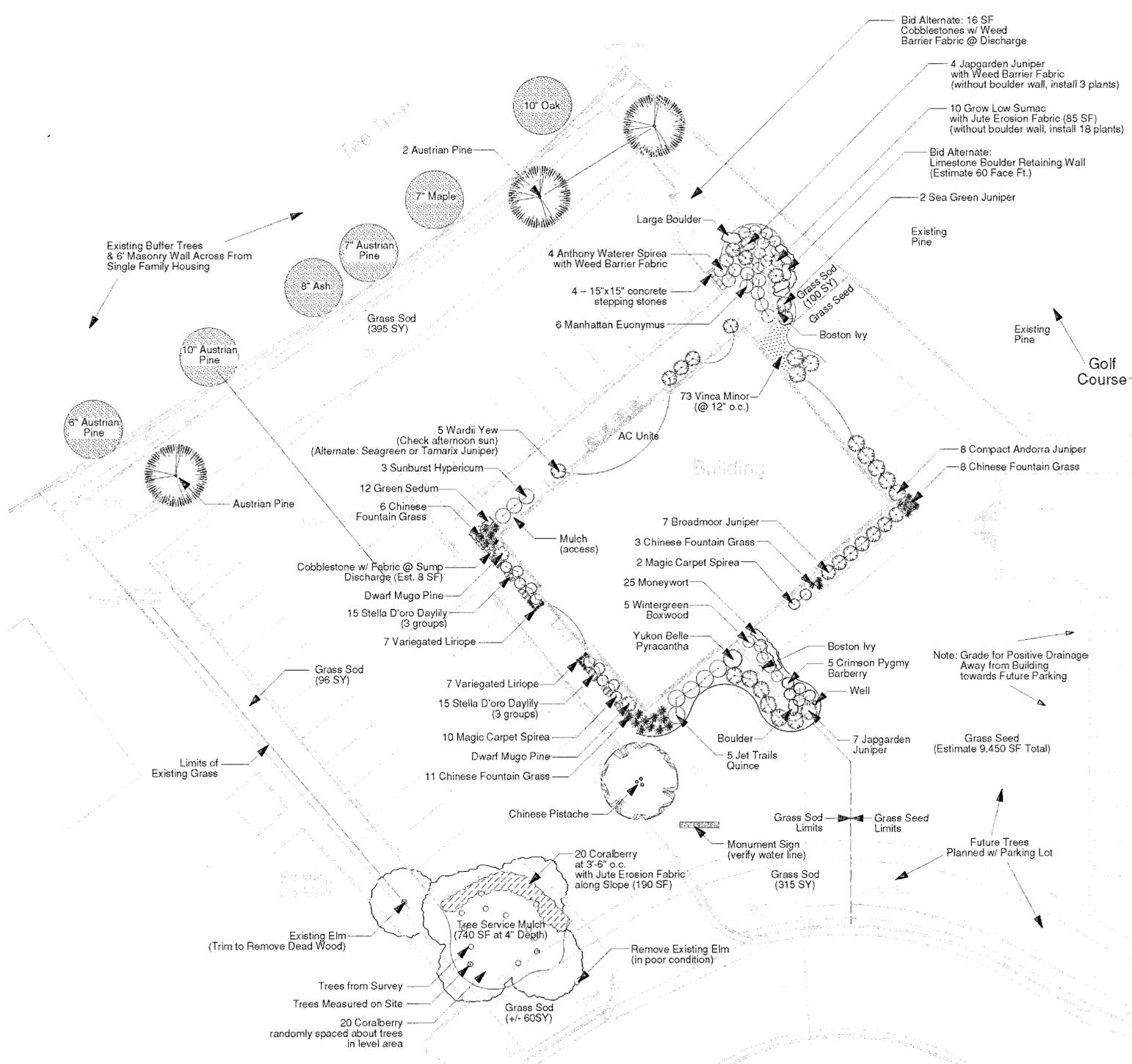


A LANDSCAPE PLAN FOR:

Reflection Ridge Plaza

21st and Ridge

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN



| Plant Schedule | | | | |
|---|--|---|----------------|------------------|
| Quantity | Common Name | Botanical Name | Size | Specification |
| TREES | | | | |
| 3 | Austrian Pine | <i>Pinus nigra var. nigra</i> | 7'-8' height | B&B |
| 1 | Chinese Pistache | <i>Pistacia chinensis</i> | 2'-2 1/2' Cal | B&B |
| 4 | Total Trees | | | |
| SHRUBS | | | | |
| 5 | Crimson Pygmy Barberry | <i>Berberis thunbergii 'Crimson Pygmy'</i> | 2 gallon | Container |
| 5 | Wintergreen Boxwood | <i>Buxus microphylla 'Wintergreen'</i> | 15'-18" height | B&B or Container |
| 5 | 'Jet Trails' Flowering Quince | <i>Chaenomeles speciosa 'Jet Trails'</i> | 2 gallon | Container |
| 6 | Manhattan Euonymus | <i>Euonymus kiautschovicus 'Manhattan'</i> | 5 gallon | Container |
| 3 | Sunburst Hypericum | <i>Hypericum frondsom 'Sunburst'</i> | 2 gallon | Container |
| 2 | Sea Green Juniper | <i>Juniperus chinensis 'Sea Green'</i> | 5 gallon | Container |
| 8 | Compact Andorra Juniper | <i>Juniperus horizontalis 'Compact Andorra'</i> | 2 gallon | Container |
| 4 | Japarden Juniper | <i>Juniperus procumbens</i> | 2 gallon | Container |
| 7 | Broadmoor Juniper | <i>Juniperus sabina 'Broadmoor'</i> | 2 gallon | Container |
| 2 | Dwarf Mugo Pine | <i>Pinus mugo var. mugo 'Pumilo'</i> | 15'-18" spread | B&B or Container |
| 1 | Yukon Belle Pyracantha | <i>Pyracantha argusifolia 'Yukon Belle'</i> | 5 gallon | Container |
| 10 | Gro-low Sumac | <i>Rhus aromatica 'Gro-low'</i> | 2 gallon | Container |
| 12 | 'Magic Carpet' Spirea | <i>Spiraea japonica 'Magic Carpet'</i> | 2 gallon | Container |
| 4 | Anthony Waterer Spirea | <i>Spiraea x bumalda 'Anthony Waterer'</i> | 2 gallon | Container |
| 40 | Coral Berry | <i>Symphoricarpos orbiculatus</i> | 1 gallon | Container |
| 5 | Wardii Yew | <i>Taxus x media 'Wardii'</i> | 15'-18" spread | B&B or Container |
| 119 | Total Shrubs | | | |
| GROUNDCOVERS, VINES & PERENNIALS | | | | |
| 30 | Stella d'Oro Daylily | <i>Hemerocallis sp. 'Stella d'Oro'</i> | 1 gallon | Container |
| 14 | Variagated Liriope | <i>Liriope muscari 'Variegata'</i> | 1 gallon | Container |
| 25 | Moneywort (Green) | <i>Lysimachia nummularia</i> | 1 gallon | Container |
| 2 | Boston Ivy | <i>Parietocissus tricuspidata</i> | 1 gallon | Container |
| 12 | Green Sedum | <i>Sedum kamtschaticum</i> | 4" pot | Container |
| 73 | Vinca Minor | <i>Vinca minor</i> | 4" pot | 12" o.c. |
| 156 | Total Groundcovers, Vines & Perennials | | | |
| ORNAMENTAL GRASSES | | | | |
| 28 | Chinese Fountain Grass | <i>Pennisetum alopecuroides</i> | 1 gallon | Container |
| 28 | Total Ornamental Grasses | | | |

Note: In case of a discrepancy between the Plant Schedule and the Plans, the Plans shall govern.

Planting Specifications

- General**
- The Landscape Contractor shall provide all plants, materials, labor and equipment to complete the installation of trees, planting beds, and installation of lawn areas according to these specifications and the landscape plan. The Landscape Contractor shall be responsible for repair to disturbed areas.
 - Rough grading shall be by the General Contractor. The Landscape Contractor shall be responsible for finished grading prior to grass installation and planting operations.
 - Prior to landscape work, flag all underground utilities by calling Kansas One-Call (Phone: 1-800-344-7233).
 - Notify the Owner of variances between the plan and site conditions which affect planting operations.
 - Prior to the start of fine grading, if season permits, the Landscape Contractor shall spray to kill weeds and grass in planting bed and lawn areas. Use Round-up or similar chemical in as many applications as required for complete kill.
 - The Landscape Contractor shall be responsible to coordinate landscape work with work of the Irrigation Contractor and other Contractors affected by landscape work.

Materials and Installation Requirements

Materials shall be approved by the Owner before start of work. Materials and grass may be rejected at any time during the installation.

Topsoil shall be provided by the Landscape Contractor as required for finished grading. This is intended only for low areas of the rough grade or for planting beds and not the entire site.

Plant Materials shall meet current American National Standards Institute standards and exhibit a vigorous and healthy condition.

Grass seed or sod for disturbed areas to be an approved fine-bladed fescue blend. Provide estimates for sod as directed by Owner.

Mulch to be premium grade cypress or recycled hardwood mulch. Bed areas to be 2 1/2" - 3" deep. Prior to the mulch installation, rake smooth the ground surface. Provide bid alternate for cedar mulch. Mulch below existing trees, and for sumac at north retaining wall, to be a tree service type coarse bulk mulch.

Landscape Edge to be Ryerson Steel Edge (1/8" x 4" x 16") or equal product to form a smooth curved or straight line as shown on the plan. Unless noted otherwise, all bed areas on the plan shall be outlined with landscape edge. The installation of edging and planting work shall not block the natural drainage of water. Stake as recommended by Manufacturer.

Soil Amendments Use 4 parts soil from excavation to 1 part "Back to Earth" cotton bur compost for planting backfill.

Fertilizer for planting backfill to be Milorganite (6-2-0) or other approved product installed per Manufacturer's instructions.

Pre-emergent weed control such as Dacthal, Treflan or approved similar product shall be installed per Manufacturer's instruction in all beds except tree wells. Do not apply in tree wells of individual trees in grass areas.

Tree Wrap shall be 4" Forces wrap or other approved product (i.e. DeWitt Tree Wrap). Securely wrap from ground level to second level of branches on the trunk. Use of wrap is at the Landscape Contractor's discretion.

Landscape Ordinance Notes

- Legal Description:** Lots 5 and 6 Block 2 Reflection Ridge Commercial Addition to Wichita, Sedgwick County, Kansas.
- Required Landscape:** As required by CUP and Administrative Adjustments.
- Planned Landscape:** Required landscape buffer and screen wall exist along Tee Time street. Existing trees have been saved at west side of entry drive. New plantings about building and parking are for ornamental and functional value.
- Watering:** Watering for installation purposes shall be provided by hose bibs at the buildings. New Lawn and Landscape areas are to be routinely watered by an underground irrigation system equipped with a rain sensing device.

Note:
Total sod area is about 966 SY with no waste allowance.

DP-171 PORTION OF PARCEL 1
LANDSCAPE PLAN
APPROVED 12/20/01 BY D6
MAPD Copy 1 of 2
Building 1020, 7570 West 21st, Wichita, KS

LANDSCAPE ARCHITECTS PLANNERS

rice-foster associates

J. Michael Rice, AIA
David W. Foster, ASLA
Debra J. Foster
John Long
Cheryl Cammichael

project 01061
date 18 Dec. 2001
drawn by DWF
DJF
revisions JL

scale 1/16" = 1'-0"
sheet 1 of 1

This document is an instrument of service produced solely for the client and project listed. Its use, in whole or in part, for any other purpose is prohibited without the express written consent of rice-foster associates, p.a. All Rights Reserved. © rice-foster associates, p.a.

RATZLAFF DENTAL

RIDGE ROAD

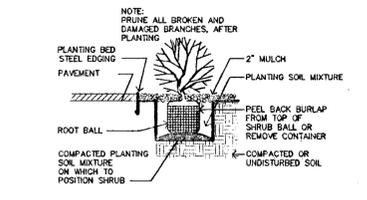
PLANT LIST

| QTY | COMMON NAME | BOTANICAL NAME | SIZE | CONDITION |
|---------------|--------------------|--------------------------------------|-------------------|-----------|
| 1 | AUTUMN PURPLE ASH | <i>Fraxinus americana</i> | 2" to 2 1/2" cal. | BB |
| 5 | AUTUMN BLAZE MAPLE | <i>Acer Rubrum 'Autumn Blaze'</i> | 2" to 2 1/2" cal. | BB |
| 6 | URBANITE ASH | <i>Fraxinus pennsylvanica</i> | 2" to 2 1/2" cal. | BB |
| SHRUBS | | | | |
| 12 | FROBEL SPIREA | <i>Spiraea bunalsidei 'Frobelii'</i> | 2 gal. | Container |
| 14 | SNOWMOUND SPIREA | <i>Spiraea japonica 'Snowmound'</i> | 2 gal. | Container |
| 8 | GOLDEN PRIVET | <i>Ligustrum x vicaryi</i> | 2 gal. | Container |

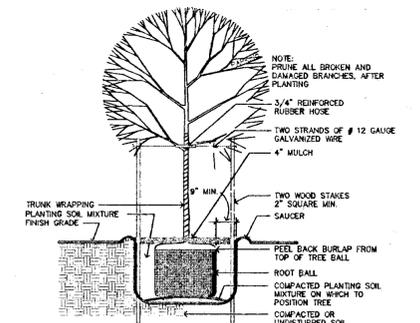
LANDSCAPE NOTES:

- ALL WORK SHALL BE DONE AS PER THE CITY OF WICHITA LANDSCAPE SPECIFICATIONS AND LOCAL NURSERY STANDARDS.
- ALL TREES WITH BROKEN LEADERS WILL NOT BE ACCEPTED. ALL LANDSCAPING TO BE INSPECTED BY THE PROJECT MANAGER UPON DELIVERY.
- TOPSOIL HAULED ONTO SITE SHALL BE FERTILE, FINE, NATURAL SANDY LOAM TOPSOIL OF UNIFORM QUALITY CHARACTERISTIC OF REPRESENTATIVE LOCAL SOILS WHICH PRODUCE HEAVY GROWTH OF GRASS, GRASS OR OTHER VEGETATION. IT SHALL BE FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, ROOTS, STONES, TRASH OR OTHER MATTER TOXIC TO PLANT GROWTH. TOPSOIL SHALL BE DELIVERED IN AN UNFROZEN AND NOT MUDDY CONDITION AND SHALL BE SUBJECT TO APPROVAL BY THE PROJECT MANAGER.
- PLASTIC EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING SHALL BE CORRA COMMERCIAL GRADE OR AN APPROVED EQUAL.
- ALL PLANTING BEDS FOR SHRUBS SHALL HAVE THE EXISTING SOIL REMOVED AND REPLACED 18" IN DEPTH WITH THE APPROVED TOPSOIL.
- CONTRACTOR SHALL INSTALL DEWET WEED BARRIER FABRIC OR APPROVED EQUAL IN ALL PLANTING BEDS PRIOR TO MULCHING.
- INSTALL 2" DEPTH OF MULCH IN ALL SHRUB PLANTING BEDS AND 4" DEPTH OF MULCH IN ALL TREE PLANTINGS. MULCH SHALL BE SHADDED CROSS MULCH.
- ALL AREAS MARKED AS TURF SHALL BE A FESCUE BLEND, SEED OR SOD.
- CONTRACTOR SHALL LOCATE ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION BY CALLING KANSAS ONE-CALL @ 888-2425. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED AND IS TO SEE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A BID WITH UNIT PRICES FOR ALL PLANTS WHICH INCLUDE MARCH, INSTALLATION, STAKING, AND GUARANTEES.
- IRRIGATION OF PROPOSED SHRUBS AND TREES AND TURF SHALL BE ACCOMPLISHED BY AN AUTOMATIC IRRIGATION SYSTEM.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE PROJECT MANAGER PRIOR TO THE START OF ANY CONSTRUCTION.

NEW PARKING STALLS WITH SIGN
8 SHADE TREES REQUIRED
20 SHADE TREES REQUIRED AS PER LANDSCAPE YARD OR SHRUBS 12" SPACING



2 SHRUB PLANTING DETAIL
NOT TO SCALE



1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

DP-171
PORTION OF PARCEL 3
LANDSCAPE PLAN
APPROVED 4/30/17 BY *[Signature]*

SRB

SCALE
1" = 30'

NOTE: Curb dimensions are to the face of curb.

**SITE LAYOUT AND LANDSCAPE PLAN - PHASE I
REFLECTION RIDGE COMMERCIAL
2ND ADDITION, WICHITA, KANSAS**

SRB 824 NORTH MAIN WICHITA, KANSAS 67203 316-264-8008 FAX 264-4621
http://www.srb.com/srb E-mail: srb@srbl.com

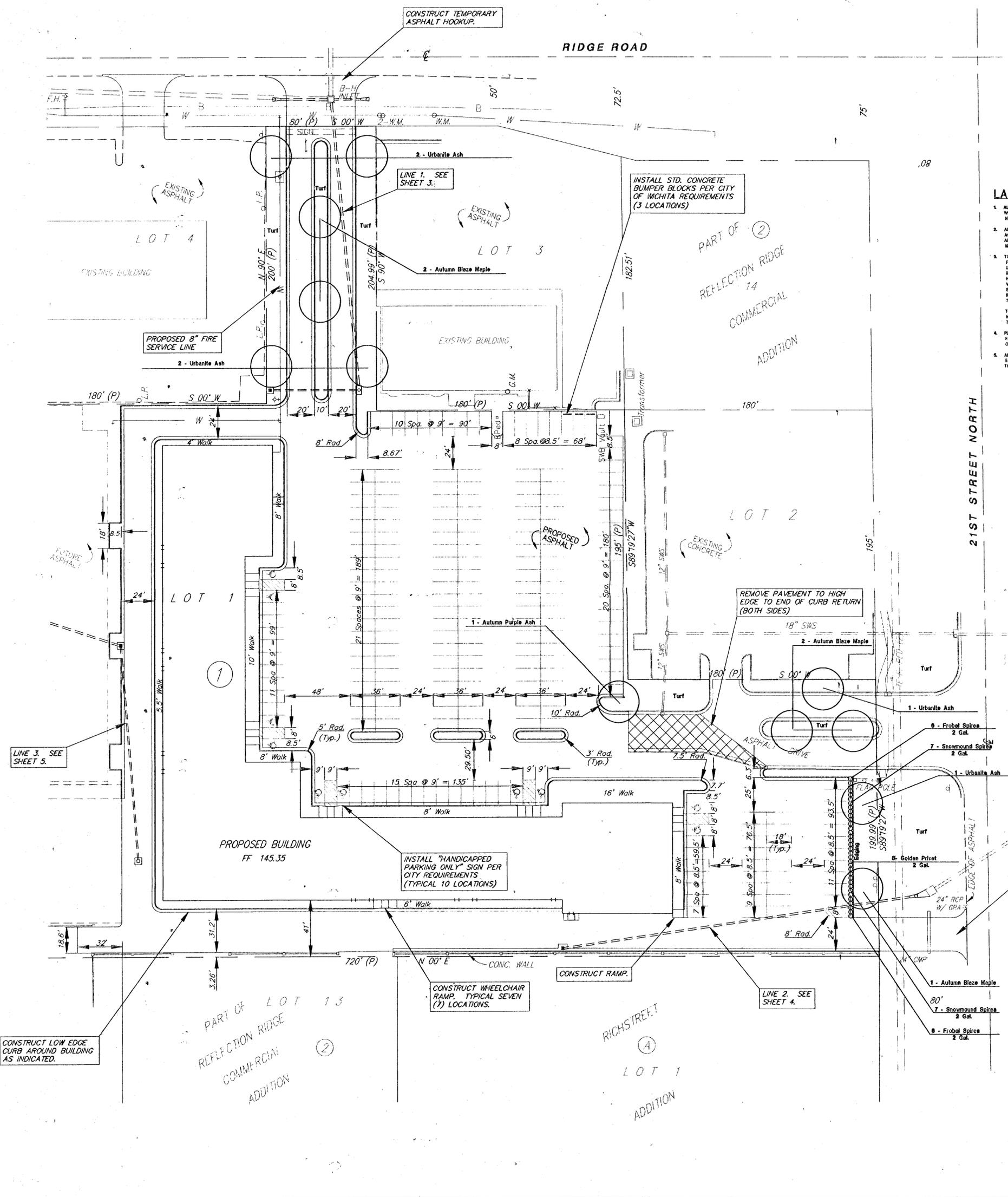
**SAVOY, RUGGLES & BOHM, P.A.
ENGINEERING & SURVEYING**

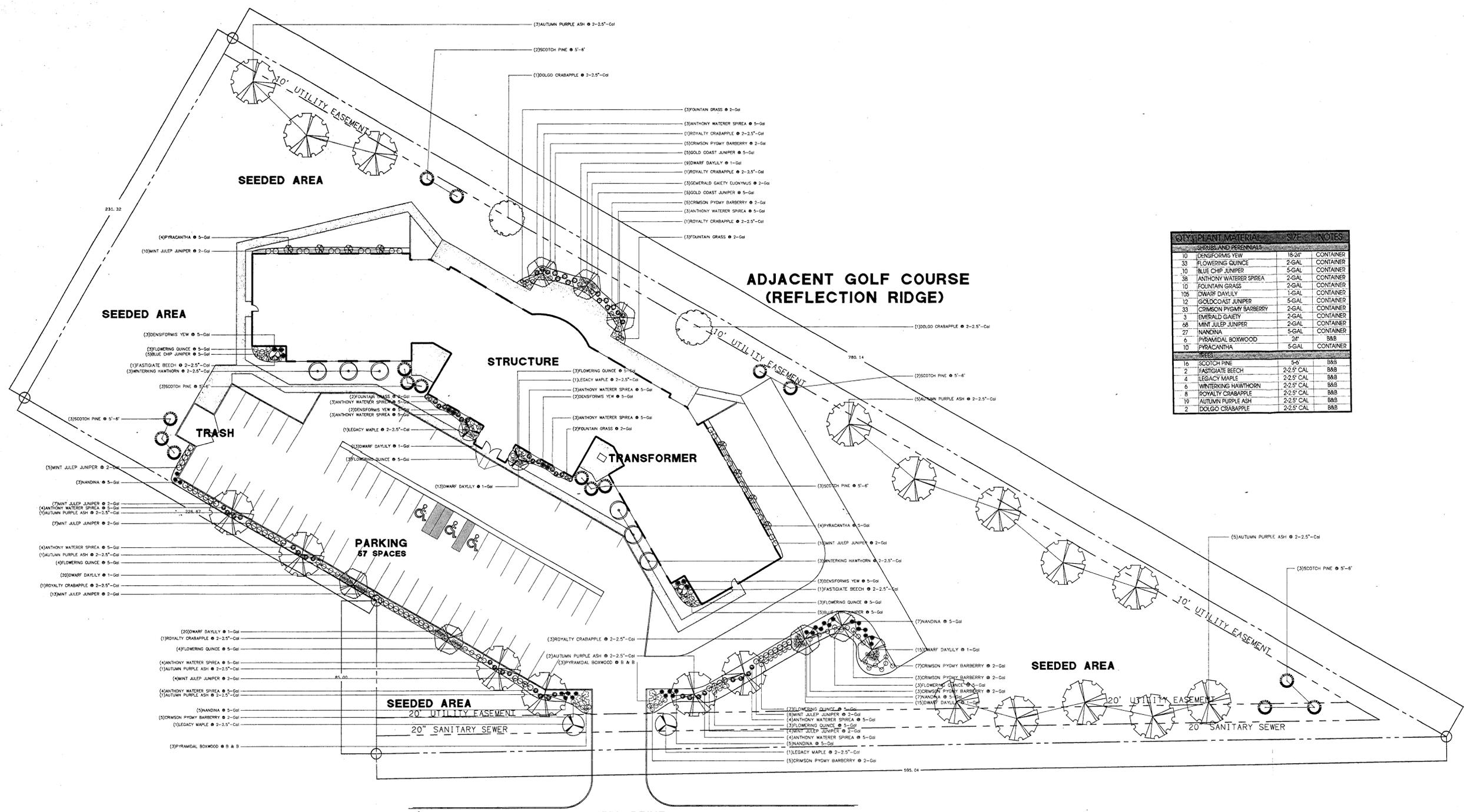
PROJECT NUMBER

| | | | | | |
|--------|-------|---------|--------|---------------|---------|
| DESIGN | DRAWN | UTILITY | REVIEW | DATE | REVISED |
| KW/TCR | KWL | | | Mar. 27, 1997 | |

SHEET 2 OF 10

21ST STREET NORTH





| QTY PLANT MATERIAL | | |
|-----------------------|------------------------|------------------|
| SHRUBS AND PERENNIALS | SIZE | NOTES |
| 10 | DENSIFORMIS YEW | 18-24" CONTAINER |
| 33 | FLOWERING QUINCE | 2-GAL CONTAINER |
| 10 | BLUE CHIP JUNIPER | 5-GAL CONTAINER |
| 38 | ANTHONY WATERER SPIREA | 2-GAL CONTAINER |
| 10 | FOUNTAIN GRASS | 2-GAL CONTAINER |
| 105 | DWARF DAYLILY | 1-GAL CONTAINER |
| 12 | GOLD COAST JUNIPER | 5-GAL CONTAINER |
| 33 | CRIMSON PYGMY BARBERRY | 2-GAL CONTAINER |
| 3 | EMERALD GAJET | 2-GAL CONTAINER |
| 68 | MINT JULEP JUNIPER | 2-GAL CONTAINER |
| 27 | NANDINA | 5-GAL CONTAINER |
| 6 | PYRAMIDAL BOXWOOD | 2" |
| 10 | HYDRANTHUS | 5-GAL CONTAINER |
| TREES | | |
| 16 | SCOTCH PINE | 5-6" B&B |
| 2 | FASTIGIATE BEECH | 2-2.5" CAL B&B |
| 4 | LEGACY MAPLE | 2-2.5" CAL B&B |
| 6 | WINTERKING HAWTHORN | 2-2.5" CAL B&B |
| 8 | ROYALTY CRABAPPLE | 2-2.5" CAL B&B |
| 19 | AUTUMN PURPLE ASH | 2-2.5" CAL B&B |
| 2 | DOLGO CRABAPPLE | 2-2.5" CAL B&B |

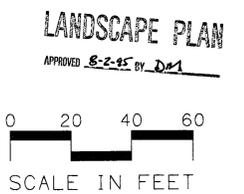
LEGAL DESCRIPTION
 LOT 6, BLOCK 1, REFLECTION RIDGE COMMERCIAL 2nd ADDITION, WICHITA, SEDGWICK CO., KANSAS

SITE AREA
 144, 676.32 S. F. = 3.32 ACRES

IRRIGATION
 IRRIGATION FOR ALL PLANTINGS AND SEEDED AREAS WILL BE PROVIDED BY AN AUTOMATED IRRIGATION SYSTEM WITH A MOISTURE SENSING DEVICE

SEEDED AREA
 44, 500 S. F.

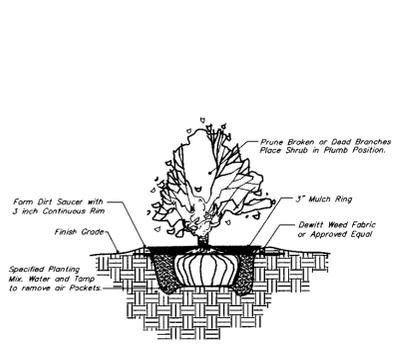
LANDSCAPING
 6, 029 SQ. FT. OF STREET YARD LANDSCAPING REQUIRED
 4, 872 SQ. FT. OF STREET YARD LANDSCAPING PROVIDED PLUS AN ADDITIONAL 44, 500 S. F. OF SEEDING



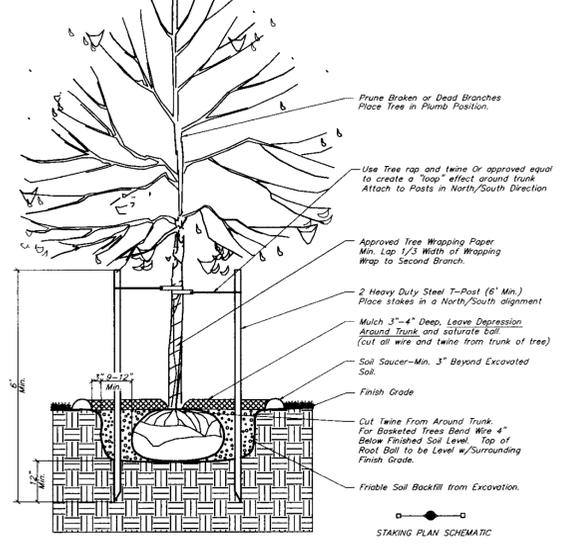
DP-171
 PARCEL 9

LANDSCAPE PLAN

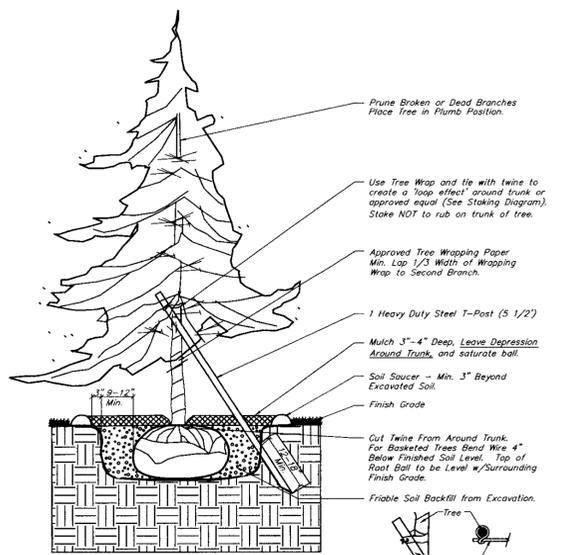
A LANDSCAPE PLAN FOR:
THE INN AT REFLECTION RIDGE
 WICHITA, KS
 NORTH RIDGE ROAD



TYPICAL SHRUB PLANTING DETAIL
5 Gallon and Smaller
No Scale



TREE PLANTING & STAKING DETAIL
Deciduous Trees Larger than 2" Cal.
Evergreen Trees Larger than 6' Height
No Scale



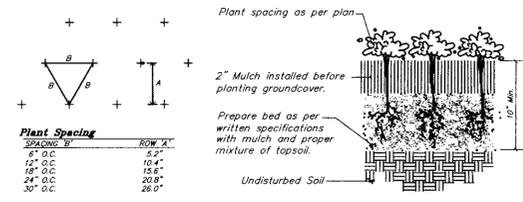
TREE PLANTING & STAKING DETAIL
Deciduous Trees 2" Cal. and Smaller
Evergreen Trees 6' Height and Smaller
No Scale

GENERAL LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- Landscape Contractor shall provide all labor, materials and service necessary to furnish and install the landscape as specified herein and shown on the plans.
- Contact Landscape Architect 24 hours prior to installation for approval of bed layouts and staked plant material locations.
- All areas disturbed by excavation & shown on the plan as "Sod" shall be sodded and fertilized as follows:
SOD--
Kansas Premium Fescue Sod
(equal parts of the top fescue brands for 2004)
FERTILIZER--
16-20-6 ratio 4#/1000 sq. ft.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Treflan (50) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled in to a depth of 10-12".
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, non-muddy, unfrozen, of uniform quality characteristic and representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash and other matter toxic to plant growth. Topsoil pH range shall be 5.5 to 7.0.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect prior to starting construction. Quantities in the plant schedule are for information only. Contractor to verify. All plant locations are approximate, adjust as necessary to avoid conflicts.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- All plant material shall be well-formed and developed in good condition, healthy and be typical of the species. Plants shall comply in all applicable respects with acceptable standards as set forth in the American Association of Nurserymen's "American Standard of Nursery Stock."
- Trees with broken leaders or no central leader will not be accepted.
- All plant materials shall be protected from drying action of the sun and wind after being dug, while being transported, and while awaiting planting. Balls of plants which cannot be planted immediately shall be protected from drying action by covering them with moist mulch. If planting should occur during growing season, apply anti-desiccant to leaves before transport to reduce likelihood of windburn. Reapply anti-desiccant after planting to reduce transpiration.
- Mulch all planting beds with 3" - 4" of mulch. Mulch all tree saucer wells with 4" of mulch. Mulch material to be shredded cedar (Grade A) mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be from Pro-Steel Company, using 10 gauge thickness, commercial grade, or approved equal. Edging shall be placed in smooth curving shapes where shown on plan without kinks or twists. Install as per manufacturers recommendations.
- The landscape contractor shall submit bid with unit prices for all plants, which include mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The landscape contractor is responsible for any damage done to the exterior of the building or any other part of the building when installing or maintaining the plantings before final acceptance.
- Substitution of plant species types for those listed in the plant schedule is not permissible unless approved by the landscape architect and/or owner. Any substitution which has not been approved shall be removed immediately and replaced with the correct plant.
- General Contractor to supply all topsoil to site and to leave site with approx. 8 inches of good friable topsoil. Leave all planting beds 3-inches & sod areas 1/2-inch below finish grade.
- Remove all rubbish, equipment and material and leave the areas in a neat, clean condition each day. Maintain paved areas utilized for hauling equipment and materials by other trades in a clean and unobstructed condition at all times. Remove soil and dirt on paved areas that accumulate during or as a result of planting operations each day.
- The landscape contractor is responsible to coordinate with the G.C. to install the plants and maintain the grounds, until final acceptance from the owner. Landscape Contractor to remove tree stakes and all dead wood on trees and shrubs 1 1/2 years after provisional acceptance.
- Guarantee of trees, shrubs, and groundcover plants for one calendar year following provisional acceptance of the overall project. During the guarantee period, plants that die due to natural causes or that are unhealthy or unsightly in condition, shall be replaced by the landscape contractor. Plants used for the replacement shall be of the same variety and size as originally specified in the plant schedule. Replacements shall be made within two days of request pending favorable seasonal planting conditions. Guarantee WILL NOT be enforced should the plant material die due to vandalism, catastrophic storms, owners failure to water and maintain the plants in healthy condition, or similar circumstances beyond the control of the landscape contractor.

GENERAL IRRIGATION NOTES:

- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so that the turf heads are on separate zones from shrub spray or drip zones.
- The Irrigation Contractor DOES NOT START irrigation construction until final shop drawings are submitted and approved by the Landscape Architect and/or Owner. Prior to construction for final approval, shop drawings shall include:
Use Rain Bird Items (or equal--approved by LA/Owner), which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City codes.
- Prior to construction, the Irrigation Contractor shall determine locations of all existing and proposed utilities set by calling Kansas One-Call at 1-800-344-7233.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Architect/Owner for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using ONLY drip zones.
- Heads will be adjusted to NOT spray on buildings, walks, and drives. Drip Line Zones will be looped around plants within 3-4 inches from base of plants.
- General Contractor is responsible for sleeve installation.
- Irrigation Contractor to verify location of well and water meter prior to installation of system. Owner shall verify GPM of well and pump size requirements prior to installation of system.
- Irrigation Controller is to be located per Owner requested location. Recommend outside installation near electrical. LOCATION:



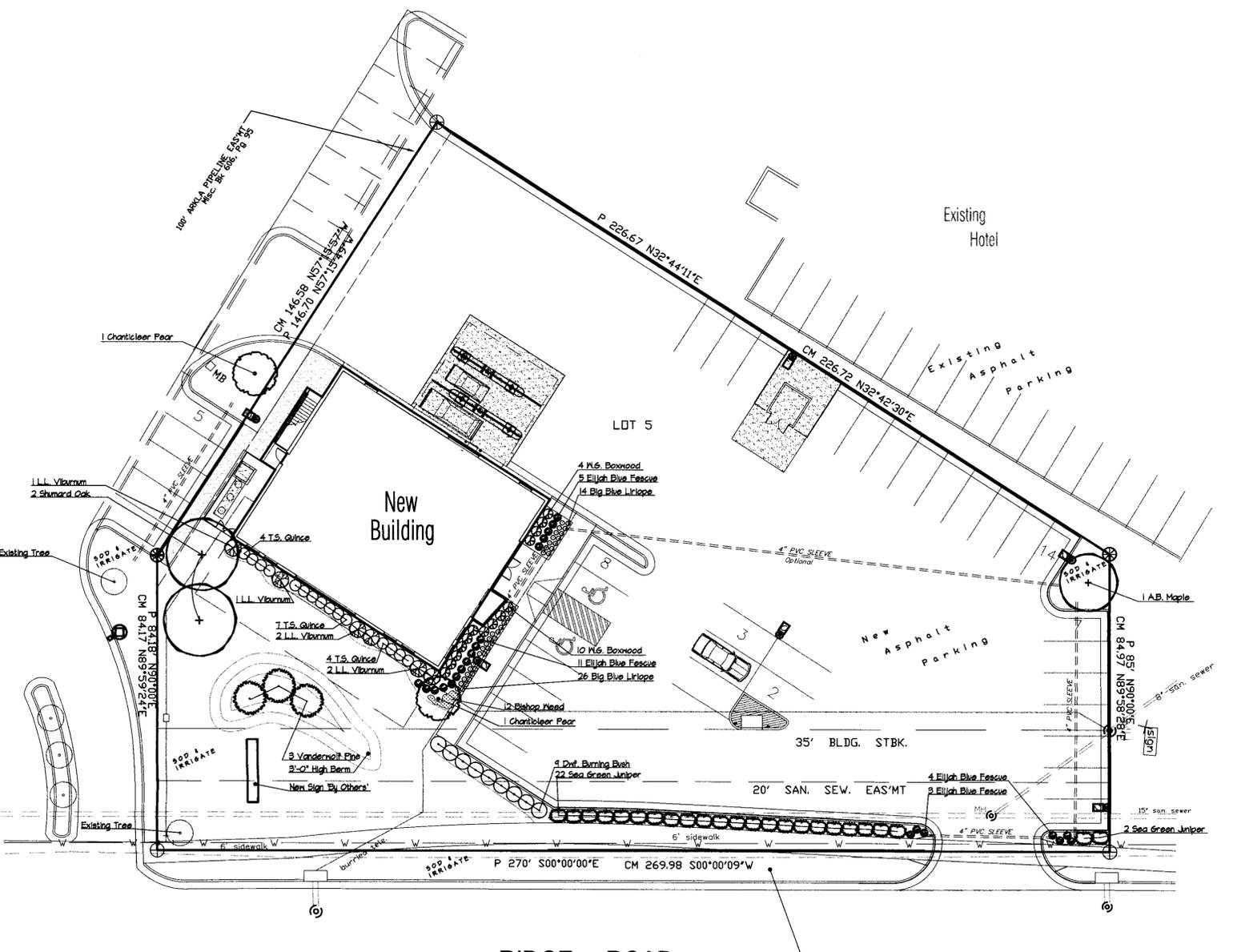
TYPICAL GROUNDCOVER PLANTING DETAIL
1 Gallon and Smaller
No Scale

LANDSCAPE ORDINANCE CALCS:

Single frontage: 270' (Ridge Road)
x 8
2,160 sq.ft. landscape streetyard
Shown Streetyard: 6,000 sq.ft.
Streetyard Trees Required: 5 Shade Trees
Streetyard Trees Shown: 5 Shade Trees, 1 ornamental,
Parking Lot Trees Required: 2 Trees (36 stalls)
Parking Lot Trees Shown: 1 Shade, 2 Ornamental

PLANT SCHEDULE:

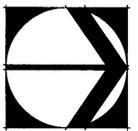
| QTY. | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION |
|------|---|----------------------|-----------|-----------|
| 1 | <i>Acer rubrum</i> 'Autumn Blaze' | Autumn Blaze Maple | 2" Cal. | B & B |
| 2 | <i>Pyrus calleryana</i> 'Chanticleer' | Chanticleer Pear | 2" Cal. | B & B |
| 2 | <i>Quercus shumardii</i> | Shumard Oak | 2" Cal. | B & B |
| 3 | <i>Pinus flexilis</i> 'Vanderwolf pyramid' | Vanderwolf Pine | 6'-7' Ht. | B & B |
| 14 | <i>Buxus microphylla</i> 'Winter Gem' | Winter Gem Boxwood | 3 Gal. | Cont. |
| 15 | <i>Chaenomeles speciosa</i> 'Texas Scarlet' | Texas Scarlet Quince | 3 Gal. | Cont. |
| 9 | <i>Juniperus atlas</i> 'Compacta' | Dwf. Burning Bush | 5 Gal. | Cont. |
| 24 | <i>Juniperus chinensis</i> 'Sea Green' | Sea Green Juniper | 5 Gal. | Cont. |
| 6 | <i>Viburnum rhytidophyloides</i> | Leatherleaf Viburnum | 5 Gal. | Cont. |
| 12 | <i>Aegopodium podagraria</i> 'Variegated' | Bishop's Weed | 1 Gal. | Cont. |
| 23 | <i>Festuca cinerea</i> 'Elijah Blue' | Elijah Blue Fescue | 1 Gal. | Cont. |
| 40 | <i>Liriope muscari</i> 'Big Blue' | Big Blue Liriope | 1 Gal. | Cont. |



RIDGE ROAD

SOD:
Sod all R.O.M. areas in front and/or side of property. Does not include any grading, removal, or killing existing vegetation.

DR-171 Parcel 8
LANDSCAPE PLAN
APPROVED 06/29/05 BY JLB
MARD Corp. 10472



NORTH
SCALE: 1" = 20'



**SUBURBAN
LANDSCAPE
MANAGEMENT**

1100 MacARTHUR • P.O. BOX 16005
WICHITA, KS 67216 • 316-529-0002
FAX: 529-8663 • landscapenow.com
RESIDENTIAL • COMMERCIAL

Professionally designed by a Kansas Landscape Architect

LANDSCAPE PLAN

RELIANZ BANK BUILDING
New Office Building

WICHITA, KANSAS

2827 N. RIDGE ROAD

Seal



Sheet Number

LA.1

Of _____ Sheets

ALL WORK SHOWN ON THIS DRAWING IS THE EXCLUSIVE PROPERTY OF HUTTON CONSTRUCTION CORP. AND IS NOT TO BE COPIED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF HUTTON CONSTRUCTION CORP.



PERMIT SET

PROJECT TITLE
RELIANZBANK BASEMENT FINISH AND REMODEL

SHEET TITLE
LANDSCAPE PLAN

REVISIONS
 △ OCI COMMENTS 1-12-12
 △ OCI COMMENTS 3-1-12

DRAWN BY
D PYEATT

DRAWING DATE:
DECEMBER 9, 2011

PROJECT NO.
11033

SHEET NUMBER
LP-1

LANDSCAPE CALCULATIONS

AVERAGE LOT DEPTH = 104'-0"
 TOTAL LINEAL FEET OF STREET FRONTAGE = 270' ON RIDGE ROAD
 SQUARE FOOTAGE FACTOR FROM TABLE 2.1 = 8 SQ. FT. PER LIN. FT.
 TOTAL SQ. FT. OF LANDSCAPED STREET YARD REQD. = 2,160 SQ. FT. APPROX.
 TOTAL SHADE TREES REQUIRED = 2,160 / 500 = 4.32 = 5
 TOTAL SHADE TREES PROVIDED = 9
 PARKING LOT SCREENING - NO CHANGE

PLANT SCHEDULE

SHADE TREES:

| QTY. | NAME | SIZE | REMARKS |
|------|------------------------------|------|----------|
| 1 | AUTUMN BLAZE MAPLE | | EXISTING |
| 1 | ACER X FREEMANII, JEFFERSRED | | EXISTING |
| 1 | SAWTOOTH OAK | | EXISTING |
| 1 | QUERCUS ACUTISSIMA | | EXISTING |
| 1 | PIN OAK | | EXISTING |
| 1 | QUERCUS PALUSTRIS | | EXISTING |

ORNAMENTAL TREES:

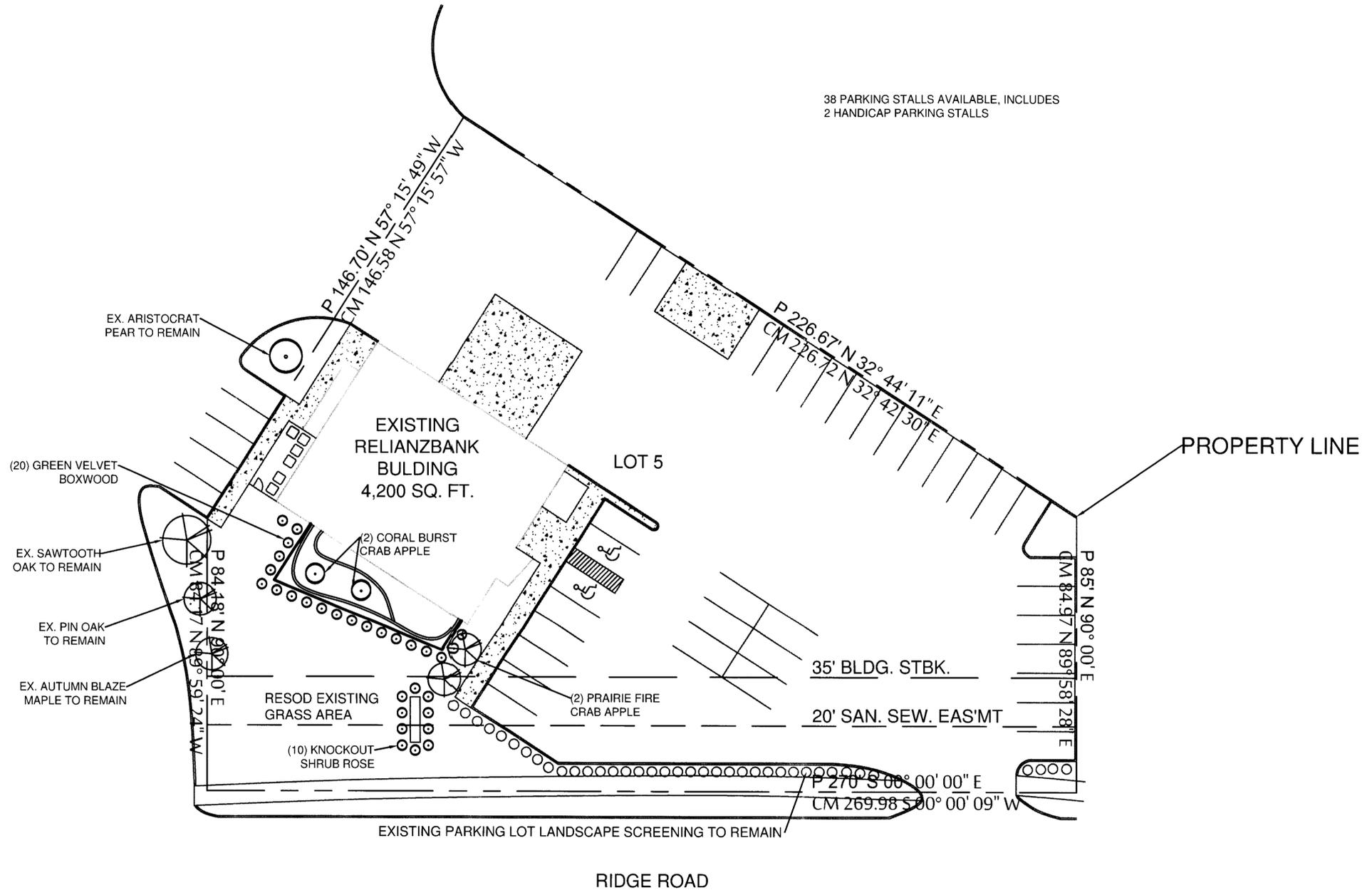
| QTY. | NAME | SIZE | REMARKS |
|------|-------------------------------|------------|----------|
| 1 | ARISTOCRAT PEAR | | EXISTING |
| 2 | PYRUS CALLERYANA 'ARISTOCRAT' | 1" CALIPER | NEW |
| 2 | MALUS 'CORAL BURST' | 1" CALIPER | NEW |
| 2 | PRAIRIE FIRE CRABAPPLE | 1" CALIPER | NEW |
| 2 | MALUS 'PRAIRIEFIRE' | 1" CALIPER | NEW |

SHRUBS:

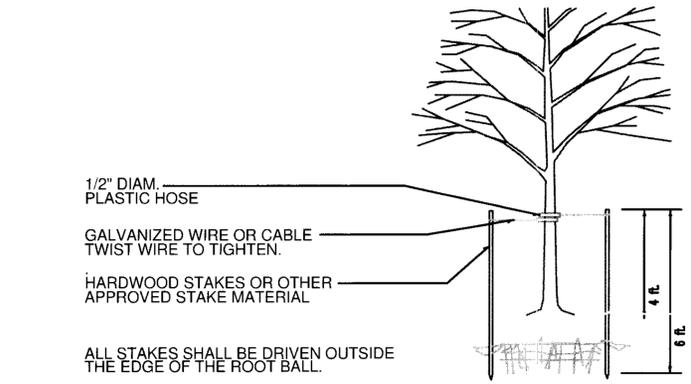
| QTY. | NAME | SIZE | REMARKS |
|------|----------------------|----------|---------|
| 20 | GREEN VELVET BOXWOOD | 2 GALLON | NEW |
| 10 | BUXUS 'GREEN VELVET' | 2 GALLON | NEW |
| 10 | KNOCKOUT ROSE | 2 GALLON | NEW |
| 10 | ROSA 'RADRAZZ' | 2 GALLON | NEW |

NOTES

1. IRRIGATION - PROVIDE COMPLETE AUTOMATIC IRRIGATION SYSTEM, WITH DRIP LINES IN WINDOW WELL. CONNECT TO EXISTING WELL. PROVIDE MOISTURE SENSING DEVICE OR RAIN SHUT-OFF SWITCH PER CITY REQUIREMENTS.



38 PARKING STALLS AVAILABLE, INCLUDES
2 HANDICAP PARKING STALLS



2 TYPICAL TREE PLANTING DETAIL
SCALE: NTS

1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

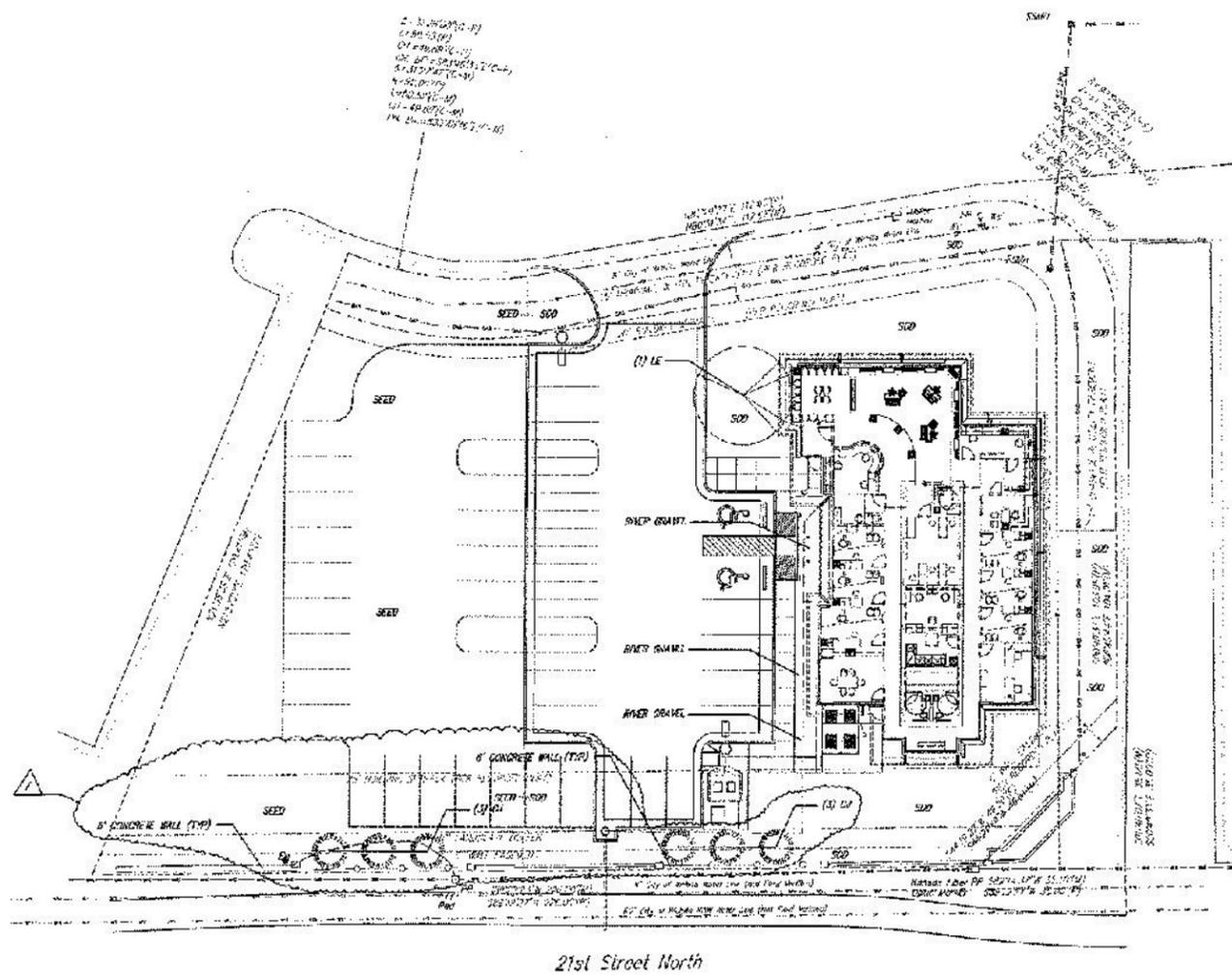
LEGAL DESCRIPTION:
LOT 5, BLOCK-1
REFLECTION RIDGE COMMERCIAL,
2ND EDITION, WICHITA
SEDGWICK COUNTY, KANSAS

LANDSCAPE PLAN
 APPROVED 3/1/12 BY *Nug*
 DR-171
 MAPP copy 2 of 2

| PLANT LIST | | | | | |
|------------|--------|----------------|-------------------------------------|------------|------------|
| QTY | SYMBOL | COMMON NAME | BOTANICAL NAME | SIZE | CONVENTION |
| 16 | CU | LARGE BARK ELM | ULMUS BARSIPOLUS | 2-1/2" CAL | 969 |
| 6 | CU | CANYON JUNIPER | JUNIPERUS MONOPHYLLA 'CANALIIFOLIA' | 6-7' | 969 |

WATERING REQUIREMENTS
 SOIL AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLER SYSTEM

LANDSCAPE STREET YARD-N/A
PARKING LOT SCREENING AND LANDSCAPING
 50 = TOTAL NUMBER OF PARKING SPACES
 20 = NUMBER OF PARKING SPACES PER TREE
 1 = TOTAL PARKING LOT TREES REQUIRED
 3 = TOTAL PARKING LOT SHADE TREES PROVIDED
 3 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED
 CONTINUOUS PARKING LOT SCREEN NOT REQUIRED
PERIMETER BUFFERS W/ SCREENING-N/A



LANDSCAPE PLAN
 APPROVED 3/12/15 BY NES

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

TREE TOP
 NURSERY & LANDSCAPING, INC.
 5910 E. 37th NORTH
 WICHITA, KS 67220
 TEL. 316.686.7491
 FAX 316.686.9625

PROFESSIONAL SEAL

DOERKSEN EYE CLINIC
 1815 21st STREET
 WICHITA, KANSAS
 LANDSCAPE PLAN

| DRAWN BY: DRS | | |
|----------------|----------------------|---------|
| DATE: 10.30.14 | | |
| NO. | REVISION | DATE |
| 1 | City review comments | 3.11.15 |
| SHEET: 11 | | |

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN



Wichita-Sedgwick County Metropolitan Area Planning Department
December 29, 2016

Circle K Stores, Inc.
Attn: Slyvain Aubry, Asst. Secretary
305 Gregson Drive
Cary, NC 27511

Circle K Stores, Inc.
Attn: Twila Lambert
108-B Debarry Avenue
Orange Park, FL 32073

MKEC Engineering, Inc.
Attn: Brian Lindebak
411 N. Webb
Wichita, KS 67206-2521

RE: CUP2016-47 – City Administrative Adjustment to CUP DP-171 to reflect changes triggered by VAC2016-00057 and adjust parking and signs provisions on property located on the northwest corner of West 21st Street North and North Ridge Road

Legal Description: Lot 14, Block 2, Reflection Ridge Commercial Addition, Wichita, Sedgwick County, KS

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-171, to reflect changes per VAC2016-00057 and adjust parking and sign provisions.

Proposed modifications are as follows:

Parcel Descriptions:

Parcel 1: Building setback 15 feet along the frontage of 21st Street North per VAC2016-57
Building setback 20 feet along the frontage of Ridge Road per VAC2016-57

Parcel 5: Parking requirements – add “and a minimum of 22 spaces with Vehicle Repair Limited land use”

General Provisions:

3. Parcel 5 – replace building setback language with “20 feet along Ridge Road and 15 feet along 21st Street North”
8. Parcel 5 – add “Parcel 5 shall be allowed a minimum distance of 100 feet to the nearest adjacent sign per Administrative Adjustment CUP2016-47.

City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

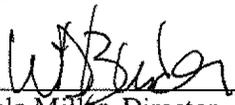
T 316.268.4421 F 316.268.4390

www.wichita.gov

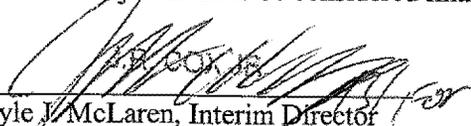
On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

sv


Dale Miller, Director
Metropolitan Area Planning Department



Kyle J. McLaren, Interim Director
Metropolitan Area Building and Construction
Department

cc: Kyle J. McLaren, MABCD
J.R. Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V



Wichita-Sedgwick County Metropolitan Area Planning Department

April 14, 2015

Doerksen Eye Clinic
7570 W. 21st Street N
Wichita, KS 67205

Nu-Line Signs
Karie Kerr
3310 W. Central
Wichita, KS 67203

RE: CUP2015-07 – City CUP Administrative Adjustment to DP-171 to increase the number of wall signs for Parcel 1; generally located on the north side of W. 21st Street N. and west of Ridge Road (7570 W. 21st Street N.)

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-171, the Reflection Ridge Commercial Community Unit Plan (“CUP”). We understand that you wish to allow an additional 32 square feet wall sign on the east elevation of the Doerksen Eye Clinic building.

General Provisions of CUP DP-171 allows only 32 square feet of signage per business per building in GO General Office zoning district, as prescribed by Chapter 24.04 of the Sign Code of the City of Wichita.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein. This approval is subject to the following conditions:

1. The sign shall be permitted and installed within one year.
2. The sign shall be limited to 32 square feet.
3. This Administrative Adjustment applies only to the additional 32 square feet sign on the east elevation.

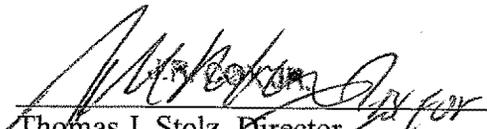
City Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

T 316.268.4421 F 316.268.4390

www.wichita.gov

The "Development Application" sign should now be removed from the property.


John L. Schlegel, Director
Metropolitan Area Planning Department


Thomas J. Stolz, Director
Metropolitan Area Building and
Construction Department

cc: J.R. Cox, MABCD
Brian Frye, Council Member District V
Martha Sanchez, Community Liaison District V

GENERAL PROVISIONS

- THIS DEVELOPMENT IS PROPOSED TO CONTAIN 29.7 ACRES.
- THE PROPOSED DEVELOPMENT CONTAINS NINE (9) PARCELS PERMITTING OFFICE, GOLF COURSE MAINTENANCE AND LIGHT COMMERCIAL USES. FOR SPECIFIC USES, SEE PARCEL DESCRIPTIONS.
- SETBACKS ARE AS INDICATED ON PLAN VIEW OR IN GENERAL AREA AS FOLLOWS:
 - PARCEL NO. 1 - VARIES ALONG 21ST STREET. (SEE PLAN)
 - PARCEL NO. 2 - 25' SETBACK ALONG EAST AND WEST PROPERTY LINES.
 - PARCEL NO. 3 - 10' SETBACK ALONG WEST PROPERTY LINE.
 - PARCEL NO. 4 - 25' ALONG WEST & N.W. PROPERTY LINES.
 - PARCEL NO. 5 - 25' ALONG WEST & N.W. PROPERTY LINES.
 - PARCEL NO. 6 - 25' ALONG WEST & N.W. PROPERTY LINES.
 - PARCEL NO. 7 - 25' ALONG WEST & N.W. PROPERTY LINES.
 - PARCEL NO. 8 - 25' ALONG WEST & N.W. PROPERTY LINES.
 - PARCEL NO. 9 - 25' ALONG WEST & N.W. PROPERTY LINES.

- ON STREETS HAVING A 22' ROW WITH 20' BB PAVEMENT, THERE SHALL BE PLANTED A 15' STREET, DRAINAGE AND UTILITY EASEMENT ON EITHER SIDE OF R.O.W. LINE, WHERE PARKING SHALL BE PERMITTED BUT LANDSCAPING LIMITED TO TURF AND STREET TREES APPROVED BY CITY FORESTER. OFF-STREET PARKING BAYS SHALL BE PERMITTED WHERE APPROVED BY THE TRAFFIC ENGINEER AT TIME OF PLATTING.
- BUILDING SETBACK LINES FROM ALL EXISTING PIPELINE EASEMENTS SHALL BE ESTABLISHED AT THE TIME OF PLATTING AND ALL PAVING OVER THE EASEMENT SHALL BE WITH THE APPROVAL OF THE AFFECTED PIPELINE COMPANY. ANY CHANGE IN ELEVATION OR RELOCATION OF THE PIPELINE SHALL BE WITHOUT COST TO THE CITY OF WICHITA.

NOTE: IN THE EVENT THAT CONTIGUOUS PARCELS ARE DEVELOPED UNDER THE SAME OWNERSHIP, SETBACK BETWEEN THOSE PARCELS WILL NOT BE REQUIRED.

- ACCESS CONTROL ON 21ST STREET NORTH:
 - PARCEL NO. 1 - ONE MAJOR OPENING.
 - PARCEL NO. 2 - TWO OPENINGS, ONE MAJOR OPENING AND ONE OPENING PROVIDING ACCESS TO PARCEL NO. 2.
 - PARCEL NO. 3 - ONE RIGHT TURN ONLY.
 - PARCEL NO. 4 - ONE OPENING ON THE WEST 140'. COMPLETE ACCESS CONTROL ON THE EAST 40'.

- ACCESS CONTROL ON RIDGE ROAD:
 - PARCEL NO. 3 - TWO OPENINGS, ONE OPENING TO BE MAJOR (SEE PLAN)
 - PARCEL NO. 5 - ONE OPENING, COMPLETE ACCESS CONTROL ON THE SOUTH 40'
 - PARCELS 6, 7 - ONE OPENING EACH
 - PARCEL NO. 9 - TWO OPENINGS, ONE OPENING TO BE MAJOR ON SOUTH 80'.

- THERE SHALL BE COMPLETE ACCESS CONTROL ALONG THE WEST LINE OF LOTS 2-3 IN PARCEL 1.
- THOSE PORTIONS OF THE MAJOR ENTRANCES TO RIDGE AND TO 21ST STREET NORTH, OR PUBLIC R.O.W., SHALL BE GUARANTEED AT THE TIME OF PLATTING. THOSE PORTIONS OF THE MAJOR ENTRANCES ON PRIVATE PROPERTY WILL BE A REQUIREMENT AT THE TIME ANY MAJOR BUILDING PERMIT(S) ARE REQUESTED FOR PARCELS 1, 3, OR 9.

- INGRESS AND EGRESS TO PARCEL 2 SHALL BE PROVIDED VIA THE 25' ACCESS EASEMENT PROPOSED TO 21ST STREET NORTH.
- MAJOR STREET IMPROVEMENTS FOR RIDGE ROAD AND 21ST STREET NORTH SHALL BE IN CONFORMANCE WITH THE PRE-DETERMINED AGREEMENT BY AND BETWEEN THE OWNER AND THE CITY ENGINEER. SPECIFIC ITEMS AGREED TO ARE AS FOLLOWS:
 - AT THE TIME OF PLATTING, THE APPLICANT SHALL GUARANTEE THE RECONSTRUCTION OF THE TRAFFIC MEDIAN ON 21ST STREET NORTH IN ORDER TO PROVIDE A LEFT TURN BAY OR A FIFTH LANE PROVIDING FOR LEFT TURN STORAGE TO SERVE PARCEL 1.
 - AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF A TEMPORARY THIRD LANE IN RIDGE ADJACENT TO THIS C.U.P. THE GUARANTEE FOR THE TEMPORARY THIRD LANE SHALL BE HELD BY THE CITY OF WICHITA UNTIL DEVELOPMENT OCCURS. (PARTIAL DEVELOPMENT WOULD NECESSITATE PARTIAL DEVELOPMENT OF THE THIRD LANE)
 - AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF A FIFTH LANE OR CENTER LANE IN 21ST STREET NORTH AND A THIRD LANE OR CENTER LANE IN RIDGE ROAD TO ACCOMMODATE A LEFT TURN LANE TO SERVE THE MAJOR OPENING INTO PARCEL 3 FROM 21ST STREET NORTH AND THE MAJOR OPENINGS INTO PARCELS 3 AND 9 FROM RIDGE ROAD.
 - AT THE TIME OF PLATTING THE APPLICANT SHALL GUARANTEE THE CONSTRUCTION OF CONTINUOUS DECEL LANES TO SERVE THE OPENINGS INTO PARCELS 3, 4 AND 5 FROM 21ST STREET NORTH INCLUDING THE RIGHT TURN MOVEMENT AT THE INTERSECTION OF 21ST STREET NORTH AND RIDGE ROAD, AND TO SERVE THE MAJOR OPENINGS INTO PARCELS 3 AND 9 FROM RIDGE ROAD.

- AN OWNERS ASSOCIATION AGREEMENT PROVIDING FOR THE MAINTENANCE OF RESERVES, NON-PUBLIC OPEN SPACE, INTERNAL DRIVES, PARKING AREAS, DRAINAGE IMPROVEMENTS, ETC. SHALL BE FILED WITH THE PLAN OF THE AREA.
 - ALL DRIVES AND PARKING AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNERS ASSOCIATION(S).
 - ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
 - SIGNS AS PERMITTED BY ZONING DISTRICT SHALL BE PERMITTED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 24.04 OF THE CODE OF THE CITY OF WICHITA, EXCEPT THAT NO PORTABLE OR OFF-SITE SIGNS SHALL BE PERMITTED. (SEE ADMIN. ADJ. CUP 2016-47 (1-21))
 - ALL DRAINAGE WAYS AND DRAINAGE IMPROVEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING. A LOT GRADING PLAN WILL BE PREPARED IN CONFORMANCE WITH THE GENERAL DRAINAGE CONCEPT PLAN FOR REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - FINAL DETERMINATION OF STREET RIGHT-OF-WAY AND PAVEMENT WIDTHS SHALL BE RESOLVED AT THE TIME OF PLATTING.
 - PARKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 28.04.140 ET SEQ OF THE CODE OF THE CITY OF WICHITA, UNLESS SPECIFIED IN THE PARCEL DESCRIPTIONS. (SEE ADMIN. ADJ. CUP 2016-47 (1-21))

- A FIVE (5) TO EIGHT (8) FOOT SOLID OR SEMI-SOLID WALL SHALL BE CONSTRUCTED OF STONE, MASONRY, BRICK, ARCHITECTURAL TILE OR SIMILAR MATERIAL (NOT INCLUDING WOOD OR WOVEN WIRE) ADJACENT TO OR ACROSS THE STREET FROM A RESIDENTIAL DISTRICT IF THE STORAGE AREA, SERVICE AREA, OR REAR OF THE BUILDING FACES THE RESIDENTIAL DISTRICT.
 - THE PLANTING STRIP, AS INDICATED ON THE DRAWING SHALL CONSIST OF TREES, GRASS AND LOW SHRUBBERY NOT LESS THAN TEN FEET IN WIDTH AND SHALL BE OF SUCH TYPE AND MAINTAINED IN SUCH A MANNER AS TO NOT CONSTITUTE A TRAFFIC HAZARD. FAILURE TO PROPERLY MAINTAIN THE PLANTING STRIPS SHALL BE CONSIDERED A VIOLATION OF THE C.U.P. AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND THE SUPERINTENDENT OF CENTRAL INSPECTION.
 - THE WALL REQUIREMENT ALONG THE WEST BOUNDARIES OF PARCELS 3 AND 9 AND THE NORTH BOUNDARIES OF PARCELS 1 AND 2 ADJACENT TO THE GOLF COURSE SHALL BE WAIVED UNLESS THE STORAGE AREA, SERVICE AREA OR REAR OF THE BUILDING(S) FACE DIRECTLY ONTO THE RESIDENTIAL DISTRICT.
 - ALL WALLS SHALL BE CONSTRUCTED WITHIN A PLATTED FIVE(5) FOOT WALL EASEMENT. CONSTRUCTION OF WALL SHALL BE PERMITTED ACROSS UTILITY EASEMENTS IF COLUMN FOOTINGS ARE USED.
 - THE WALL INDICATED ALONG THE SOUTH AND WEST PROPERTY LINES OF PARCEL 1 CAN BE SUBSTITUTED WITH A 10' LANDSCAPE BUFFER AS DESCRIBED IN 12-B ABOVE AT THE OWNER'S OPTION.

- A LANDSCAPE PLAN, PREPARED BY A LANDSCAPE ARCHITECT, FOR THE LANDSCAPE BUFFERS ALONG 21ST STREET NORTH, AND RIDGE ROAD INDICATING THE LOCATION, TYPE AND SPECIFICATIONS OF PLANT MATERIAL AND METHOD OF PROVIDING WATER SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF BUILDING PERMITS ON PARCEL INVOLVED. A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS APPROVED IN THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN PLANTED.

- FIRE LANES SHALL BE IN ACCORDANCE WITH THE FIRE CODE OF THE CITY OF WICHITA. NO PARKING SHALL BE ALLOWED IN SAID FIRE LANES, ALTHOUGH THEY MAY BE USED FOR PASSENGER LOADING AND UNLOADING.
- DURING THE BUILDING PERMIT REVIEW, THE FIRE CHIEF, OR HIS DESIGNATED REPRESENTATIVE SHALL APPROVE THE SITE PLAN REGARDING THE DESIGN OF THE FIRE LANE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- FIRE HYDRANT INSTALLATION AND PAVED ACCESS TO ALL BUILDING SITES SHALL BE PROVIDED FOR EACH PHASE OF CONSTRUCTION PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

- SHOULD AN ALTERNATE LAND USE, PERMITTED UNDER PARCEL DESCRIPTIONS BELOW BE DEVELOPED INSTEAD OF THE PARCEL PLAN AS ILLUSTRATED, A CONCEPTUAL SITE PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE DIRECTOR OF PLANNING. THE APPROVAL OF THIS CONCEPTUAL PLAN SHALL BE SUBJECT TO THE CONDITIONS OF PLATTING.
- THE TRANSFER OF TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE C.U.P. DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR COMMERCIAL DEVELOPMENT AND BE BINDING UPON THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.

- TRASH RECEPTACLES SHALL BE APPROPRIATELY SCREENED TO REASONABLY HIDE THEM FROM GROUND VIEW.
- ACCEL/DECEL LANES ALONG THE SOUTH AND EAST LINES OF THIS C.U.P. SHALL BE GUARANTEED AT THE TIME OF PLATTING, IF APPLICABLE.

- PARCEL DESCRIPTIONS:
 - PROPOSED USES: OFFICES, MEDICAL AND DENTAL OFFICES OR CLINICS OR APARTMENTS.
 - GROSS AREA - 11,949 ACRES (520,498 SQ. FT.)
 - NON-RESIDENTIAL USES:
 - MAXIMUM BUILDING COVERAGE - 156,149 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 185,000 SQ. FT.
 - FLOOR AREA RATIO - 0.355
 - RESIDENTIAL USES:
 - MAXIMUM NUMBER OF UNITS - 228
 - MAXIMUM BUILDING HEIGHT - 45'
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11 AND 1.5 SPACES/OU FOR APARTMENT USES.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: GOLF COURSES MAINTENANCE FACILITY
 - GROSS AREA - 1,148 ACRES (50,007 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 15,002 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 18,500 SQ. FT.
 - FLOOR AREA RATIO - 0.270
 - MAXIMUM BUILDING HEIGHT - 35'
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

- PROPOSED USES: NEIGHBORHOOD SHOPPING CENTER USES INCLUDING GROCERY, FURNITURE, THEATERS, RESTAURANTS, RETAIL SHOPS, FAST FOOD OFFICES, MEDICAL AND DENTAL CLINICS, CLOTHING STORES, PHARMACIES, DRY CLEANING, LAUNDRY, BARBER SHOPS, BEAUTY SHOPS, TAILORS, STUDIOS, SHOE STORES, HARDWARE AND APPLIANCE STORES, FITNESS CENTERS.
 - GROSS AREA - 16,142,288 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 131,387 SQ. FT. (30% MAXIMUM)
 - MAXIMUM GROSS FLOOR AREA - 160,584 SQ. FT.
 - FLOOR AREA RATIO - 0.345
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 2
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3

- PROPOSED USES: SAME AS PARCEL NO. 3.
 - GROSS AREA - 0.74 ACRES (32,400 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 9,720 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 11,825 SQ. FT.
 - FLOOR AREA RATIO - 0.295
 - MAXIMUM BUILDING HEIGHT - 35'
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: CONVENIENCE STORES, RESTAURANTS, FAST FOOD, SERVICE STATIONS WITH CAR WASH AS ACCESSORY USE WITH BZA APPROVAL, RETAIL SHOPS, BANKS AND FINANCIAL INSTITUTIONS.
 - GROSS AREA - 0.74 ACRES (32,400 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 9,720 SQ. FT. (30% MAXIMUM)
 - MAXIMUM GROSS FLOOR AREA - 11,825 SQ. FT.
 - FLOOR AREA RATIO - 0.335
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.82 ACRES (35,848 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 10,764 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,099 SQ. FT.
 - FLOOR AREA RATIO - 0.355
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.83 ACRES (36,000 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 10,800 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,140 SQ. FT.
 - FLOOR AREA RATIO - 0.355
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: SAME AS PARCEL NUMBER 3.
 - GROSS AREA - 0.88 ACRES (38,138 SQ. FT.)
 - MAXIMUM BUILDING COVERAGE - 11,441 SQ. FT. (30% MAX.)
 - MAXIMUM GROSS FLOOR AREA - 13,730 SQ. FT.
 - FLOOR AREA RATIO - 0.300
 - MAXIMUM BUILDING HEIGHT - 35'
 - MAXIMUM NUMBER OF BUILDINGS - 1
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11.
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3.

- PROPOSED USES: ALL USES IN PARCEL 3 AND MOTELS AND APARTMENTS
 - GROSS AREA - 2.5 ACRES (108,900 SQ. FT.)
 - NON RESIDENTIAL USES:
 - MAXIMUM BUILDING COVERAGE - 32,876 SQ. FT. (30% MAXIMUM)
 - MAXIMUM GROSS FLOOR AREA - 38,622 SQ. FT.
 - FLOOR AREA RATIO - 0.335
 - ALL USES:
 - MAXIMUM BUILDING HEIGHT - 35'
 - PARKING - AS SET FORTH UNDER GENERAL PROVISION NUMBER 11
 - SETBACKS - AS SET FORTH UNDER GENERAL PROVISION NUMBER 3
 - RESIDENTIAL USES:
 - MAXIMUM NUMBER OF UNITS - 30
 - MAXIMUM DENSITY - 20 DU/ACRE

- THE EXISTING HOUSE ON RIDGE ROAD SHALL BE ALLOWED TO REMAIN UNTIL FUTURE DEVELOPMENT OF THAT PARCEL OCCURS. THE INTERIM PERMITTED USES FOR THIS STRUCTURE SHALL INCLUDE SALES AND MARKETING OFFICES, AND CONSTRUCTION OFFICE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

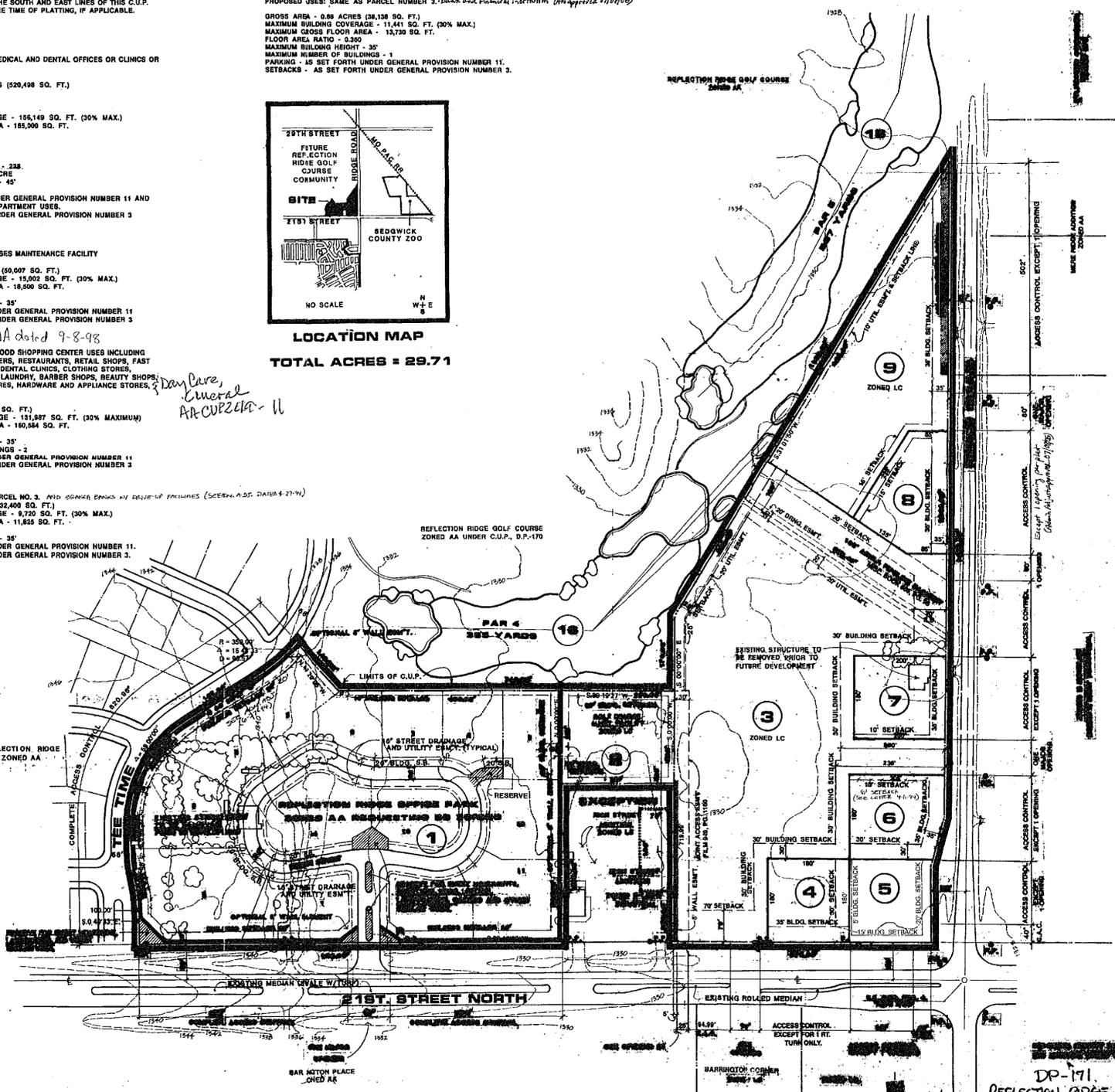
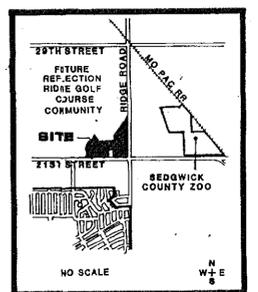
- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.

- ARCHITECTURAL DESIGN, BUILDING MATERIALS AND COLOR FOR ALL STRUCTURES SHALL BE APPROVED BY THE REFLECTION RIDGE ARCHITECTURAL CONTROL COMMITTEE.



As per AA CUP 2019-00011
4-11-2019

APPROVED CUP
MAPC 7-9-87 Rem
BCC 9-29-87 Rem

MAPD Copy 1 of 2

APPROVED CUP
7-9-87 Rem
BCC 9-29-87 Rem
MAPD Copy 1 of 2

MKEC
Wichita, KS • 316.684.9600

COMMERCIAL COMMUNITY UNIT PLAN UNDER REFLECTION RIDGE COMM. C.U.P., D.P.-171 (REVISED MAY 17, 1990)

REFLECTION RIDGE

OWNER: REFLECTION RIDGE INC. 7926 W. 21ST STREET WICHITA, KS 67212 316-721-8183

DP-171
REFLECTION RIDGE
COMMERCIAL C.U.
APPROVED C.U.
MAPC 7-9-87
BCC 9-29-87
MAPD Copy 1 of 2