

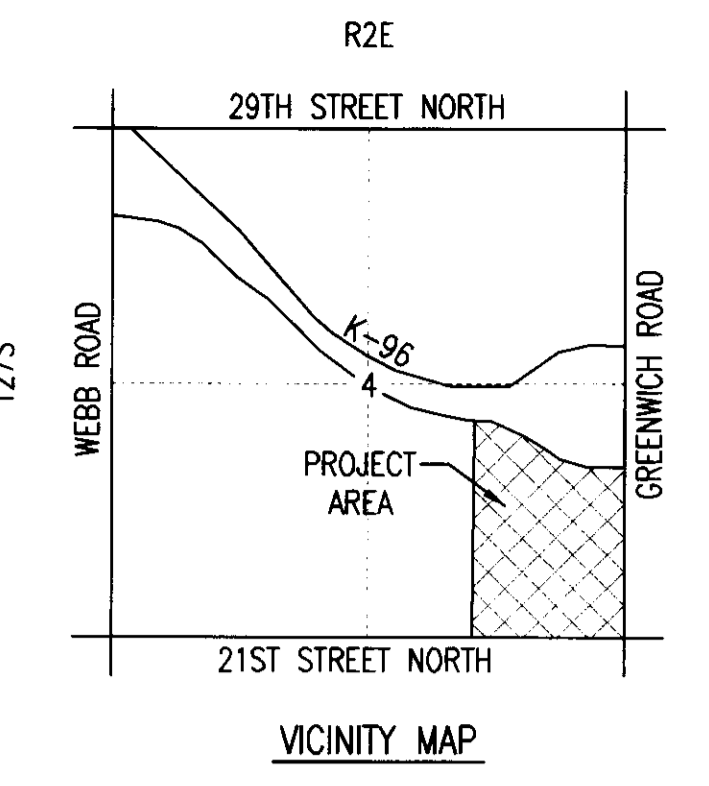
COMMUNITY UNIT PLAN DP-234 AMENDMENT #2

REGENCY LAKES COMMERCIAL

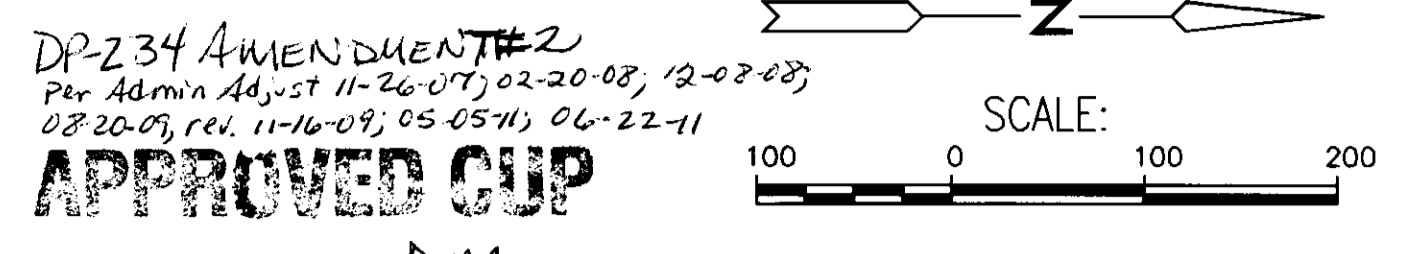
OWNER: REGENCY LAND COMPANY, L.L.C.

150 N. MARKET WICHITA, KANSAS 67202

AMENDED OCT. 20, 2003
ADJUSTED JAN. 06, 2004
ADJUSTED MAY 04, 2005
ADJUSTED OCT. 27, 2005
AMENDED JUNE 07, 2007
AMENDED NOV. 26, 2007
ADJUSTED FEB. 20, 2008
ADJUSTED NOV. 24, 2008
ADJUSTED AUG. 20, 2009
ADJUSTED MAY 5, 2011
ADJUSTED JUNE 22, 2011



BENCHMARKS: Datum BM from Proj. No. 36-02146-5328, Kitch Property C.O.W. Disc in Conc. Base R.R. Signal W. Side Greenwich +/- 1/2 Mile S. of 21st St. N.



APPROVED CUP

DATE 06-07-07 DM

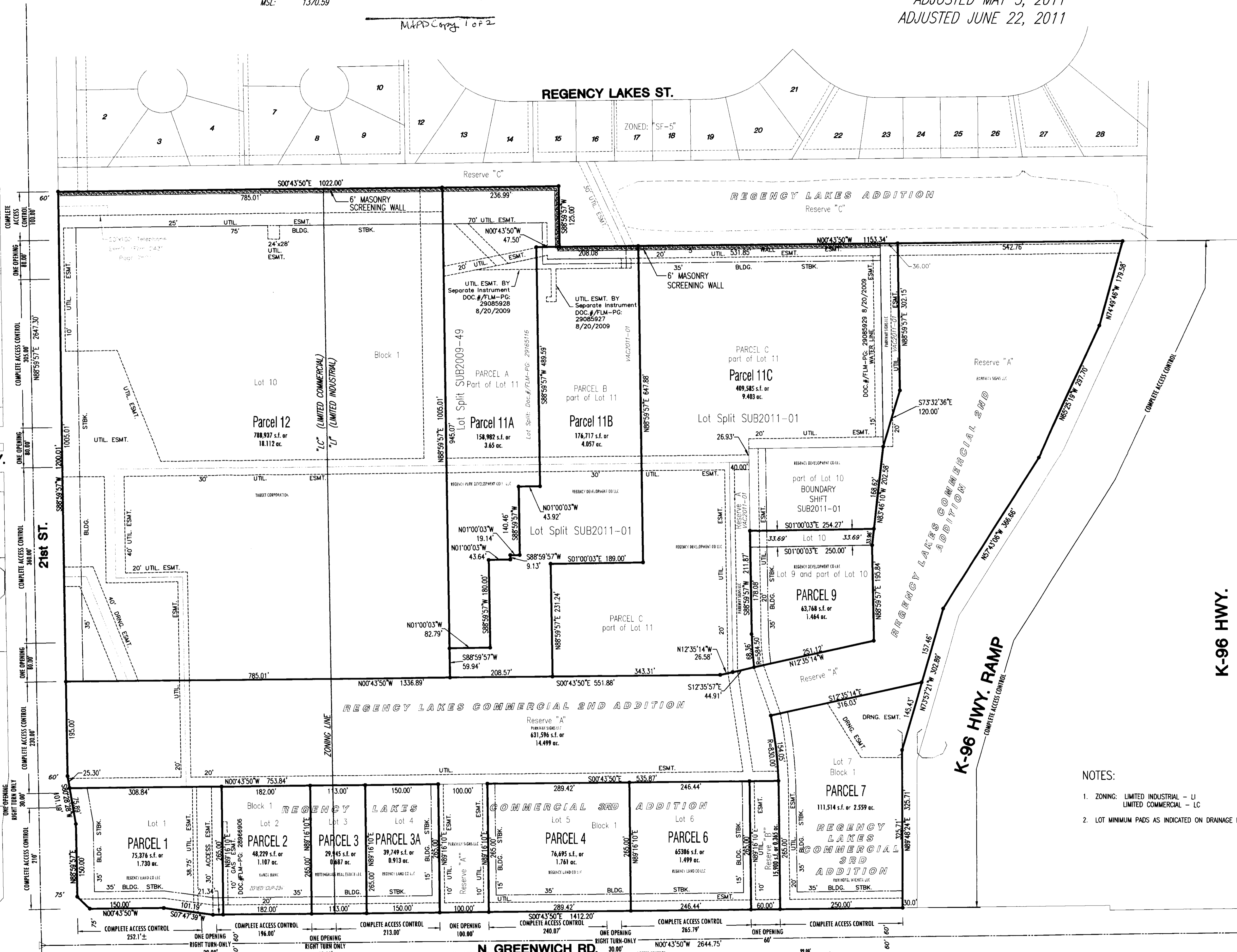


Table with 3 columns: Parcel ID, Gross Area, and Maximum Height/Coverage. Lists parcels 1 through 12 and their respective specifications.

- 3. PERMITTED USES: The following uses are permitted for all property located 540 feet north of 21st Street...
4. The transfer of the title on all or any portion of the land included in the development...
5. LANDSCAPE AND PARKING LOT SCREENING...
6. MINIMUM SETBACK REQUIREMENTS...
7a. STREET SIGNS...
8. BUILDING SIGNS...
9. ARCHITECTURAL CONTROL...
10. An Operation and Easement Agreement...
11. Cross-Lot circulation...
12. All drainage ways and assessments...
13. A lot grading plan...
14. There are no internal public street areas...
15. Multiple ownership is anticipated...
16. Loading areas and docks...
17. A six (6) to eight (8) foot solid wall...
18. Prior to the issuing building permits...
19. The development of this property...
20. Any major changes...
21. All lights shall be shielded...

- NOTES:
1. ZONING: LIMITED INDUSTRIAL - LI
LIMITED COMMERCIAL - LC
2. LOT MINIMUM PADS AS INDICATED ON DRAINAGE PLAN.

K-96 HWY.

K-96 HIGHWAY
CONSERVATION CASE B7C-1432
FIRM 926 PAGE 15/25

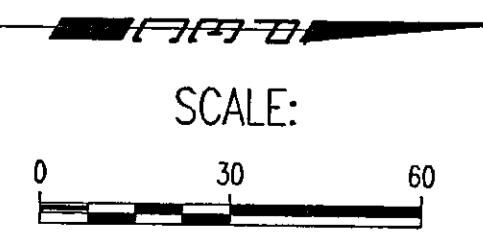
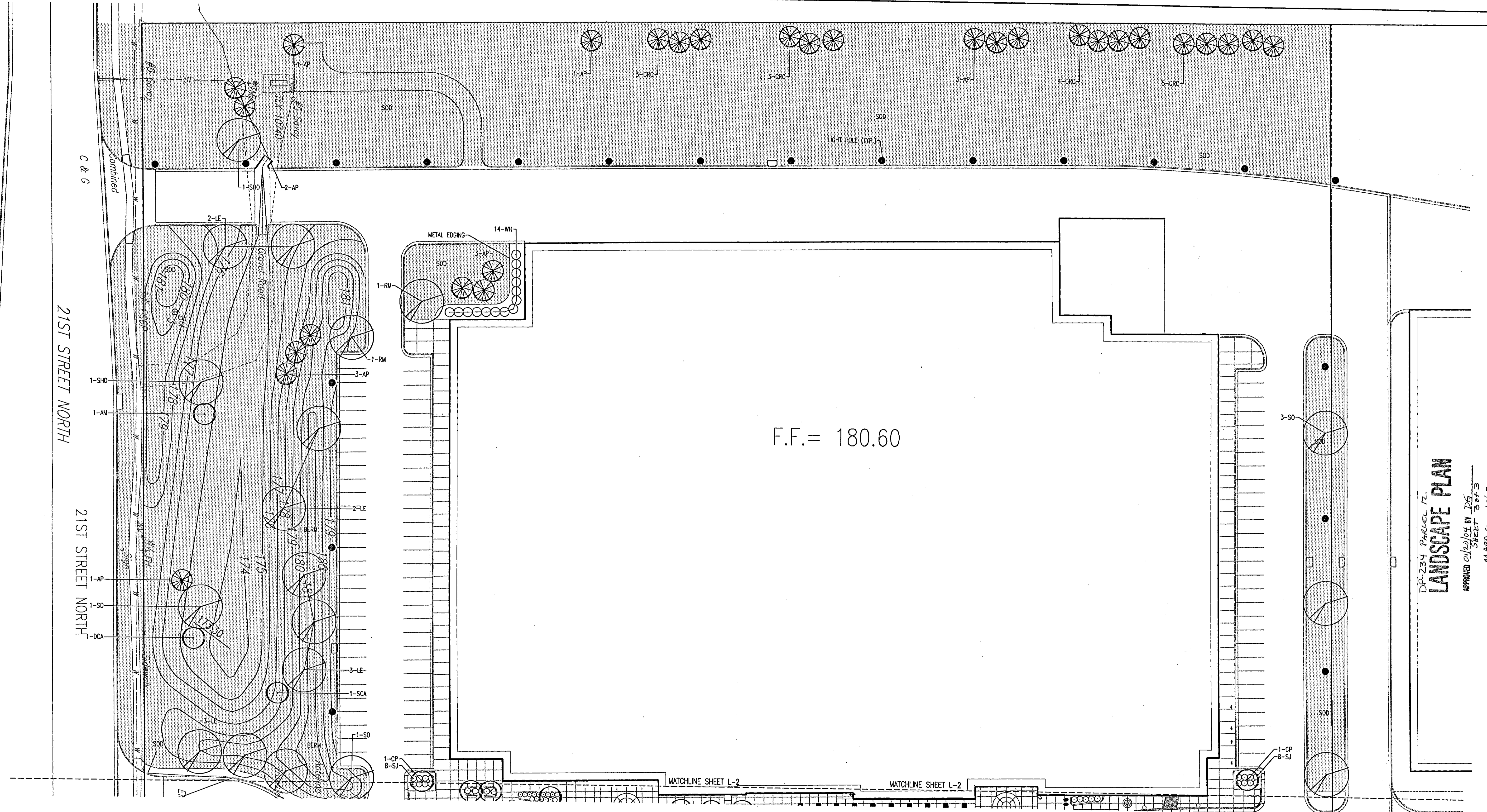
DSNR: RMH OPER: IDK SCALE: 1"=30.00  
 Q:\2003\03419\landscape\L-3 01-15-2004 08:23:45 am

21ST STREET NORTH

21ST STREET NORTH

F.F. = 180.60

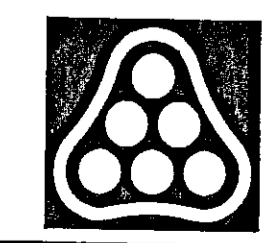
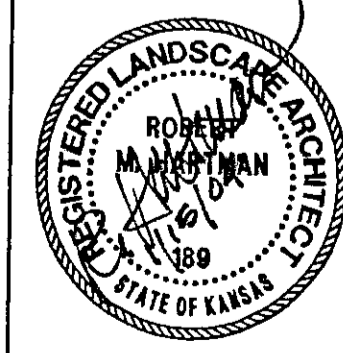
DP-234 PARCEL 12  
**LANDSCAPE PLAN**  
 APPROVED BY: DS  
 SHEET 3 OF 3  
 MARD Corp. 1 of 2



**TARGET**

REVIEWED BY:

Site Development Manager	Revise and Resubmit	Not Reviewed	Approved
Project Architect	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (M)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (E)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (S)	Revise and Resubmit	Not Reviewed	Approved



No.	Revision	By	Date

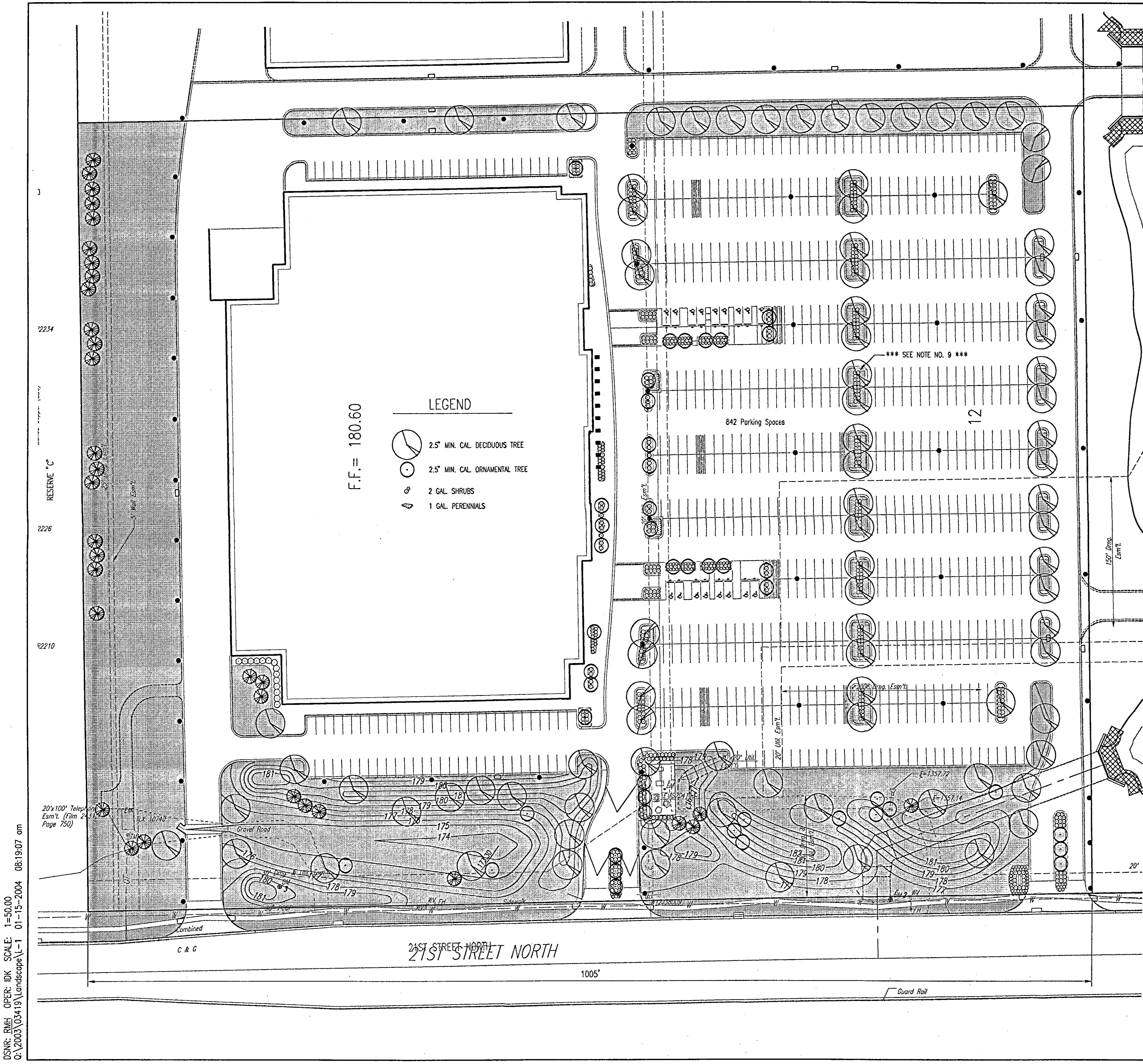
**REGENCY LAKES COMMERCIAL  
 TARGET NE  
 L-3  
 LANDSCAPE PLAN**

**Professional Engineering Consultants, P.A.**  
 303 S. TOPEKA • WICHITA, KANSAS 67202  
 316-262-2691 • FAX 316-262-3003

Designed by RMH Job No. 03419-5567  
 Drawn by IDK Date November, 2003

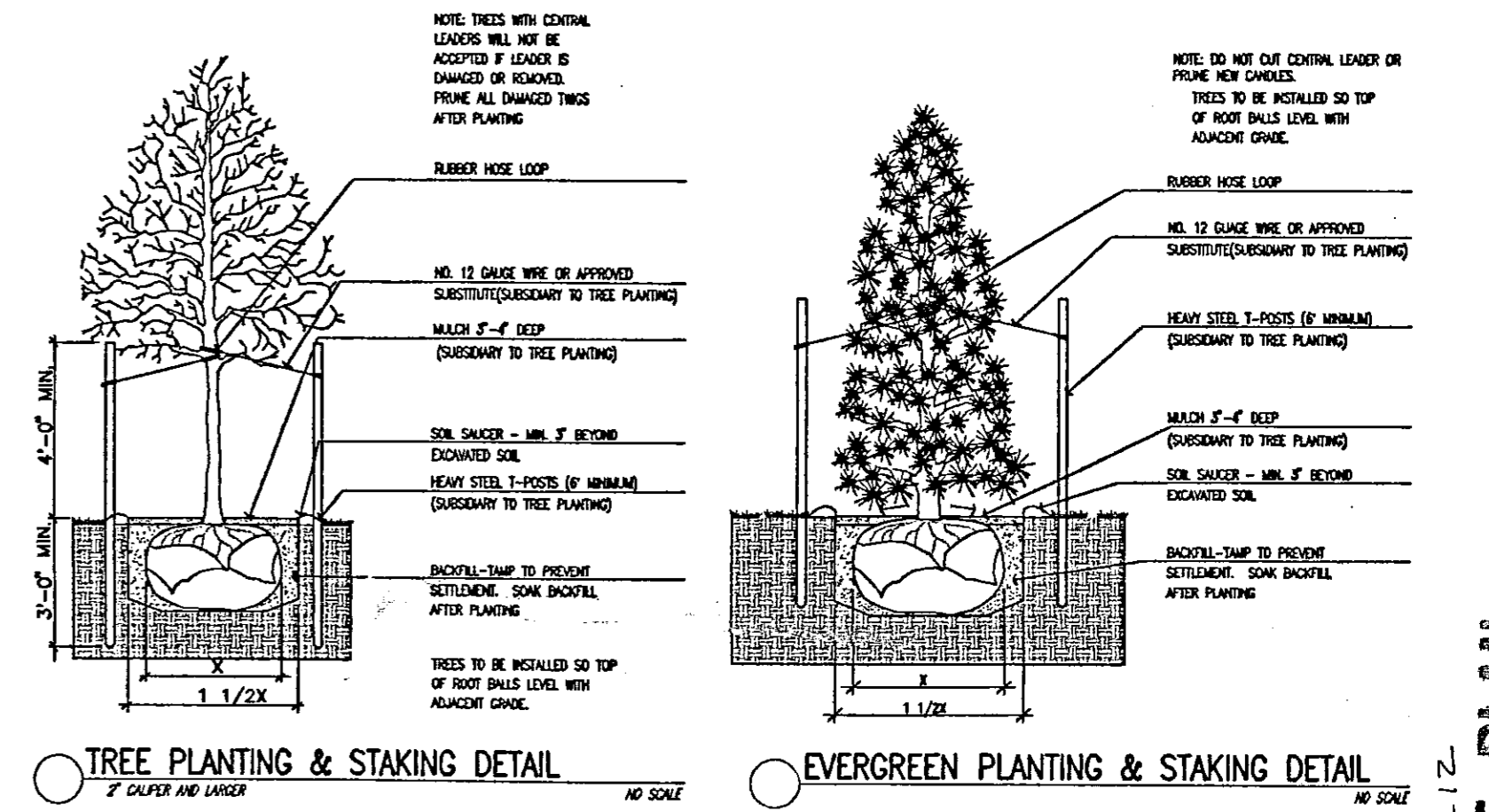
Sht. L-3 of 3

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.3 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



**NOTES:**

- CONTRACTOR SHALL PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS ADVANCE NOTICE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING ANY EXCAVATION, TO KANSAS ONE-CALL SYSTEM, A UTILITY LOCATION SERVICE, AT (316) 687-2470 TO REQUEST THE FOLLOWING UTILITY COMPANIES TO LOCATE ALL EXISTING LINES WITHIN THE PROJECT AREA: K.G.S. GAS, WESTAR ENERGY ELECTRIC, SOUTHWESTERN BELL TELEPHONE, COX COMMUNICATIONS, CITY OF WICHITA SEWER MAINTENANCE AND CITY OF WICHITA WATER DEPARTMENT.
- CONTRACTORS SHALL SATISFY THEMSELVES OF SURFACE AND SUBSURFACE CONDITIONS PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
- THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND IMPROVEMENTS CONSTRUCTED UNDER OTHER PROJECTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO IMPROVEMENTS IN PLACE. COSTS FOR COORDINATION AND REPAIRS TO IMPROVEMENTS IN PLACE, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE HIGH-QUALITY NURSERY GROWN STOCK WHICH MEETS THE "AMERICAN ASSOCIATION OF NURSERYMEN" STANDARDS AS SPECIFIED BY THE "AMERICAN NATIONAL STANDARDS INSTITUTE" IN ANSI Z60.1-1986 OR AS MAY BE AMENDED IN THE FUTURE.
- MULCH ALL SHRUB BEDS AND TREES WITH A MINIMUM OF 3" SHREDDED CEDAR MULCH.
- ALL TURF AREAS ARE TO BE SODDED WITH PREMIUM BLEND FESCUE UNLESS NOTED OTHERWISE. ALL OTHER DISTURBED AREAS ARE TO BE SEEDED.
- ALL PLANT MATERIALS SHALL BE WATERED BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM EQUIPPED WITH A MOISTURE-SENSING DEVICE OR A RAIN SHUT-OFF SWITCH.
- REMOVE SUBGRADE, LIME AND COMPACTED MATERIAL WITHIN THE LIMITS OF THE CURB AND GUTTER OF ALL LANDSCAPED ISLANDS PER REQUIREMENTS OF THE LANDSCAPING CONTRACTOR. REPLACE WITH TOPSOIL.



**LEGAL DESCRIPTION**

A tract of land located on a portion of Lots 1 and 10, Block 1, Regency Lakes Commercial Addition, an addition to Wichita, Sedgwick County, Kansas; more particularly described as follows:  
 Beginning at the S.W. corner of Lot 10, Block 1, Regency Lakes Commercial, an addition to Sedgwick County, Kansas; thence N00°43'50"W along the West line of said Lot 10, a distance of 785.01 feet; thence N88°59'57"E, a distance of 1005.01 feet; thence S00°43'50"E, a distance of 785.01 feet to the South line of Lot 1, Block 1 of said Regency Lakes Commercial Addition; thence S88°59'57"W along the South line of Lots 1 and 10, a distance of 1005.01 feet to the point of beginning.

**LANDSCAPE ORDINANCE REQUIREMENTS**

LANDSCAPED STREET YARD REQUIRED: 1005'(21st Street Frontage) x 20' (Sq.Ft. Factor From Table 2.1)  
 20,100 sq.ft. (Total Landscaped Street Yard Required)

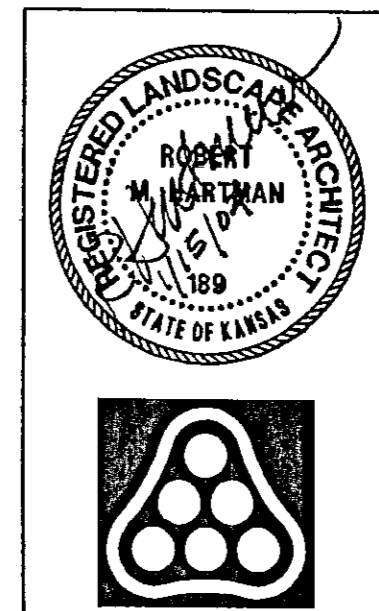
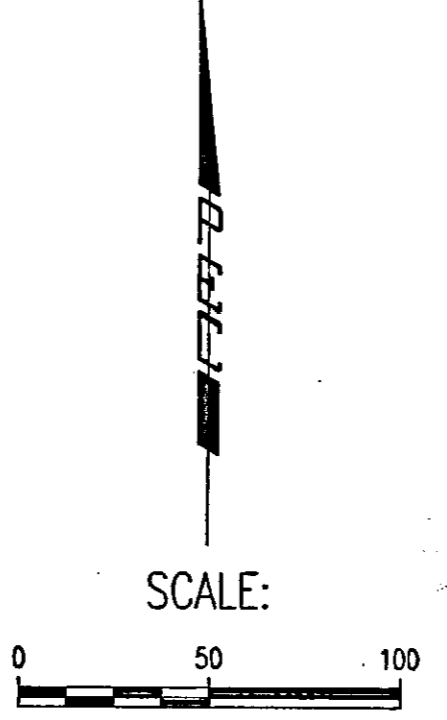
LANDSCAPED STREET YARD PROVIDED: 120,065 SQ.FT.  
 STREET YARD TREES REQUIRED: 41 SHADE TREES  
 STREET YARD TREES PROVIDED:  
 57 (47 SHADE TREES : 20 ORNAMENTAL TREES)  
 PARKING SPACES: 842  
 PARKING LOT TREES REQUIRED: 43 SHADE TREES (22 IN ISLANDS)  
 PARKING LOT TREES PROVIDED: 98 (68 IN ISLANDS)  
 PARKING LOT SCREENING: BERM ALONG 21 ST NORTH  
 BUFFER WITH SCREENING (ADJACENT TO RESIDENTIAL):  
 6' MASONRY SCREENING WALL  
 BUFFER TREES REQUIRED: 20  
 BUFFER TREES PROVIDED: 20



**REVIEWED BY:**

Site Development Manager	Revise and Resubmit	Not Reviewed	Approved
Project Architect	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (M)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (E)	Revise and Resubmit	Not Reviewed	Approved
Project Engineer (S)	Revise and Resubmit	Not Reviewed	Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.3 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

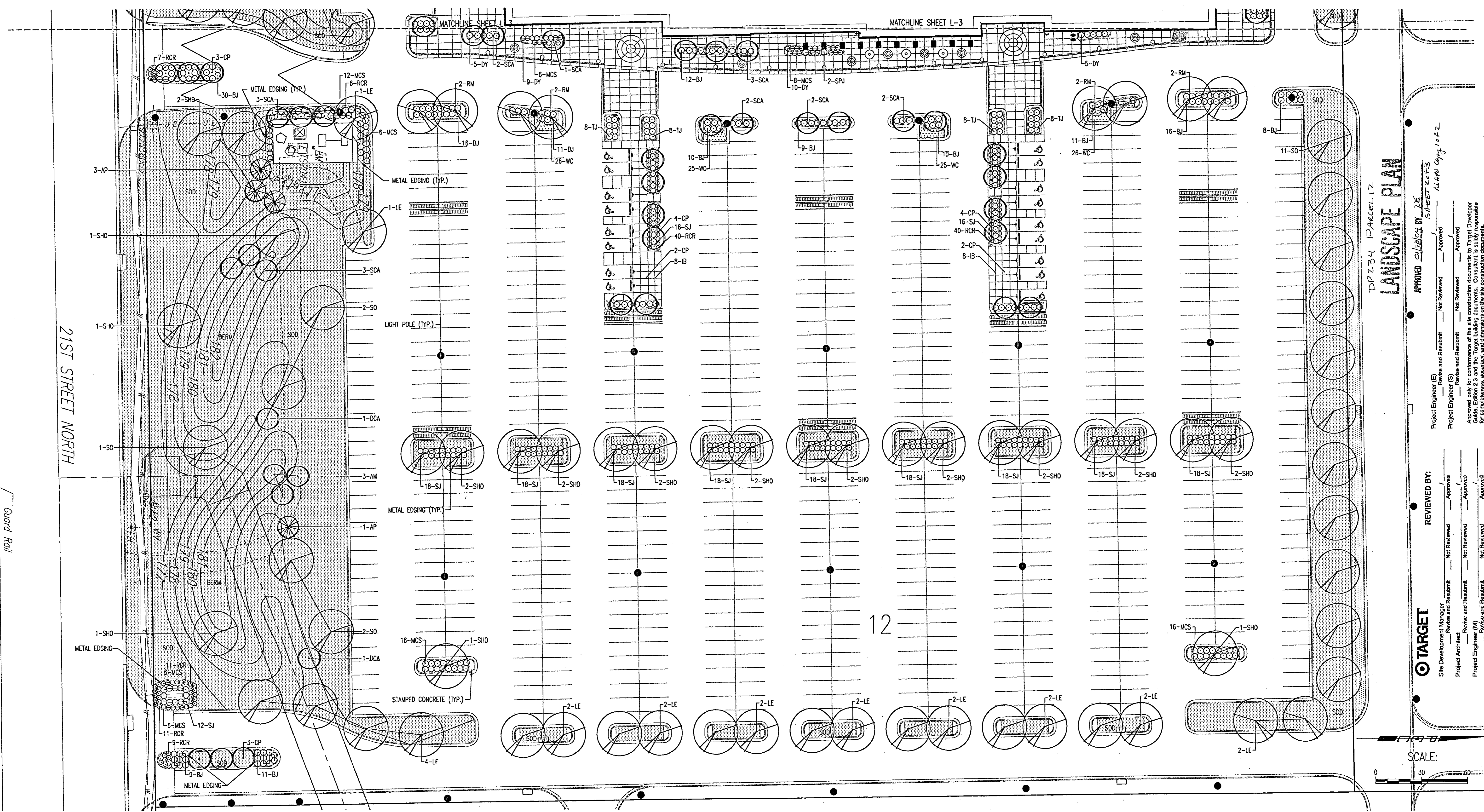


No.	Revision	By	Date
<b>REGENCY LAKES COMMERCIAL          TARGET NE          L-1          OVERALL SITE AND LANDSCAPE DETAILS</b>			
<b>Professional Engineering Consultants, P.A.</b> 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RMH	Job No.	03419-5567
Drawn by	IDK	Date	November, 2003
			Sht. L-1 of 3

DSNR: RMH OPER: IDK SCALE: 1"=50.00  
 01-15-2004 08:19:07 am  
 C:\2003\03419\landscape\L-1

DP-234 Parcel 1, 2  
**LANDSCAPE PLAN**  
 APPROVED BY: [Signature]  
 SHEET 1 of 3  
 NWARD COPY Lot 2

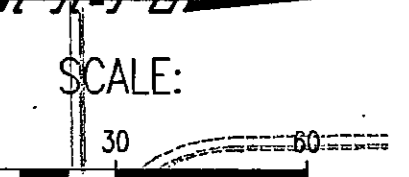
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DP 234 PARCEL 12  
**LANDSCAPE PLAN**

APPROVED *cl/2012* BY *DK*  
 SHEET 2013  
 MAP COPY 1 of 2  
 Project Engineer (E)  Revise and Resubmit  Not Reviewed  Approved   
 Project Engineer (S)  Revise and Resubmit  Not Reviewed  Approved   
 Approved only for conformance of this site construction documents to Target Developer Guide, Edition 2.5 and the Target building documents. Consultant is solely responsible for completeness, accuracy and dimensions on the site construction documents.

**REVIEWED BY:**  
 Site Development Manager  Revise and Resubmit  Not Reviewed  Approved   
 Project Architect  Revise and Resubmit  Not Reviewed  Approved   
 Project Engineer (M)  Revise and Resubmit  Not Reviewed  Approved

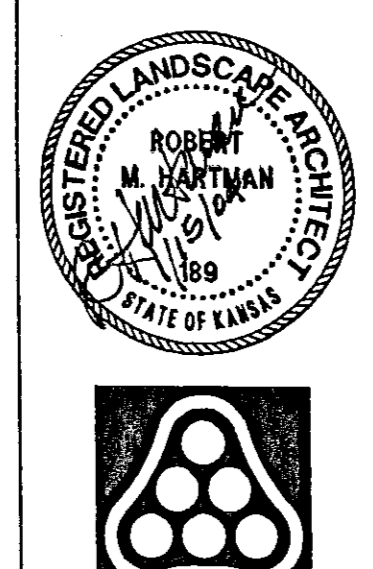


PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>DECIDUOUS SHADE TREES</b>					
LE	32	Loebark Elm	<i>Ulmus parvifolia</i> 'Alicia'	2 1/2" cal.	B&B
CP	10	Autumn Blaze Red Maple	<i>Acer rubrum</i> 'Autumn Blaze'	2 1/2" cal.	B&B
SHO	27	Shumard's Red Oak	<i>Quercus shumardii</i>	2 1/2" cal.	B&B
SO	21	Sawtooth Oak	<i>Quercus acutissima</i>	2 1/2" cal.	B&B
<b>DECIDUOUS ORNAMENTAL TREES</b>					
AM	4	Amur Maple	<i>Acer ginnala</i> 'Flame'	2 1/2" cal.	B&B; Multi-trunk
CP	20	Chanticleer Pear	<i>Pyrus calleryana</i> 'Chanticleer'	2 1/2" cal.	B&B
DCA	3	Donald Wyman Crabapple	<i>Malus</i> 'Donald Wyman'	2 1/2" cal.	B&B
SCA	19	Crabapple, Sargent	<i>Malus sargentii</i>	2 1/2" cal.	B&B

PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>EVERGREEN TREES</b>					
AP	18	Austrian Pine	<i>Pinus nigra</i>	6-7"	B&B
CRG	15	Concert Redcedar	<i>Juniperus virginiana</i> 'Concertii'	6-7"	B&B
<b>DECIDUOUS SHRUBS</b>					
MCS	76	Magic Carpet Spirea	<i>Spiraea x bumalda</i> 'Magic Carpet'	2 Gal.	Container
RCR	124	Red Carpet Rose	<i>Rosa narosa</i>	2 Gal.	Container
WH	14	Winter Honeysuckle	<i>Lonicera fragrantissima</i>	2 Gal.	Container
<b>EVERGREEN SHRUBS</b>					
BJ	153	Broadmoor Juniper	<i>Juniperus sabinna</i> 'Broadmoor'	2 Gal.	Container
DY	29	Densiformis Yew	<i>Taxus x media</i> 'Densiformis'	2 Gal.	Container
IB	16	Inkberry	<i>Ilex glabra</i>	2 Gal.	Container
SJ	222	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	2 Gal.	Container

PLANT MATERIAL LIST					
SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
SPJ	27	Spartan Juniper	<i>Juniperus chinensis</i> 'Spartan'	2 Gal.	Container
TJ	32	Tamarix Juniper	<i>Juniperus sabinna</i> 'Tamariscifolia'	2 Gal.	Container
<b>PERENNIALS</b>					
WC	102	Purple Leaf Winter Creeper	<i>Euonymus fortunei</i> 'Coloratus'	1 Gal.	Container

Sod Area = 24,316 SQ.YD. (Premium Blend Fescue)  
 Metal Edging = 780 L.F.

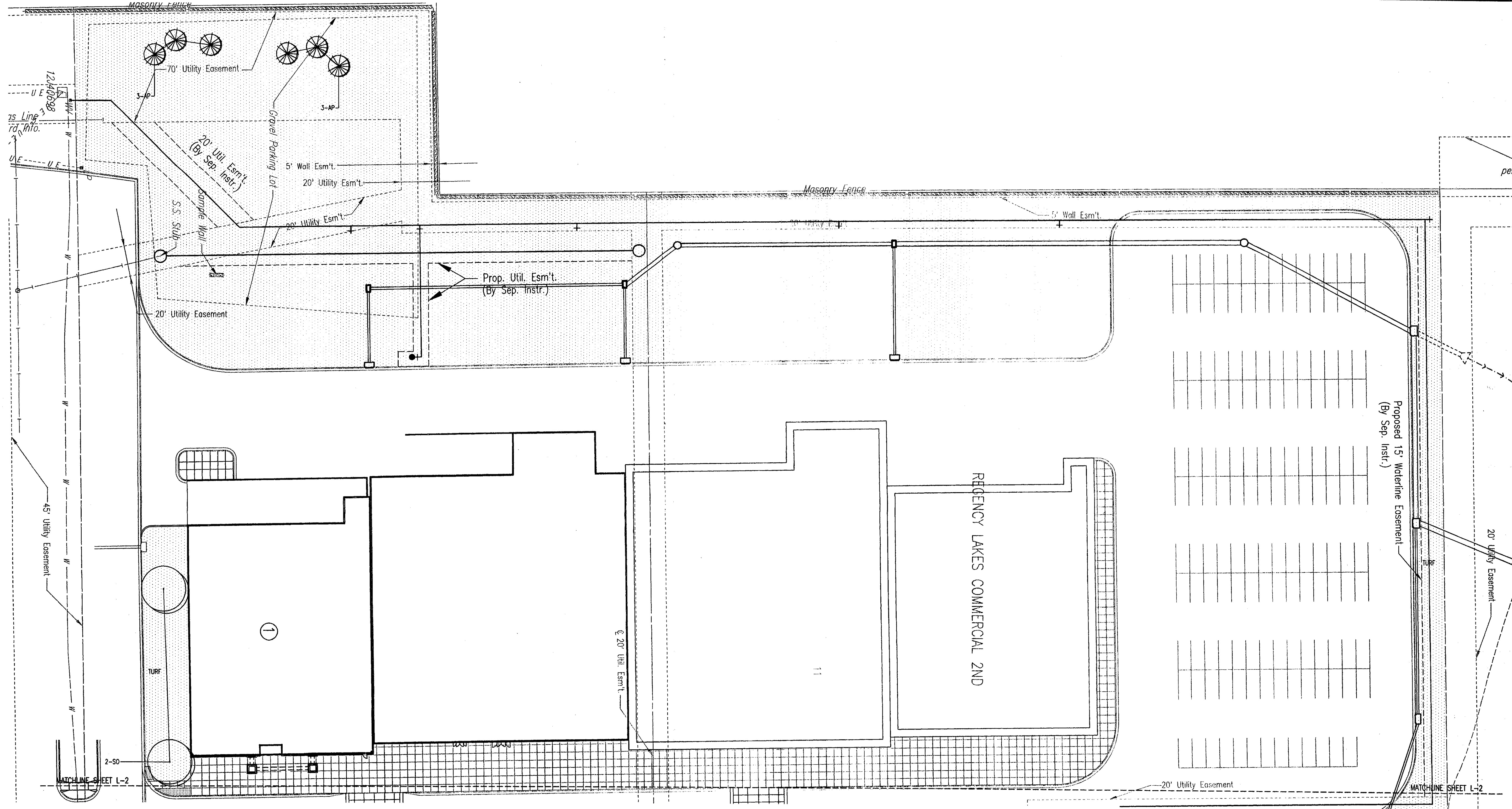


REGENCY LAKES COMMERCIAL  
 TARGET NE  
 L-2  
 LANDSCAPE PLAN

**Professional Engineering Consultants, P.A.**  
 303 S. TOPEKA • WICHITA, KANSAS 67202  
 316-262-2691 • FAX 316-262-3003

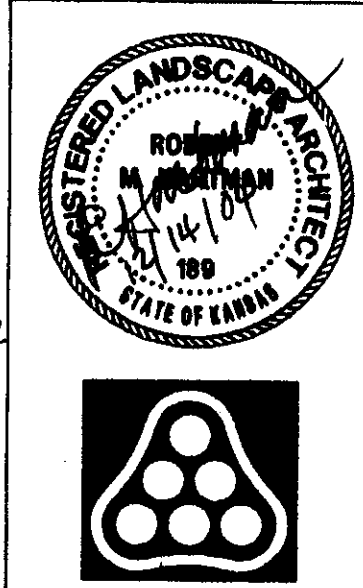
Designed by	RMH	Job No.	03419-5567
Drawn by	IDK	Date	November, 2003

Sht. L-2 of 3



DSNR: RMH OPER: SNW SCALE: 1=30.00  
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DP-234 PORTION OF PARCEL 11  
 (East parking lot's, S 236' of west property line)  
**LANDSCAPE PLAN**  
 APPROVED 04/23/05 BY JG  
 SHEET 3 OF 3 MAPD 04/23/05



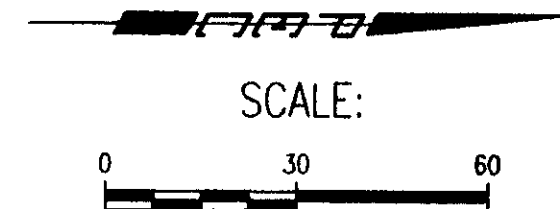
No.	Revision	By	Date

**REGENCY LAKES COMMERCIAL 2ND  
 PHASE 2 INFRASTRUCTURE  
 L-3  
 LANDSCAPE PLAN**

**Professional Engineering Consultants, P.A.**  
 303 S. TOPEKA • WICHITA, KANSAS 67202  
 316-262-2691 • FAX 316-262-3003

Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004

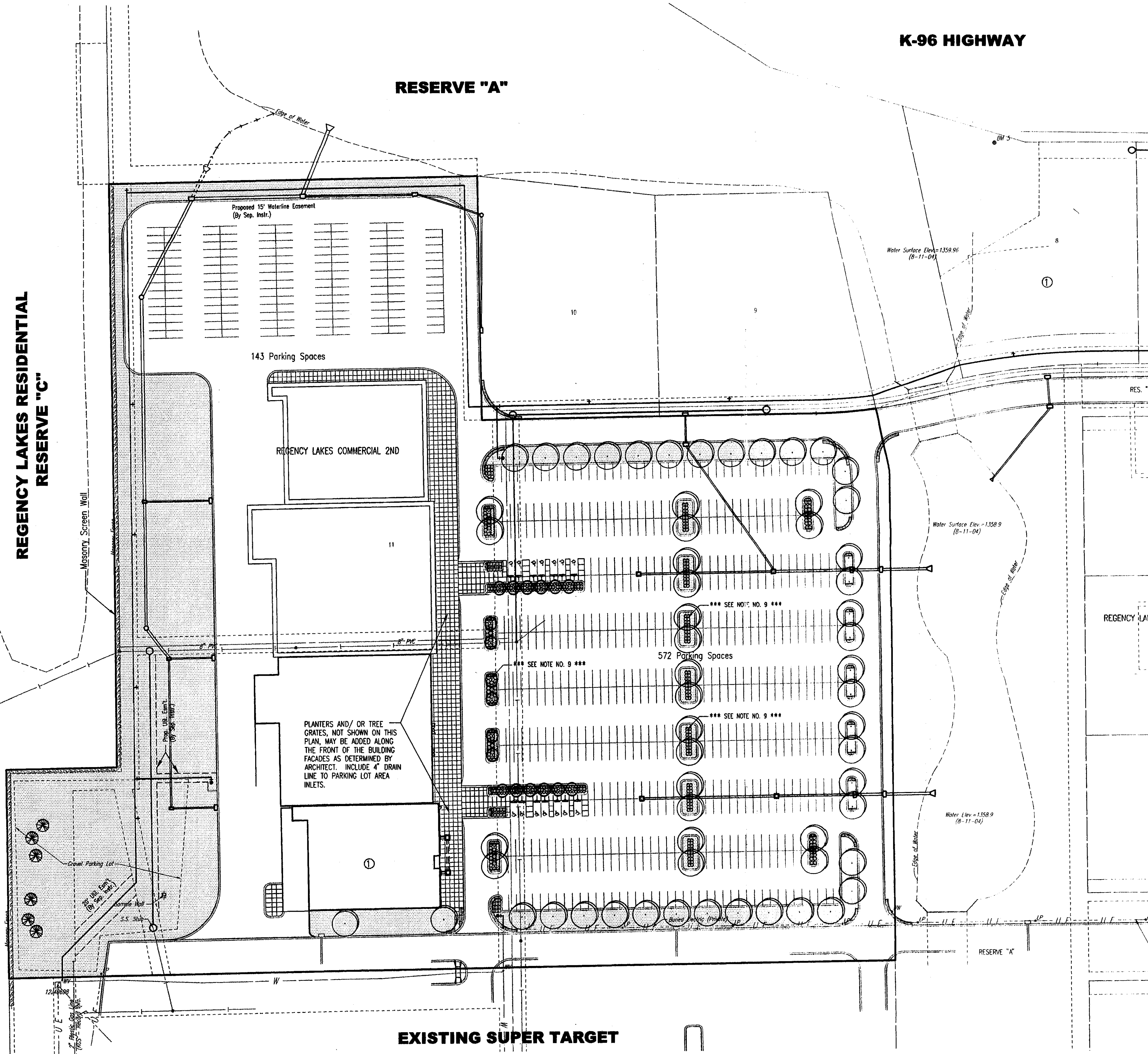
Sht. L-3 of 39



**REGENCY LAKES RESIDENTIAL  
RESERVE "C"**

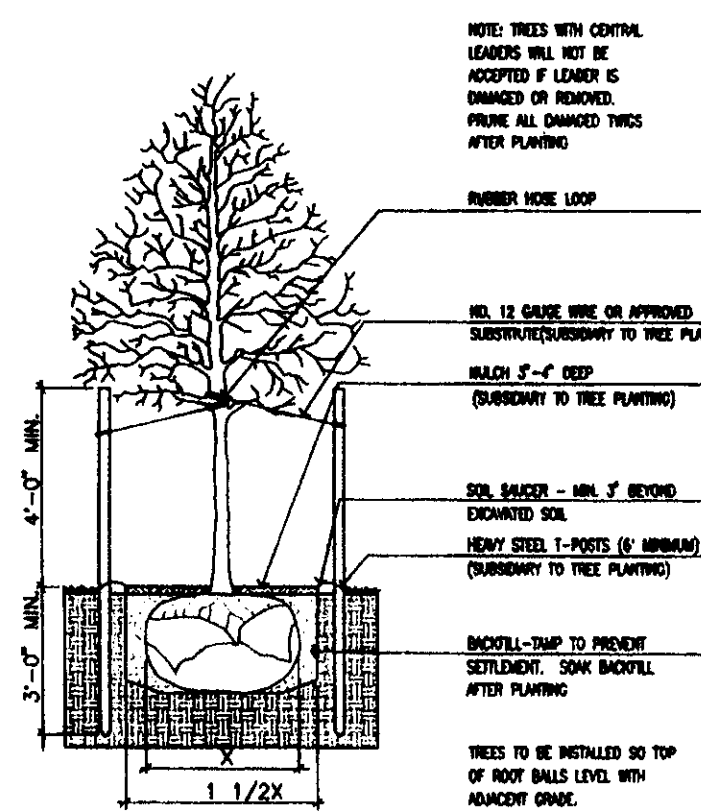
**RESERVE "A"**

**K-96 HIGHWAY**

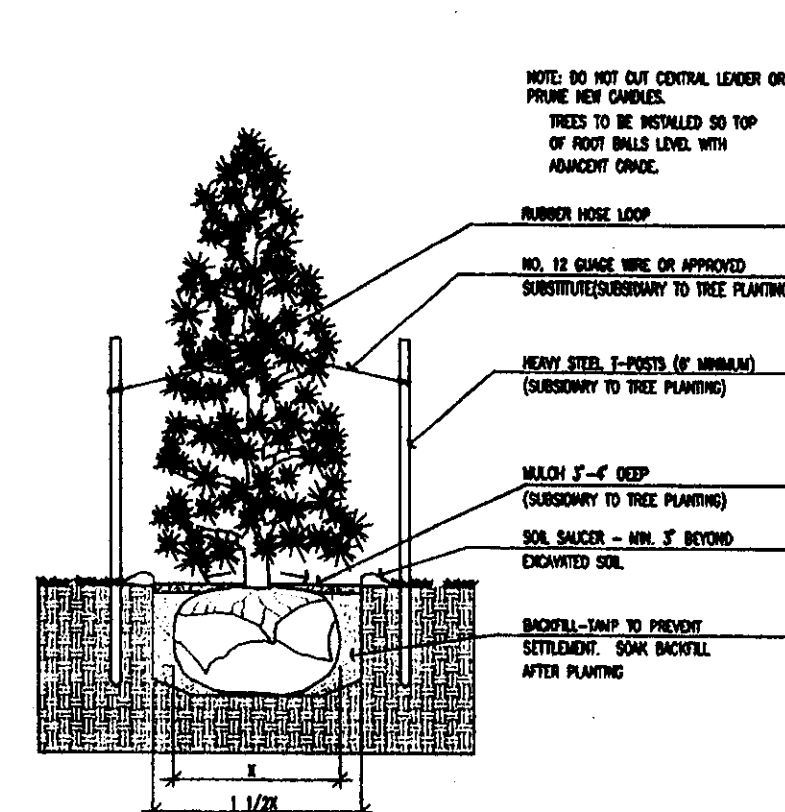


**NOTES:**

1. CONTRACTOR SHALL PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS ADVANCE NOTICE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING ANY EXCAVATION, TO KANSAS ONE-CALL SYSTEM, A UTILITY LOCATION SERVICE, AT (316) 687-2470 TO REQUEST THE FOLLOWING UTILITY COMPANIES TO LOCATE ALL EXISTING LINES WITHIN THE PROJECT AREA: K.G.S. GAS, WESTAR ENERGY ELECTRIC, SOUTHWESTERN BELL TELEPHONE, COX COMMUNICATIONS, CITY OF WICHITA SEWER MAINTENANCE AND CITY OF WICHITA WATER DEPARTMENT.
2. CONTRACTORS SHALL SATISFY THEMSELVES OF SURFACE AND SUBSURFACE CONDITIONS PRIOR TO BIDDING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
4. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND IMPROVEMENTS CONSTRUCTED UNDER OTHER PROJECTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO IMPROVEMENTS IN PLACE. COSTS FOR COORDINATION AND REPAIRS TO IMPROVEMENTS IN PLACE, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR.
5. ALL PLANT MATERIAL SHALL BE HIGH-QUALITY NURSERY GROWN STOCK WHICH MEETS THE "AMERICAN ASSOCIATION OF NURSERYMEN" STANDARDS AS SPECIFIED BY THE "AMERICAN NATIONAL STANDARDS INSTITUTE" IN ANSI Z60.1-1986 OR AS MAY BE AMENDED IN THE FUTURE.
6. MULCH ALL SHRUB BEDS AND TREES WITH A MINIMUM OF 3" SHREDDED CEDAR MULCH.
7. ALL TURF AREAS ARE TO BE PREMIUM BLEND FESCUE. REFER TO OWNER TO DETERMINE AREAS TO BE SEEDED OR SODDED.
8. ALL PLANT MATERIALS SHALL BE WATERED BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM EQUIPPED WITH A MOISTURE-SENSING DEVICE OR A RAIN SHUT-OFF SWITCH.
9. REMOVE SUBGRADE, LIME AND COMPACTED MATERIAL WITHIN THE LIMITS OF THE CURB AND GUTTER OF ALL LANDSCAPED ISLANDS, PLANTERS, AND TREE GRATES PER REQUIREMENTS OF THE LANDSCAPING CONTRACTOR. REPLACE WITH TOPSOIL.



**TREE PLANTING & STAKING DETAIL**  
NO SCALE



**EVERGREEN PLANTING & STAKING DETAIL**  
NO SCALE

**LEGAL DESCRIPTION**

Lot 11 Block 1 Regency Lakes Commercial 2nd Addition.

DP-234 PORTION OF PARCEL 11  
(East parking lot & S 236' of west property line)  
**LANDSCAPE PLAN**

APPROVED & SIGNED BY: *[Signature]*  
SHEET 1 OF 3 MAP COPY 102

**LANDSCAPE ORDINANCE REQUIREMENTS**

LANDSCAPED STREET YARD REQUIRED: N/A

LANDSCAPED STREET YARD PROVIDED: N/A

STREET YARD TREES REQUIRED: 00 SHADE TREES

STREET YARD TREES PROVIDED:

00 (00 SHADE TREES : 00 ORNAMENTAL TREES)

PARKING SPACES: 715

PARKING LOT TREES REQUIRED: 36 SHADE TREES (18 IN ISLANDS)

PARKING LOT TREES PROVIDED: 69 (63 IN ISLANDS)

PARKING LOT SCREENING: N/A

BUFFER WITH SCREENING (ADJACENT TO RESIDENTIAL):

6' MASONRY SCREENING WALL

BUFFER TREES REQUIRED: 6

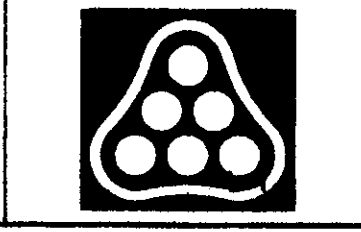
BUFFER TREES PROVIDED: 6

**LEGEND**

- 2.5" MIN. CAL. DECIDUOUS TREE
- 2.5" MIN. CAL. ORNAMENTAL TREE
- ⊗ 2 GAL. SHRUBS
- ⊗ 1 GAL. PERENNIALS



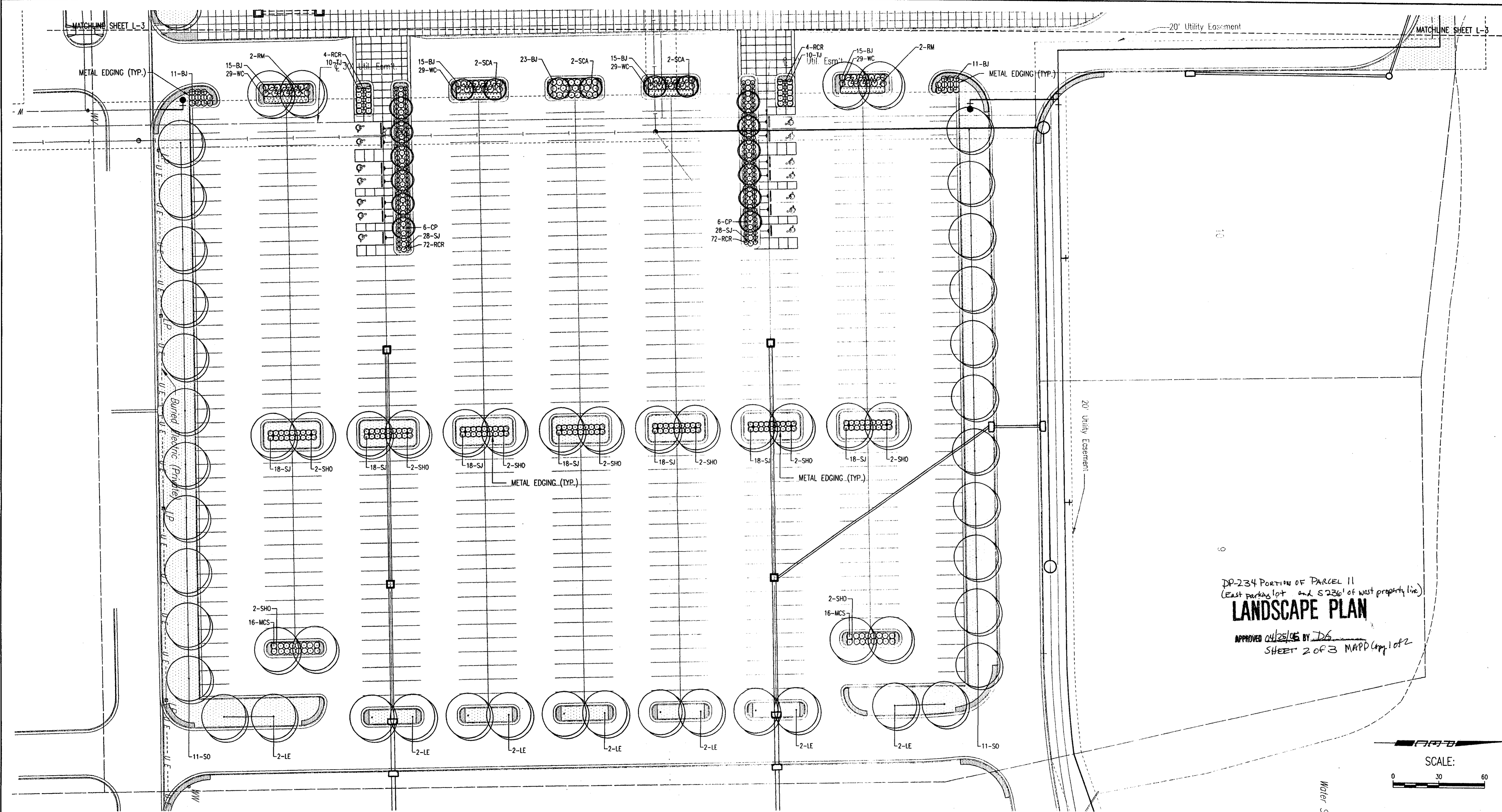
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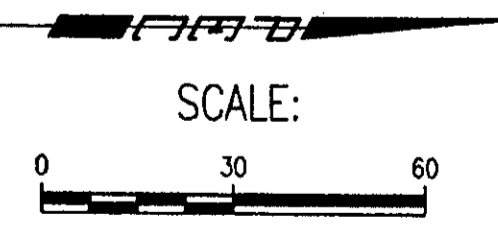
No.	Revision	By	Date
<b>REGENCY LAKES COMMERCIAL 2ND PHASE 2 INFRASTRUCTURE L-1 OVERALL SITE AND LANDSCAPE DETAILS</b>			
<b>Professional Engineering Consultants, P.A.</b> 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004
			Sht. L-1 of 39

04/2004 (04454) Landscape Dec. 2004 [L-1 12-14-2004 03:44:51] pm

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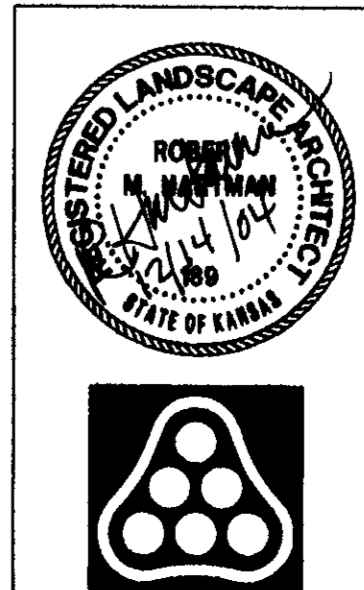
DP-234 PORTION OF PARCEL 11  
 (East parking lot and S 236' of west property line)  
**LANDSCAPE PLAN**  
 APPROVED 04/25/05 BY JG  
 SHEET 2 OF 3 MAPP (copy 1 of 2)



SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>DECIDUOUS SHADE TREES</b>					
LE	14	Lacebark Elm	<i>Ulmus parvifolia</i> 'Alee'	2 1/2" cal.	B&B
RM	4	Autumn Blaze Red Maple	<i>Acer rubrum</i> 'Autumn Blaze'	2 1/2" cal.	B&B
SHO	18	Shumard's Red Oak	<i>Quercus shumardii</i>	2 1/2" cal.	B&B
SO	24	Sawtooth Oak	<i>Quercus occultissima</i>	2 1/2" cal.	B&B
<b>DECIDUOUS ORNAMENTAL TREES</b>					
CP	12	Chanticleer Pear	<i>Pyrus calleryana</i> 'Chanticleer'	2 1/2" cal.	B&B
SCA	6	Crabapple	<i>Malus</i> 'Spring Snow'	2 1/2" cal.	B&B

SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>EVERGREEN TREES</b>					
AP	6	Austrian Pine	<i>Pinus nigra</i>	6-7'	B&B
<b>DECIDUOUS SHRUBS</b>					
MCS	32	Magic Carpet Spiraea	<i>Spiraea x bumalda</i> 'Magic Carpet'	2 Gal.	Container
RCR	152	Red Carpet Rose	<i>Rosa narosa</i>	2 Gal.	Container
<b>EVERGREEN SHRUBS</b>					
BJ	105	Broadmoor Juniper	<i>Juniperus sabin</i> 'Broadmoor'	2 Gal.	Container
SJ	182	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea green'	2 Gal.	Container
TJ	20	Tamarix Juniper	<i>Juniperus sabin</i> 'Tamariscifolia'	2 Gal.	Container

SYMBOL	QUAN.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
<b>PERENNIALS/ VINES</b>					
WC	116	Purple Leaf Winter Creeper	<i>Euonymus fortunei</i> 'Coloratus'	1 Gal.	Container
<b>TURF / LANDSCAPE MATERIALS</b>					
Turf Area = 14,850 SQ.YD. (Premium Blend Fescue)					
Metal Edging = 520 L.F.					



No.	Revision	By	Date
<b>REGENCY LAKES COMMERCIAL 2ND          PHASE 2 INFRASTRUCTURE          L-2          LANDSCAPE PLAN</b>			
<b>Professional Engineering Consultants, P.A.</b> 303 S. TOPEKA • WICHITA, KANSAS 67202 316-262-2691 • FAX 316-262-3003			
Designed by	RRY, DWH	Job No.	04554-3432
Drawn by	SAW	Date	November 2004
			Sht. L-2 of 39

**BRINKER INTERNATIONAL SPECIFICATIONS**  
All work shall be laid out by Landscape Contractor for the Owner's approval prior to start. All material shall be subject to Owner approval.  
Written approval is required by the Owner for any changes.  
Landscape Contractor to provide daily cleanup and maintenance through completion.

The Landscape Contractor shall take all necessary precautions to protect any existing buildings or structures on the site and shall be held responsible for any damage caused by his work.  
Guarantee: All material and labor for (12) twelve months after acceptance of project for material either dead or not in healthy condition. Contractor shall water all material during period of project.

It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over and to straighten or replant all plants which are damaged due to lack of guying or staking if unstaked. Plants blown over by wind shall not cause additional expense to the Owner but be the financial responsibility of the Landscape Contractor.

Landscape Contractor shall not be responsible at any time to replace or honor any warranty for the loss of any tree, plants, groundcover, or sod due to fires, floods, freezing temperatures, lightning, winds in excess of 50 mph, or any natural disaster.

Unless otherwise specified on these plans, the Landscape Contractor shall be responsible for the fine grading of the planting or any sodded areas. Fine grading shall consist of the final .10 foot of the grade to be achieved.

Topsoil material, when called for on the plans, shall be free of hard clods, stiff clay, hard pan, stones larger than 3/4" diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to proper growth.

The Landscape Contractor shall be advised of the existence of underground utilities on the site. Their exact location shall be verified in the field with the Owner or the General Contractor prior to the commencement of any digging operations. In the event they are uncovered, the Landscape Contractor shall promptly notify the Owner. The Landscape Contractor shall be responsible for any and all damages to utilities and such damage shall not cause any additional expense to the Owner. Any damage to unreported lines shall not be the responsibility of the Landscape Contractor.

Landscape Contractor shall provide planted and guaranteed unit prices for all work.

Plant list quantities are provided as an aid to bidders only. The Landscape Contractor is responsible for verifications of plant material quantities on plan. Improper plant counts made by the Landscape Contractor shall be no cause for additional expense to the Owner.

Plants should conform to the American Association of Nurseryman Standards.

The Landscape Contractor shall verify the compliance of landscape plans with the city minimum requirements.

The Landscape Contractor is responsible for the protection (with physical barriers) and maintenance of existing and transplanted trees during construction (where applicable).

The Landscape Contractor is to adjust planting as needed to allow for the screening of proposed electrical transformers.

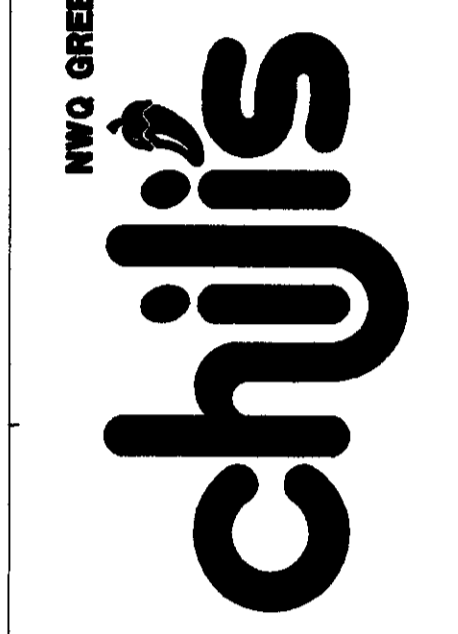
The Landscape Contractor to coordinate placement of plant material with the site and building lighting locations as per architectural plans.

Lawns: Areas to be sodded shall be raked of stones and debris. Debris and stones over 3/4" in diameter shall be removed from the site. All damaged sod will be rejected. All sod must be placed with staggered joints, tightly butted, with no inequalities in grade. Place all sod in rows at right angles to slopes (where applicable).

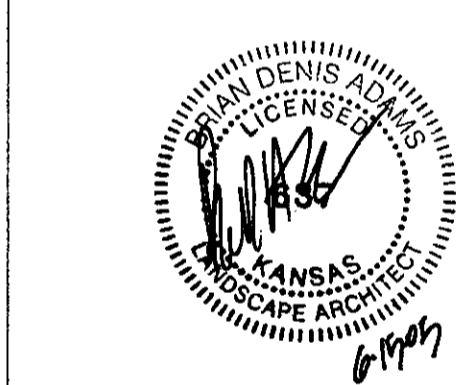
**GENERAL NOTES**

- Planting layout, based on prototype landscape plan, is to be provided by Brinker International Design Department.
- Final location of all planting shall be determined in the field by the Owner's Construction Manager.
- Any modifications to planting layout, plant materials, etc. shall be approved by the Owner's Construction Manager prior to execution.
- All areas to be irrigated by an automatic irrigation system with time clock and rain and freeze sensors. Landscape Contractor to verify and adjust for any site visibility angles.
- Landscape Contractor to provide river rock where noted on drawings. River rock to be "Colorado" River Rock or approved equal, 2"-4" diameter.

1100 GREENWICH RD & 21ST ST.  
N. WICHITA, KS  
STORE #1185



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION



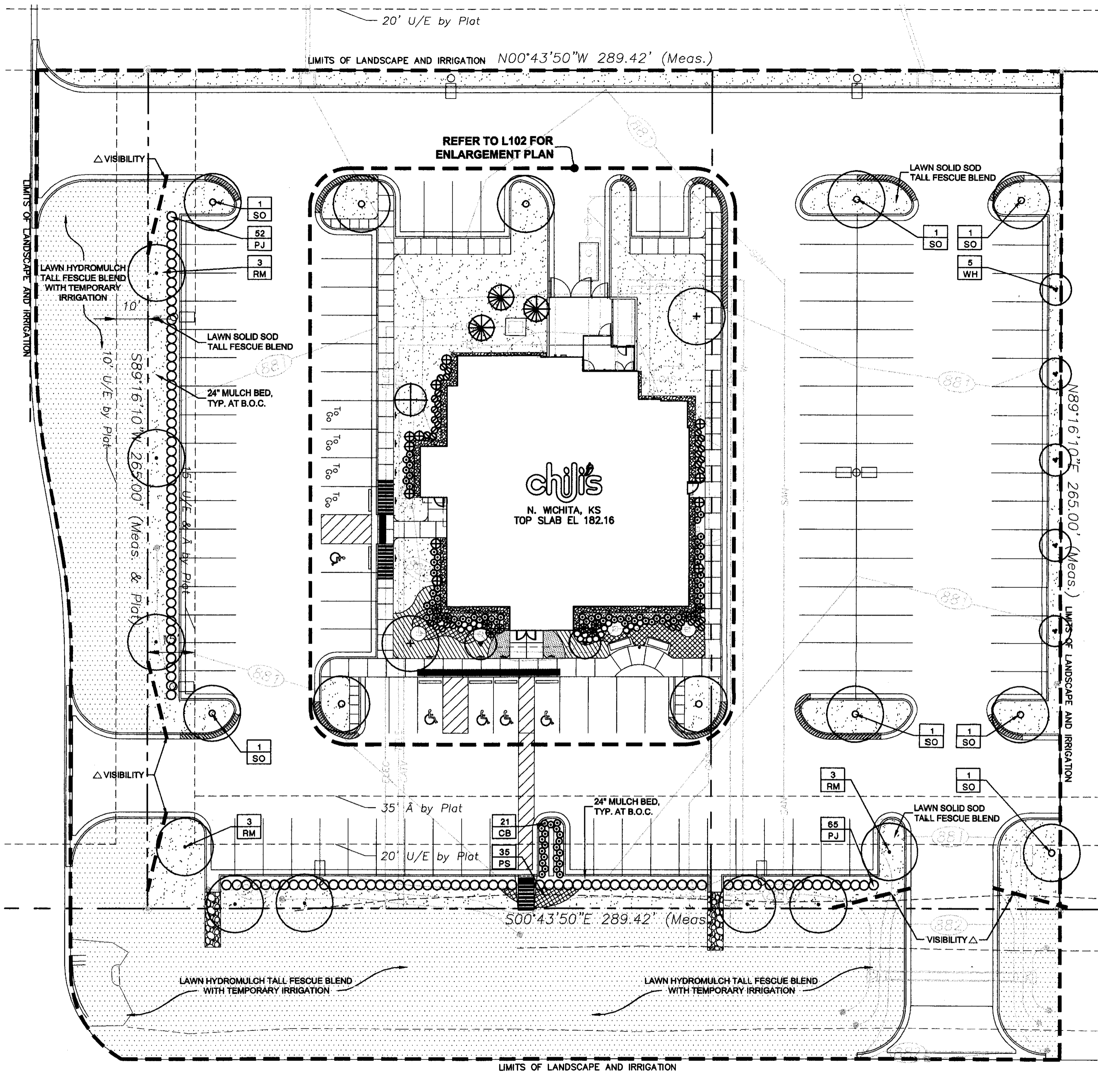
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NO REVISION

**PROJECT NUMBER**  
**050281**

**SHEET NUMBER**

**L101**



**LANDSCAPE TABULATIONS**

**STREET YARD**  
Required: 10 s.f. per linear foot of street frontage for average lot depth 125' - 275' and 15 s.f. per linear foot of street frontage for average lot depth 275' - 375'.  
(1) shade tree or (2) ornamental trees for every 500 s.f. of required street yard.

**GREENWICH ROAD RWY (286.42 LI)**  
Required: (8) shade trees  
Provided: (13) shade trees  
6,532 s.f.

**PARKING LOT SCREEN (120 parking spaces)**  
Required: Minimum 5' width with shrubs, 38" ht. after 3 years of growth plus (1) shade tree or (2) ornamental trees per 20 parking spaces. 25 s.f. of landscape required for each required tree.

Required: (8) shade trees  
Provided: (12) shade trees  
2,938 s.f.  
parking lot screen parking lot screen

**PLANT LIST**

TREES	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	Acer rubrum 'October Glory'	Red Maple 'October Glory'	9	3" cal.	B&B or container grown, 15' ht., 5' spread, 5' branching ht., matching
	Juniperus virginiana	Eastern Redcedar	3	2.5" cal.	B&B or container grown, full to base, 3' spread
	Ulmus parviflora	Lacabark Elm	5	3" cal.	B&B or container grown, 15' ht., 5' spread, 5' branching ht., matching
	Cercis canadensis	Eastern Redbud	1	2.5" cal.	B&B or container grown, 4' spread min.
	Crataegus phaenopynum	Washington Hawthorne	5	2.5" cal.	B&B or container grown, 2-3 trunk, tree form
	Melaleuca spp.	Flowering Crabapple	2	2.5" cal.	B&B or container grown, 4' spread min.
	Quercus aculeata	Sawtooth Oak	7	3" cal.	B&B or container grown, 15' ht., 5' spread, 5' branching ht., matching
	Tilia cordata	Littleleaf Linden	1	3" cal.	B&B or container grown, 15' ht., 5' spread, 5' branching ht., matching

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

**SHRUBS/GROUND COVER**

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
Juniperus tobinia 'Andora'	Andorra Juniper	17	3 gal.	container full, 24" o.c.
Juniperus chinensis 'Pfitzerana'	Pfitzer Juniper	117	5 gal.	container full, 20" spread, 36" o.c.
Buxus microphylla 'Winter Green'	Winter Green Boxwood	22	5 gal.	container full, 18" spread, 24" o.c., 18" ht. min.
Euonymus alatus 'Compacta'	Compact Burning Bush	84	5 gal.	container full, 18" spread, 24" o.c.
Euonymus fortunei 'Coloratus'	Wintercreeper	165	4" pots	container (3) 12" runners min., 18" o.c.
Liriodie muscari 'Majestic'	Liriodie 'Majestic'	105	1 gal.	container full top of container, 18" o.c.
Miscanthus sinensis 'Gracillimus'	Miscanthus	4	5 gal.	container full to base, 36" ht.
Juniperus chinensis 'Blue Point'	Blue Point Juniper	12	7 gal.	container full to base, 36" ht.
Pachysandra terminalis	Pachysandra	35	1 gal.	container full, 18" o.c.
Spiraea spp. 'Anthony Waterer'	Anthony Waterer Spiraea	13	3 gal.	container full, 20" spread, 24" o.c.
Taxus x media 'Hicksii'	Hickory Yew	8	7 gal.	container full to base, 36" ht.
Festuca arundinacea	Seasonal Color Tall Fescue Grass	40	4" pots	container full, 12" o.c., selection by owner solid sod, refer to notes

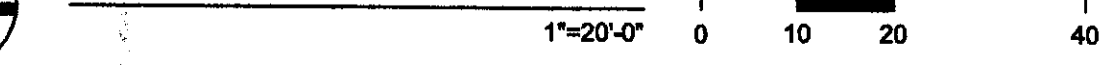
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

**PLANT LEGEND**

QUANTITY PLANT TYPE

SYMBOL	PLANT TYPE
AN	Andorra Juniper
AWS	Anthony Waterer Spiraea
BOX	Winter Green Boxwood
BPJ	Blue Point Juniper
CA	Flowering Crabapple
CB	Compact Burning Bush
ERC	Eastern Redcedar
HY	Hickory Yew
LE	Lacabark Elm
LJR	Liriodie 'Majestic'
LL	Littleleaf Linden
MIS	Miscanthus
PJ	Pfitzer Juniper
PS	Pachysandra
RB	Eastern Redbud
RM	Red Maple
SC	Seasonal Color Sawtooth Oak
SO	Sawtooth Oak
WC	Wintercreeper
WH	Washington Hawthorne

**LANDSCAPE PLAN**

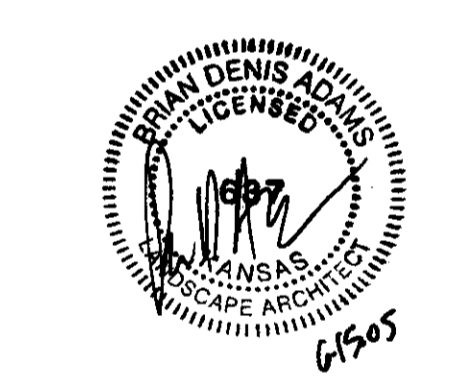


DP-234 PARCEL 4  
**LANDSCAPE PLAN**

APPROVED 06/22/05 BY D.G.  
SHEET 1 of 3  
MARPCOPY 1 of 2



DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
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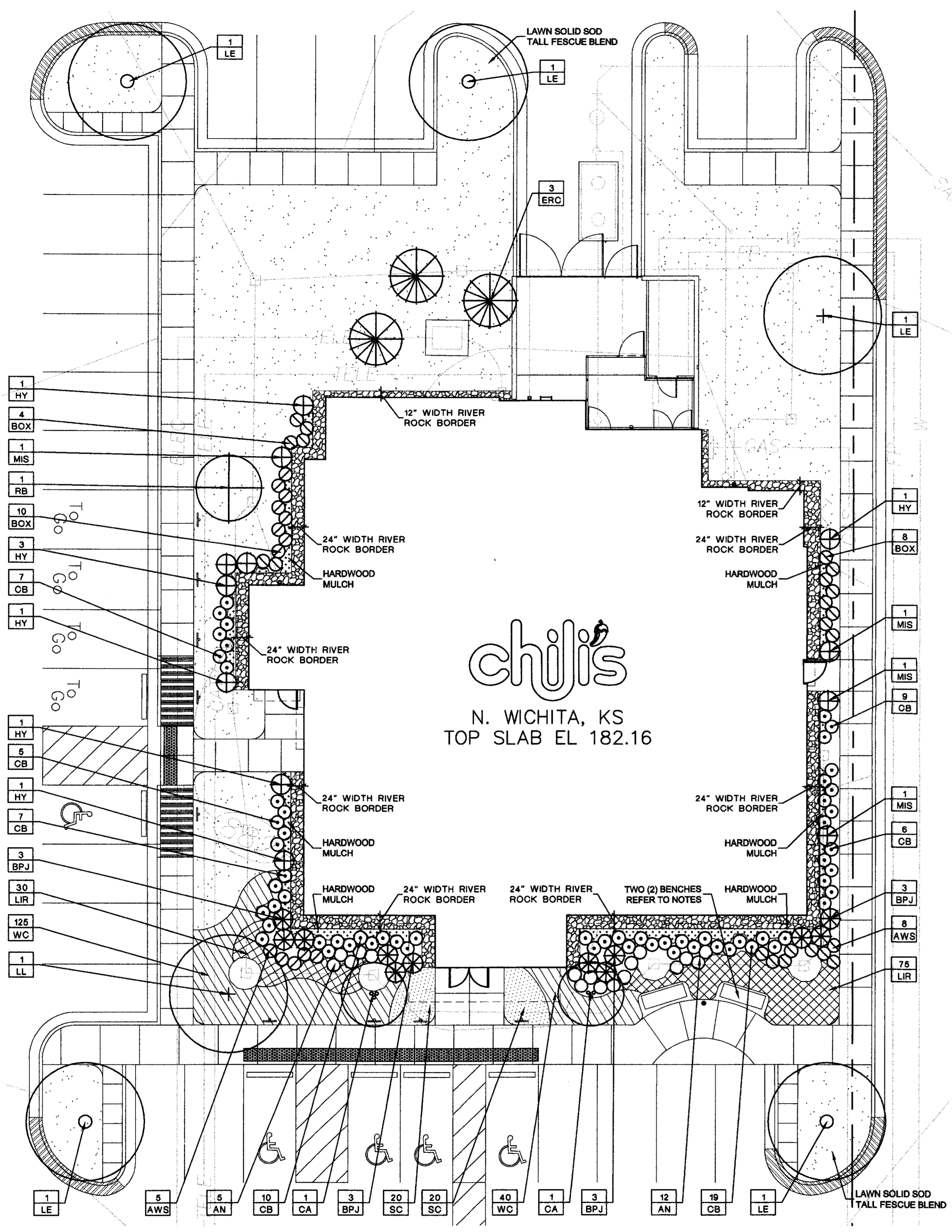


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NO REVISION

PROJECT NUMBER  
**050281**

SHEET NUMBER  
**L102**



- MAINTENANCE NOTES**
- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
  - All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
  - All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
  - All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
  - All plant material which dies shall be replaced with plant material of equal or better value.
  - Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

- BENCH NOTES**
- Benches to be provided by Owner and shipped with 'Furniture Delivery Truck.'
  - General Contractor to assemble and install benches.
  - Secure benches to concrete pad with (4) concrete lapping bolts for each bench.
  - Concrete pad for benches to meet specifications of sidewalks.
  - Size of concrete pad shall be 3'-0" deep and 8'-0" wide.
  - Maintain at least 3'-0" between concrete pad.

- HYDROMULCH NOTES**
- All lawn areas to be Hydromulch Bermudagrass, unless noted otherwise on drawings.
  - Contractor shall scarify, rip, loosen all areas to be hydromulched to a minimum depth of 4" prior to topsoil and hydromulch installation.
  - Bermudagrass seed shall be extra hulled and treated lawn type and shall be delivered to the site in its original unopened container, and shall meet Texas State Law requirements.
  - Fiber: Shall be one hundred (100%) percent Wood Cellulose Fiber, delivered to the site in its original unopened container. 'Conweb' or equal.
  - Fiber Tack: Shall be delivered to the site in its original unopened container, and shall be 'Terra-Tack one', as manufactured by Growers, Inc., or equal.
  - Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1000) square foot.
  - Use a 4'x8" batter board against all beds areas.
  - All lawn areas to be hydromulched, shall have one hundred (100%) percent coverage prior to final acceptance.
  - Contractor shall maintain all lawn areas until final acceptance. This shall include but not be limited to: mowing, watering, weeding, cultivating, cleaning, and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
  - Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply as necessary.

- LANDSCAPE NOTES**
- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
  - Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
  - Contractor is responsible for obtaining all required landscape and irrigation permits.
  - Contractor to provide a minimum 2% slope away from all structures.
  - All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
  - All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
  - All lawn areas to be Solid Sod Tall Fescue Blend, unless otherwise noted on the drawings.

- GENERAL LAWN NOTES**
- Fine grade areas to achieve final contours indicated on civil plans.
  - Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
  - All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
  - Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn.
  - Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
  - All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
  - All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.

- SOLID SOD NOTES**
- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
  - Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
  - All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
  - Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
  - Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
  - Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
  - Water sod thoroughly as sod operation progresses.
  - Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
  - Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.

**PLANT LEGEND**

SYMBOL	PLANT TYPE
AN	Andorra Juniper
AWS	Anthony Waterer Spirea
BOX	Winter Green Boxwood
BPJ	Blue Point Juniper
CA	Flowering Crabapple
CB	Compact Burning Bush
ERC	Eastern Redcedar
HY	Hickory
LE	Lacebark Elm
LIR	Liriope 'Majestic'
LL	Littlesleaf Linden
MIS	Miscanthus
PJ	Pfitzer Juniper
PS	Pachysandra
RB	Eastern Redbud
RM	Red Maple
SC	Seasonal Color
SO	Sawtooth Oak
WC	Wintercreeper
WH	Washington Hawthorne

DP-234 PARCEL 4  
**LANDSCAPE PLAN**  
APPROVED 06/23/05 BY DG  
SHEET 2 OF 3  
MAPD Copy 1 of 2



LANDSCAPE SPECIFICATIONS

SECTION 02900

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work Included: Furnish all supervision, labor, materials, services, equipment and supplies required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition; by American National Standards Institute, Inc. (ANSI) plant material.
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards.
D. Hortis Third, 1979 - Cornell University.
1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
C. Product Data: Submit complete product data and specifications on all other specified materials.
D. Submit three representative samples of each variety of ornamental tree, shrub, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1) inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

Section 02900 - 01

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary for maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be conducted prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same kind and size as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and retrofitted for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury by storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

Section 02900 - 02

1.7 QUALITY ASSURANCE

C. Selection of Plant Material (cont.)

- 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.
1.8 PRODUCT DELIVERY, STORAGE AND HANDLING
A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
B. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect plants from deterioration during delivery and name of manufacturer. Protect plants from deterioration during delivery and name of manufacturer.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heating in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tip. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complementary; anything called for on one is binding as to the other as shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well shaped, full branched, and well rooted. The plants shall be free from fibrous insects, diseases, injuries to the bark or roots, broken branches, objectionable deformities, insect eggs and larvae and are to be of specimen quality.
D. Approval: All plant materials shall be subject to the approval of the Owner and/or Landscape Architect. All plants which are found unable to grow, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
E. Trees shall be healthy, full branched, well shaped, and shall meet the trunk diameter and height requirements of the plant schedule. Balled and Burlapped shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1) inch of trunk diameter, measured six (6) inches above ball.
a. Nomenclature conforms to customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
F. Pruning: All pruning of trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the Owner.

Section 02900 - 03

3.2 INSTALLATION (CONT.)

- F. Shrub and tree pits shall be no less than two (2) feet, twenty-four (24) inches wider than the lateral dimension of earth ball and six (6) inches deeper than its vertical dimension. Remove and haul from site all rocks or stones over one (1) inch in diameter. Plants should be thoroughly moist before removing containers.
G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to be moved to another location or have pier hole drainage added.
I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all twigs, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of root scaring.
J. Do not wrap trees.
K. Do not over prune.
L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball ungrazed and mulch with at least two (2) inches of specified mulch.
M. All plant beds and trees to be mulched with a minimum settled thickness of two (2) inches over the entire bed or pit.
N. Obstructions below ground: In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6) inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

Section 02900 - 07

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- 1. Friable, fertile, dark, loamy soil free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
Clay-between 7-27 percent
Silt-between 10-26 percent
Sand-less than 62 percent
3. Organic matter 10-20 percent
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
C. Premixed Bedding Soil as applied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as applied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as applied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: FerriLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8"x4" with stakes 4' on center.
B. Staking Material for Shade Trees:
1. Post: Studded T-Post, no.1 Armo with anchor plate; 6'-0" length; paint black.
2. Wire: 12 gauge galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
D. Filter Fabric: Mirafl 140N by Celanese Fibers Marketing Company, Available at Lottland Co., (214) 631-0260 or approved equal.
E. River Rock: "Colorado" River Rock or approved equal, 2"-4" diameter.

Section 02900 - 04

3.2 INSTALLATION (CONT.)

- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.
P. Pruning and Mulching: Each area shall be pruned in accordance with standard horticultural practice to preserve the natural character of the plant and in the manner fitting its use in the landscape design.
1. Dead wood or suckers and broken or badly bruised branches shall be removed immediately after planting operations are completed. All tree pits shall be covered with a layer of specified mulch two (2) inches in depth. This limit of the specified mulch for trees shall be the diameter of the plant pit.
Q. Steel Curbing Installation:
1. Curbing shall be aligned as indicated on plans.
2. All steel curbing shall be free of kinks or abrupt bends.
3. Top of curbing shall be 1/2" maximum higher than existing grade.
4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
5. Do not install steel edging along sidewalks.
6. Cut steel edging at 45 degree angle where edging meets sidewalk.
3.3 CLEANUP AND ACCEPTANCE
A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site at work progress. Keep paved areas clean by sweeping or hosing at end of each days' work.

Section 02900 - 08

END OF SECTION

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

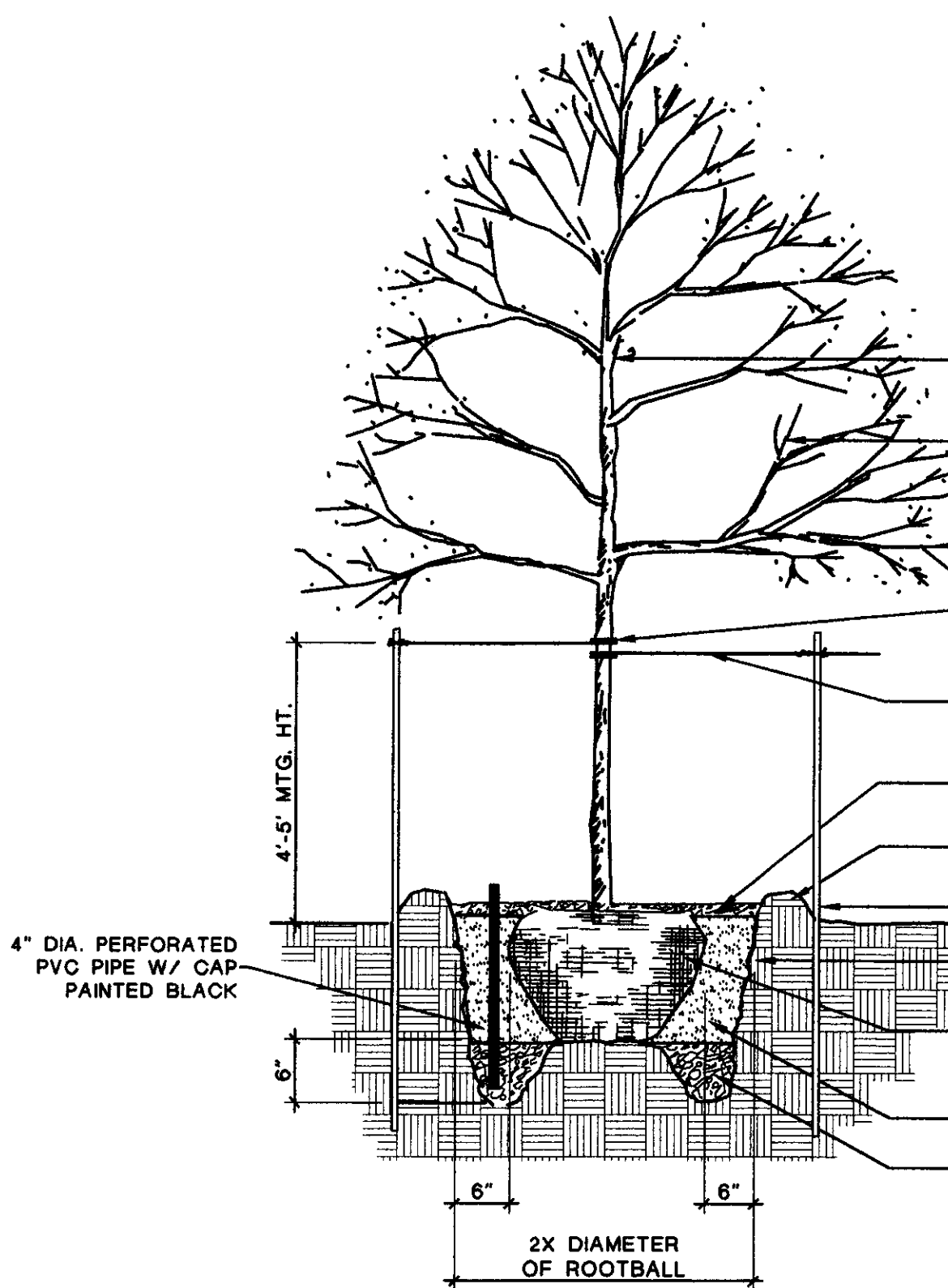
- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six inches prior to fertilizer and compost application. Apply fertilizer as per manufacturer's recommendations. Add six (6) inches of compost and till into a depth of six (6) inches of the native soil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting bed areas shall receive a two (2) inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing topsoil on site, free from large clumps, rock, debris, oallone, etc., placed in nine (9) inch layers and watered in thoroughly.
C. Grass Area:
1. Areas to be Tall Fescue Blend: Blocks of sod should be laid joint to joint, staggered joints after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hybridoma Common Bermudagrass: Hybridoma with Tall Fescue Blend seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

Section 02900 - 05

3.2 INSTALLATION

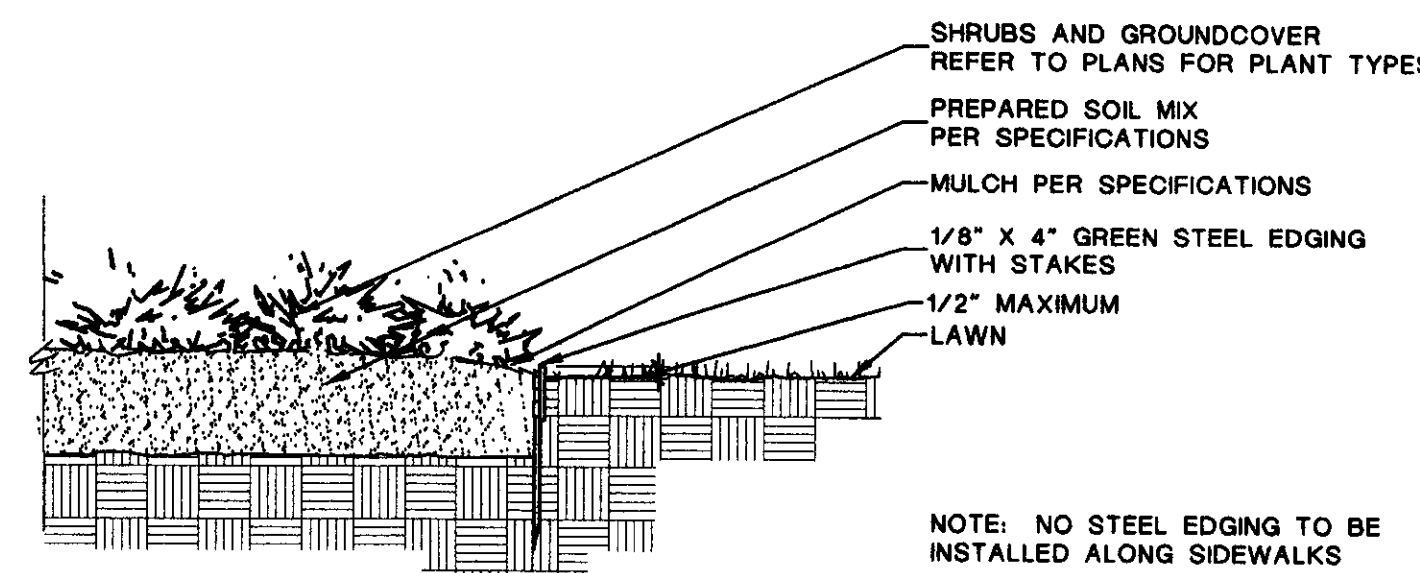
- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants, trees and shrubs in their intended location as per plan.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit planting and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relation to the finish grade that it did to soil surface in place of growth.

Section 02900 - 06



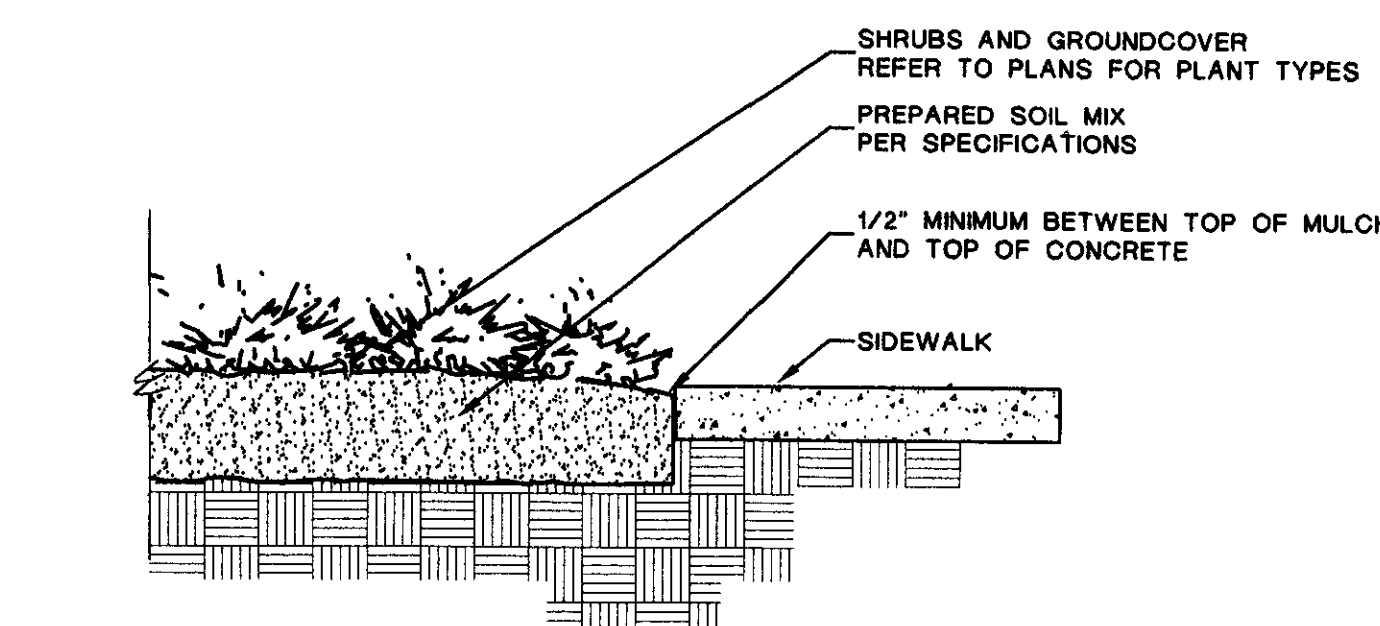
01 TREE PLANTING DETAIL

NOT TO SCALE



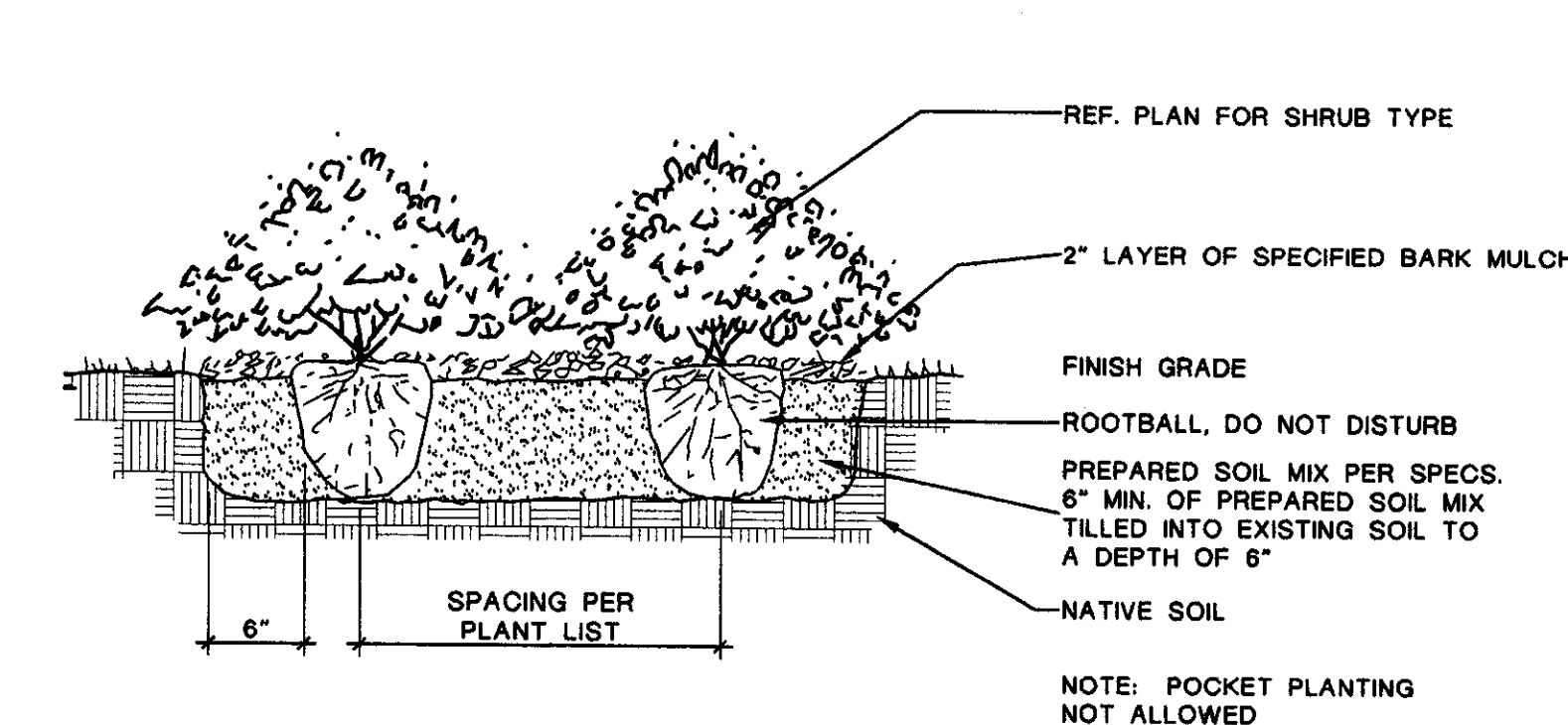
02 STEEL EDGING DETAIL

NOT TO SCALE



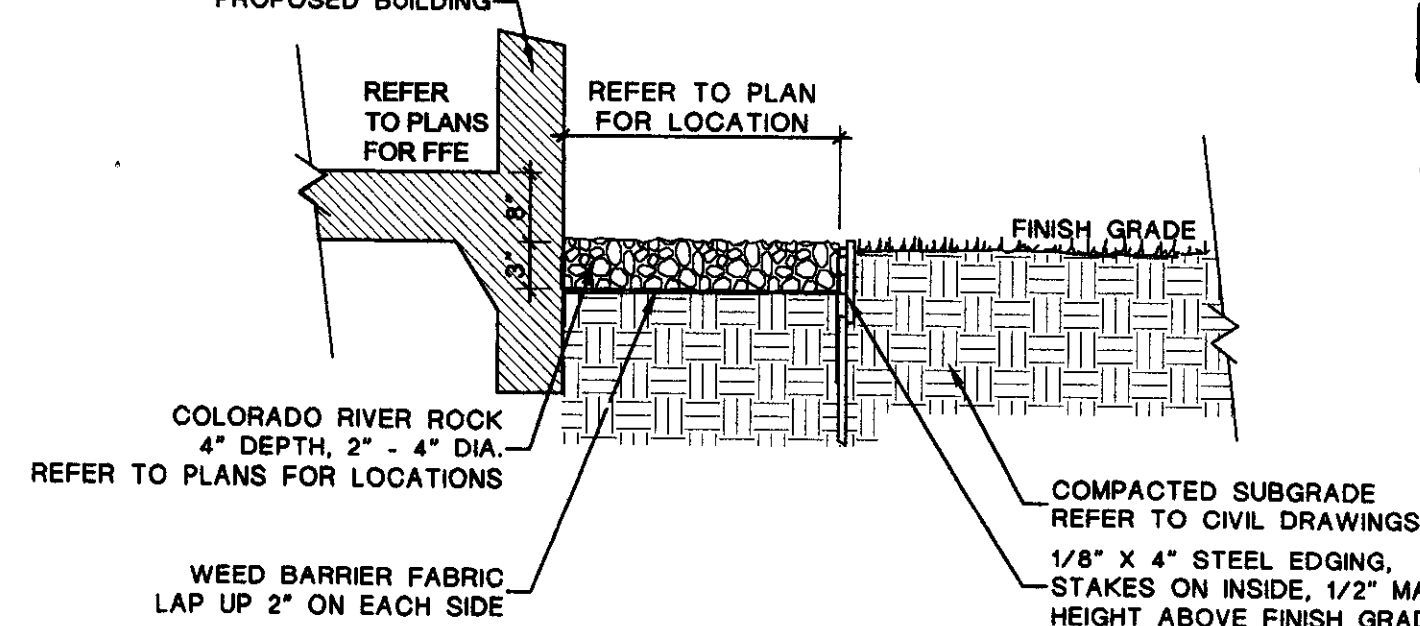
04 SIDEWALK / MULCH DETAIL

NOT TO SCALE



03 SHRUB / GROUNDCOVER DETAIL

NOT TO SCALE



05 RIVER ROCK DETAIL

NOT TO SCALE

**WATERING REQUIREMENTS**  
 500 AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

**LANDSCAPE STREET YARD**

- 251 = GREENWICH LINEAR STREET FRONTAGE
- × 10 = SQUARE FOOTAGE FACTOR
- 2510 = SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 472 = GREENWICH LINEAR STREET FRONTAGE
- × 15 = SQUARE FOOTAGE FACTOR
- 7080 = SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 9590 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 21442 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD PROVIDED
- 9590 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 500 = SF PER LANDSCAPE YARD TREE
- 20 = TOTAL LANDSCAPE YARD TREES REQUIRED
- 17 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED
- 6 = TOTAL LANDSCAPE YARD ORNAMENTAL TREES PROVIDED

**PARKING LOT SCREENING AND LANDSCAPING**

- 102 = TOTAL NUMBER OF PARKING SPACES
- 20 = NUMBER OF PARKING SPACES PER TREE
- 6 = TOTAL PARKING LOT TREES REQUIRED
- 12 = TOTAL PARKING LOT SHADE TREES PROVIDED
- 3 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED

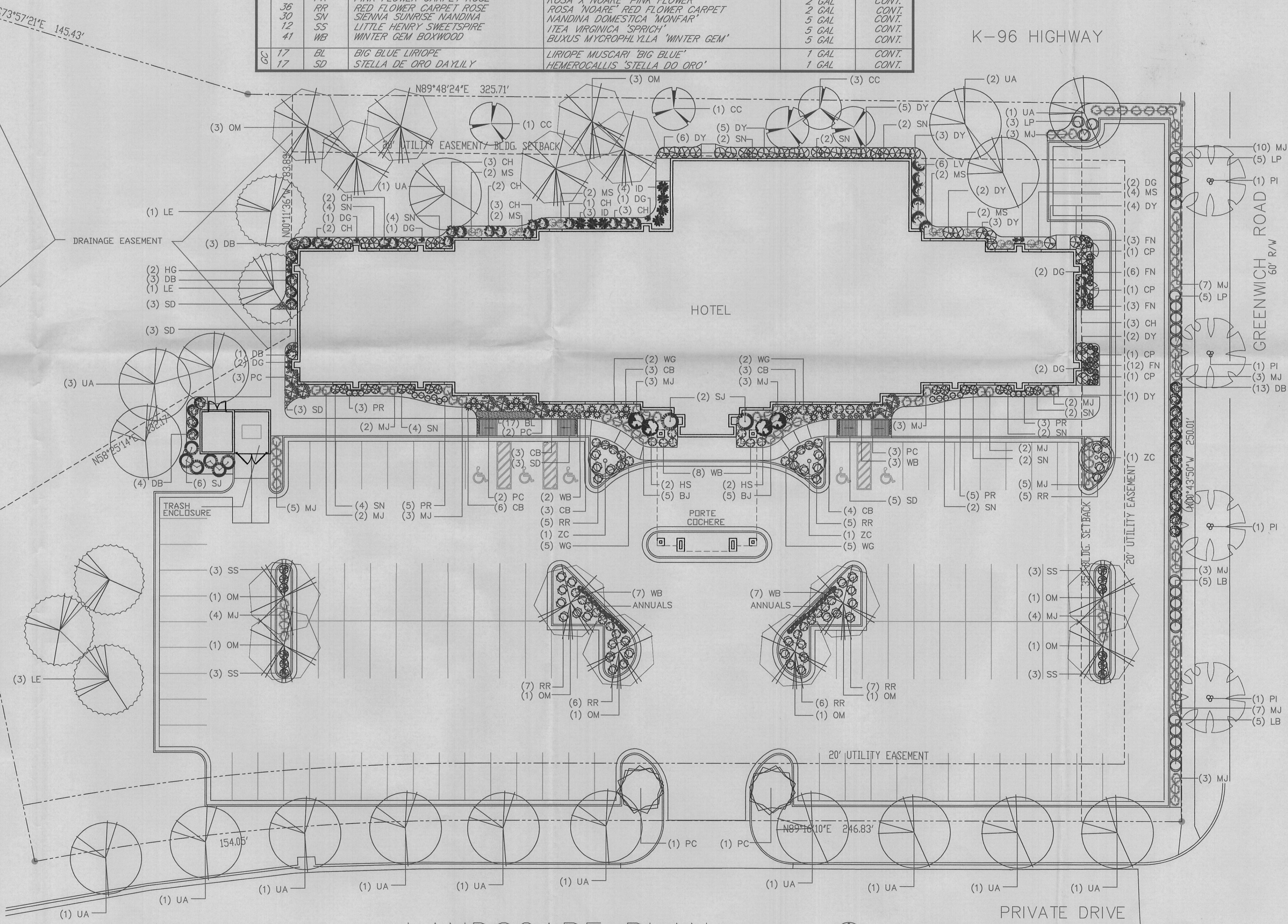
CONTINUOUS PARKING LOT SCREEN REQUIRED  
 CONTINUOUS PARKING LOT SCREEN PROVIDED WITH SHRUBS  
 (1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

**PERIMETER BUFFERS:**  
 NOT REQUIRED

AVERAGE LOT DEPTH	SQ. FT. FACTOR
175' OR LESS	8 SF/LIN FT
175'-275'	10 SF/LIN FT
275'-375'	15 SF/LIN FT
375'+	20 SF/LIN FT

**PLANT LIST**

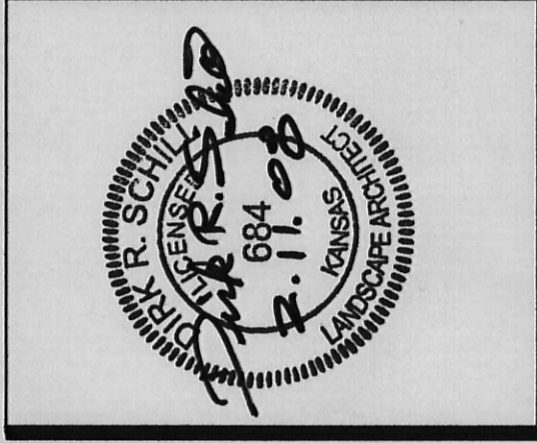
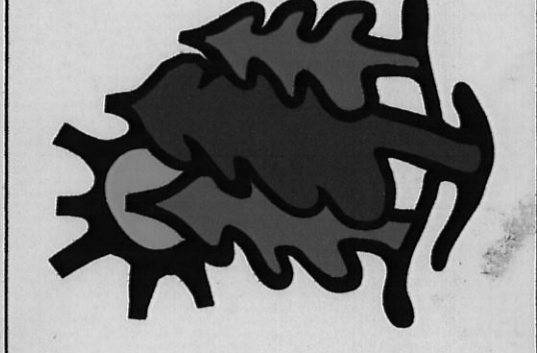
QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
5	CC	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'	2" CAL	B&B
4	CP	CAPITAL PEAR	PRYS CALLERYANA 'CAPITAL'	2" CAL	B&B
5	LE	LACEBARK ELM	ULMUS PARVIFOLIA	2-1/2" CAL	B&B
14	OM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2-1/2" CAL	B&B
2	PC	PRAIRIFIRE CRABAPPLE	MALUS X PRAIRIFIRE	2" CAL	B&B
4	PI	CHINESE PISTACHE	PISTACIA CHINENSIS	2-1/2" CAL	B&B
8	SJ	SPARTAN JUNIPER	JUNIPERUS X CHINENSIS 'SPARTAN'	6-7'	B&B
17	UA	URBANITE ASH	FRAXINUS PENNSYLVANICA 'URBANITE'	2-1/2" CAL	B&B
3	ZC	ZUMI CRABAPPLE	MALUS X ZUMI	2" CAL	B&B
10	BJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	5 GAL	CONT.
22	CB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	3 GAL	CONT.
19	CH	CHINA GIRL HOLLY	ILEX X 'CHINA GIRL'	5 GAL	CONT.
24	DB	DWARF BURNING BUSH	EUONYMUS ALATUS	5 GAL	CONT.
13	DG	DWARF HAMELIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELIN'	3 GAL	CONT.
31	DY	DENSIFORMIS YEW	TAXUS MEDIA 'DENSIFORMIS'	5 GAL	CONT.
24	FN	FIRE POWER NANDINA	NANDINA DOMESTICA 'FIRE POWER'	3 GAL	CONT.
4	HS	HELENE ROSE OF SHARON	HIBISCUS SYRIACUS 'HELENE'	5 GAL	CONT.
7	ID	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5 GAL	CONT.
23	LP	LOWBOY PYRACANTHA	PYRACANTHA COCCINEA 'LOWBOY'	5 GAL	CONT.
6	LV	ALLEGHANY LEATHERLEAF VIBURNUM	VIBURNUM RHYTIDOPHLOIDES 'ALLEGHANY'	5 GAL	CONT.
74	MJ	MINT JULEP JUNIPER	JUNIPERUS CHINENSIS 'MINT JULEP'	5 GAL	CONT.
14	MS	MAGIC CARPET SPIREA	SPIRAEA JAPONICA 'MAGIC CARPET'	5 GAL	CONT.
16	PC	PINK RUFFLES CRAPEMYRTLE	LAGERSTROEMIA INDICA 'PINK RUFFLES'	5 GAL	CONT.
16	PR	PINK FLOWER CARPET ROSE	ROSA X NOARE 'PINK FLOWER'	2 GAL	CONT.
36	RR	RED FLOWER CARPET ROSE	ROSA 'NOARE' RED FLOWER CARPET	2 GAL	CONT.
30	SN	SIENNA SUNRISE NANDINA	NANDINA DOMESTICA 'MONFAR'	5 GAL	CONT.
12	SS	LITTLE HENRY SWEETSPICE	ITEA VIRGINICA 'SPRICH'	5 GAL	CONT.
41	WB	WINTER GEM BOXWOOD	BUXUS MYCROPHYLLOLLA 'WINTER GEM'	5 GAL	CONT.
17	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.
17	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DO ORO'	1 GAL	CONT.



**LANDSCAPE PLAN**  
 SCALE: 1" = 20'-0"



**TREE TOP**  
 NURSERY & LANDSCAPING, INC.  
 5910 E. 37th NORTH  
 WICHITA, KS 67220  
 TEL 316.686.7491  
 FAX 316.686.9625



HAMPTON INN & SUITES  
 DP-234 Parcel 7  
**LANDSCAPE PLAN**  
 APPROVED 02-22-08 BY [Signature]  
 Mary Copy 1 of 2

2433 NORTH GREENWICH ROAD  
 WICHITA, KANSAS  
**LANDSCAPE PLAN**

DRAWN BY: DRS		
DATE: 2.08.08		
NO.	REVISION	DATE
SHEET: L1		

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN

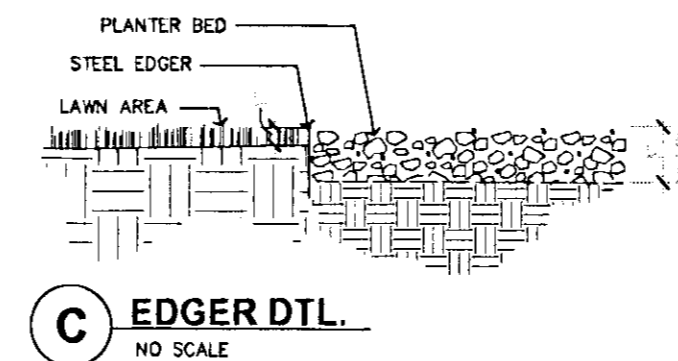
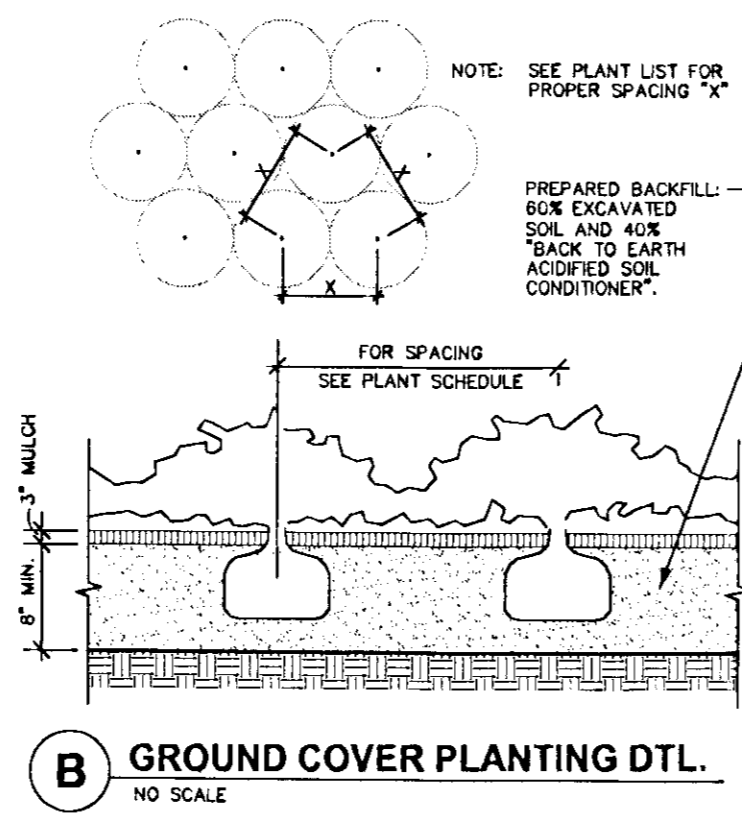
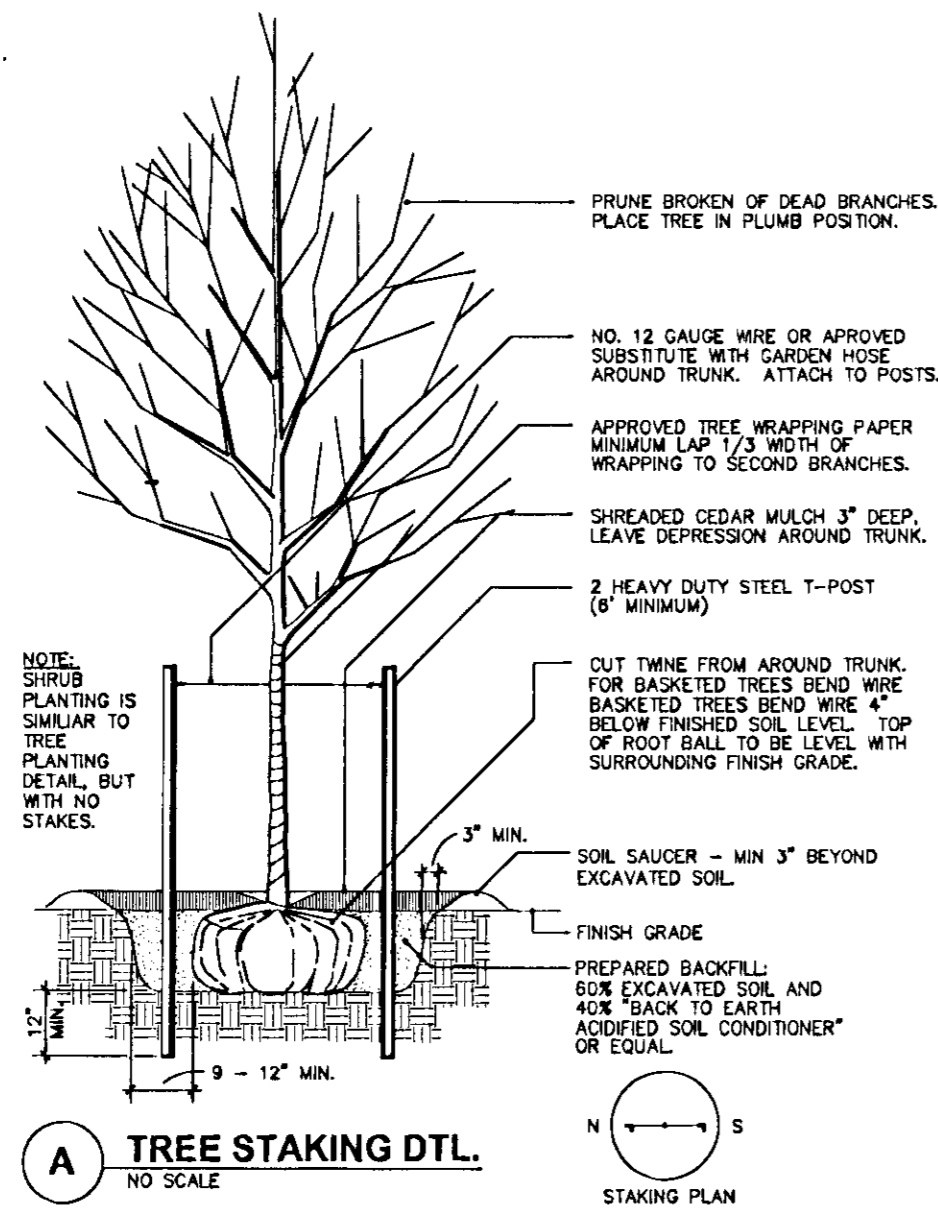


# PLANTING SPECIFICATIONS

- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF THE PLANT MATERIAL, IT SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE, I.E. ADDITION OF LIME, GYPSUM, ETC.
- REESTABLISH TURF IN ALL THE AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
- ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE-FREE, AND BE TYPICAL OF THE SPECIES. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS AS SET FORTH IN THE AMERICAN ASSOCIATION OF NURSERYMAN'S "AMERICAN STANDARD OF NURSERY STOCK". OWNER RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH IN THEIR OPINION FAIL TO MEET THESE SPECIFICATION REQUIREMENTS.
- PLANTS DESIGNATED CONTAINER GROWN SHALL HAVE BEEN GROWN IN POTS, CANS OR BOXES FOR A MINIMUM OF SIX MONTHS AND A MAXIMUM OF TWO YEARS. THESE PLANTS SHALL BE REMOVED FROM CONTAINERS BEFORE PLANTING. PLANTS THAT APPEAR ROOT-BOUND SHALL BE ROOT-PRUNED THROUGH THE USE OF A VERTICAL SLICING METHOD PRIOR TO PLANTING.
- WRAP ALL TREE TRUNKS SPIRALLY WITH APPROVED WRAPPING MATERIAL FROM GROUND TO THE FIRST BRANCH. SECURELY THE WRAPPING AT THE TOP AND BOTTOM WITH MASKING TAPE. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING IN THE MANNER SHOWN ON TREE PLANTING DETAIL.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- GUARANTEE ALL SEED AREAS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
- GUARANTEE TREES AND SHRUBS FOR ONE CALENDAR YEAR FOLLOWING PROVISIONAL ACCEPTANCE OF THE OVERALL PROJECT. DURING THE GUARANTEE PERIOD, PLANTS THAT DIE DUE TO NATURAL CAUSES OR THAT ARE UNHEALTHY OR UNSIGHTLY IN CONDITION, SHALL BE REPLACED BY THE CONTRACTOR. PLANTS USED FOR THE REPLACEMENT SHALL BE OF THE SAME VARIETY AND SIZE AS ORIGINALLY SPECIFIED IN THE PLANT SCHEDULE. REPLACEMENTS SHALL BE MADE WITHIN TWO DAYS OF REQUEST PENDING FAVORABLE SEASONAL PLANTING TIMES.
- GUARANTEE WILL NOT BE ENFORCED SHOULD THE PLANT MATERIAL DIE DUE TO VANDALISM, OVER OR UNDER WATERING BY THE OWNER, IMPROPER MAINTENANCE PROCEDURES CARRIED OUT BY THE OWNER INVOLVING LAWN MOWER DAMAGE, OVER FERTILIZATION, ACTS NOT RELATED TO CONTRACTUAL RESPONSIBILITIES OF CONTRACTOR OF SIMILAR CIRCUMSTANCES BEYOND THE CONTROL OF THE CONTRACTOR.
- REMOVE ALL RUBBISH, EQUIPMENT AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES. REMOVE SOIL OR DIRT THAT ACCUMULATED DURING OR AS A RESULT OF PLANTING OPERATIONS EACH DAY.
- AT THE COMPLETION OF PLANTING OPERATIONS, ALL PLANTS SHALL BE INSPECTED BY THE OWNER. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION AFTER ONE FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, FREE OF CHARGE TO THE OWNER.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES, TREE WRAP, AND REMOVE ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER FINAL ACCEPTANCE.
- NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT APPROVAL.
- ANY PLANTING BED ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE TO A SUFFICIENT DEPTH TO ALLOW TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.
- FERTILIZER WITH MILORGANITE, DISTRIBUTED UNIFORMLY AT THE RATE OF 1000 POUNDS PER ACRE.
- PRIOR TO SEEDING, MOW, GRUB RAKE ALL VEGETATION WHICH MIGHT INTERFERE AND REMOVE ALL DEBRIS FROM THE SITE. THOROUGHLY TILL AREA AFTER PREPARATION, TO A DEPTH OF AT LEAST 6 INCHES.
- SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK.
- LABEL AT LEAST 1 TREE, 1 SHRUB, AND 1 GROUND COVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.
- PLANT TREES, SHRUBS AND GROUND COVERS DURING NORMAL SEASON FOR SUCH WORK. DO NOT PLANT IN FROZEN GROUND.
- MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE BY OWNER. MAINTENANCE CONSISTS OF SPRAYING PRUNING, WATERING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. REMOVE AND REPLACE PLANT MATERIAL FOUND TO BE DEAD OR IN AN UNHEALTHY CONDITION.

# GENERAL IRRIGATION NOTES

- THE IRRIGATION SYSTEM TO BE PROVIDED BY THE GENERAL CONTRACTOR. THE SYSTEM IS TO COVER THE ENTIRE PLANTED AREA AS SHOWN ON PLAN.
- PLANS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. SUBMITTALS SHALL INCLUDE IRRIGATION DESIGN DRAWINGS AND MANUFACTURER'S TECHNICAL DATA SUFFICIENT TO EXHIBIT THE CONTRACTOR'S INTENDED SYSTEM DESIGN. PLANS SHALL BE TO SCALE AND WELL DRAWN. QUANTITIES AND TYPES OF HEADS, VALVES AND CONTROLLER SHALL BE LISTED. SUBMIT PROJECT RECORD (AS BUILT) DRAWINGS PROVIDING A PERMANENT RECORD OF THIS WORK AT COMPLETION OF THE PROJECT.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE WORK WITH THE ELECTRICAL CONTRACTOR.
- VERIFY EXISTING STATIC PRESSURE PRIOR TO DESIGNING THE SYSTEM. THE CITY WATER SUPPLY WILL BE THE SOURCE OF WATER FOR THE SYSTEM.
- COORDINATE IRRIGATION SYSTEM INSTALLATION WITH LANDSCAPE WORK.
- THE IRRIGATION SYSTEM IS TO BE DESIGNED WITH RAIN BIRD SPRINKLER MANUFACTURING CO. OR EQUAL PRODUCTS AND MATERIALS. OTHER MANUFACTURERS AS APPROVED BY ARCHITECT
- COORDINATE LOCATION OF THE CONTROLLER WITH THE OWNER.
- INSTALL BACKFLOW PREVENTER, SHUT OFF VALVE AND MANUAL DRAIN VALVE PER LOCAL PLUMBING CODES. PROVIDE PLASTIC TRUNCATED ENCLOSURE FOR THE BACKFLOW PREVENTER AS PROVIDED BY THE MANUFACTURER.
- PROVISIONS SHALL BE MADE TO WINTERIZE THE PIPING SYSTEM.



# GENERAL PLANTING NOTES

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- SEED TYPE SHALL BE LOCALLY AVAILABLE HARDY BLEND OF TALL FESCUE. SOW AT RATE SPECIFIED BY SEED PRODUCER.
- SOD TYPE SHALL BE A KANSAS GROWN TALL FESCUE BLEND.
- RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W.
- REESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
- BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
- FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
- CULTIVATE GROUND COVER PLANTING BEDS TO DEPTH OF 8". TILL COMPOST AND WELL-ROTTED MANURE INTO THE PLANTING BED AT THE APPROXIMATE RATIO OF ONE (1) PART COMPOST/MANURE TO THREE (3) PARTS SOIL.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
- ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
- PLANT GROUND COVER/ANNUALS WITHIN ONE FOOT (1') OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN AREA. PLANTING ARRANGEMENT SHALL BE TRIANGULAR, WITH PROPER ON-CENTER SPACING BETWEEN PLANTS.
- STEEL EDGER BY "PROSTEEL, INC.". EDGER TO BE 10 GAUGE (1/8" X 4" HIGH) AND PAINTED GREEN. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1: BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.
- USE SHREDDED CEDAR WOOD MULCH IN ALL PLANTING BEDS. LANDSCAPE CONTRACTOR TO PROVIDE SAMPLE TO LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR APPROVAL.
- PLACE 4" OF MULCH IN ALL TREE SAUCERS. PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
- TREAT PLANTING BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
- THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.

# LEGAL DESCRIPTION

A TRACT OF LAND IN REGENCY LAKES COMMERCIAL 2ND ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS; MORE PARTICULARLY DESCRIBED AS THE NORTH 26.63 FEET OF LOT 2, BLOCK 1, REGENCY LAKES COMMERCIAL 2ND ADDITION; TOGETHER WITH THE SOUTH 86.37 FEET OF LOT 3, BLOCK 1, REGENCY LAKES COMMERCIAL 2ND ADDITION.

# PARKING CALCULATIONS

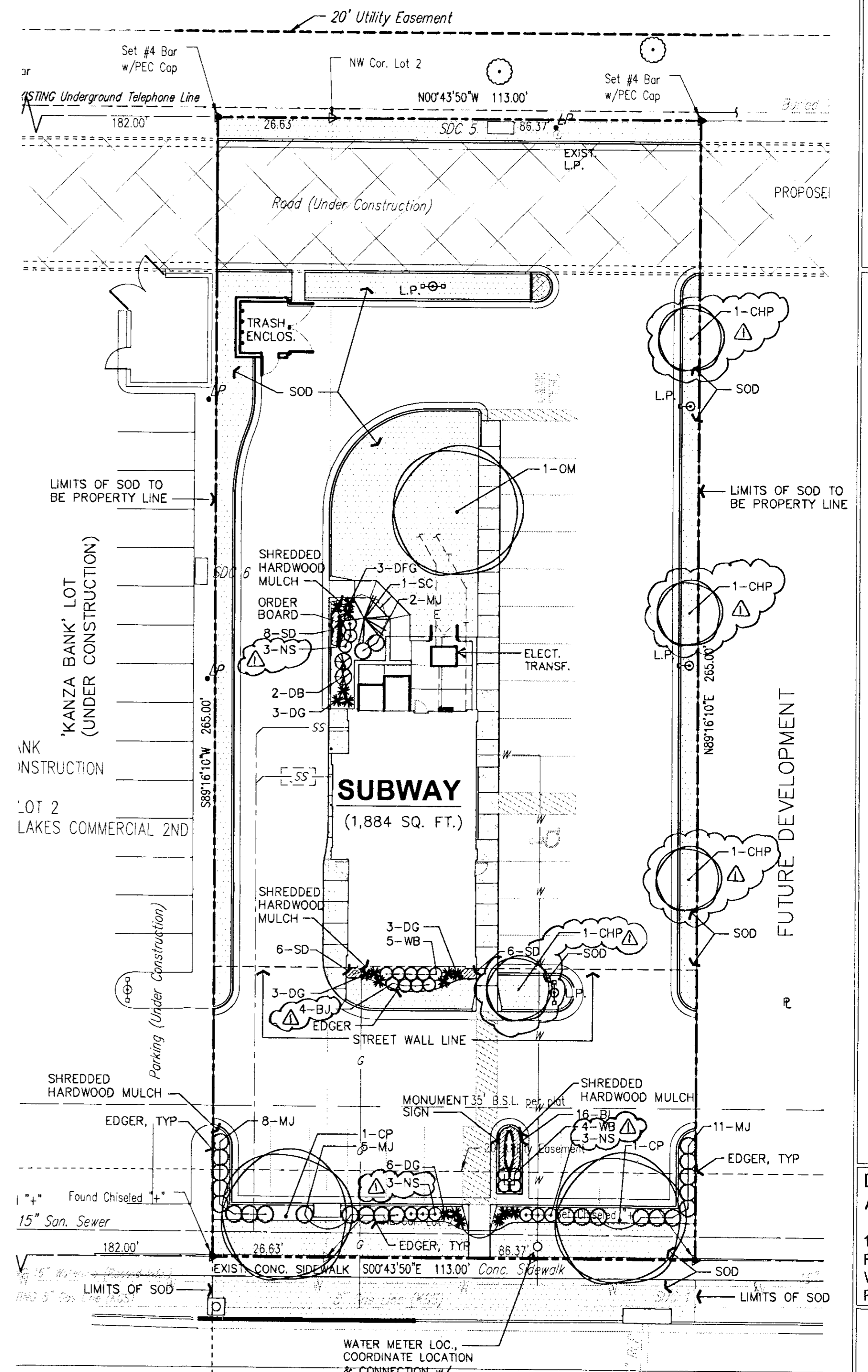
REQUIRED - 'SUBWAY' RESTAURANT:  
 (1) SPACE / 3 SEATS  
 $72 \div 3 = 24$  SPACES

PARKING - PROVIDED  
 23 SPACES  
 ± 1 HANDICAPPED SPACES  
 24 TOTAL SPACES

# LANDSCAPE CODE CALCULATIONS

LANDSCAPED STREET YARD REQUIRED	PARKING LOT SCREENING AND LANDSCAPING
Landscaped Street Yard Required: 113 Total feet of frontage $\times 10$ Req'd square foot factor 1,130 Total sq. ft. req'd	Parking Lot Trees Required 24 Total stalls $\pm 20$ (one tree per 20 spaces) 1.2 or say 2 tree req'd.
Landscaped Street Yard Provided: 1,600 Total sq. ft.	(One-half of the req'd. street yard trees may be used to fulfill parking lot tree requirement)
Shade Trees Required: $1,130 \div 500 = 2.3$ or say 3 trees req'd	Parking Lot Trees Provided: 1 Shade Tree + 1 Street Yard Tree = 2
Shade Trees Provided: 2 shade tree + 10 shrubs	
<b>BUFFERS REQUIRED</b> No Buffers Required	

DR-234 Parcel 3  
 APPROVED 12-29-09 BY DS  
 SUPERVISOR PLAN APPROVED 01-14-10  
 MAP D Log# 10 F 2



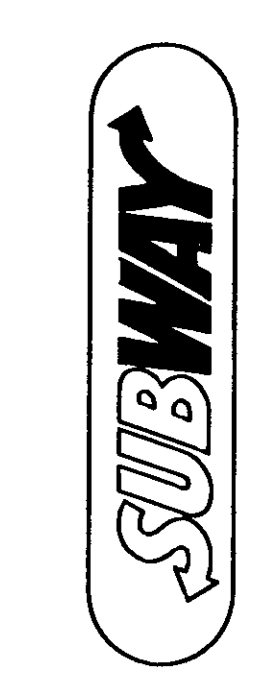
# LEGEND

- SOD
- PERENNIALS

QTY.	ABBR.	COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
4	CHP	SHADE TREE				
2	CP	CHANTICLEER PEAR	PYRUS CALLERYANA 'CHANTICLEER'	3" CAL.	B & B	
1	OM	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CAL.	B & B	
1	OM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	3" CAL.	B & B	
1	SC	ORNAMENTAL TREE				
1	SC	SARGENT CRABAPPLE	MALUS SARGENTII	2" CAL.	B & B	
2	DR	DECIDUOUS SHRUB				
9	NS	DWARF BURNING BUSH	EUONYMUS ALATUS	5 GAL.	CONT	
9	NS	NORMAN SPIREA	SPIREA BUMALDA 'NORMAN'	5 GAL.	CONT	
4	BJ	EVERGREEN SHRUB				
4	BJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL.	CONT	
26	BJ	MINT JULEP JUNIPER	JUNIPERUS HORIZONTALIS 'WILTON'	5 GAL.	CONT	
9	WB	WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	5 GAL.	CONT	
18	DG	ORNAMENTAL GRASSES				
16	BL	DWARF HAMELN GRASS	PENNISETUM ALOPECUROIDES	3 GAL.	CONT	
16	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL.	CONT	SPACE 18" O.C.
20	SD	PERENNIAL FLOWERS				
20	SD	STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	1 GAL.	CONT	SPACE 18" O.C.

# PLANTING PLAN

1" = 20'-0" NORTH



**SUBWAY SANDWICH SHOP**  
**REGENCY LAKES SHOPPING CENTER**  
 21st. STREET & GREENWICH ROAD  
 WICHITA, KS.

DAN WINTER  
 ARCHITECT

1024 EAST  
 FIRST STREET  
 WICHITA, KS. 67214  
 PH. 316-267-7142

DRAWN BY:  
 TERI ANDREAS FARHA

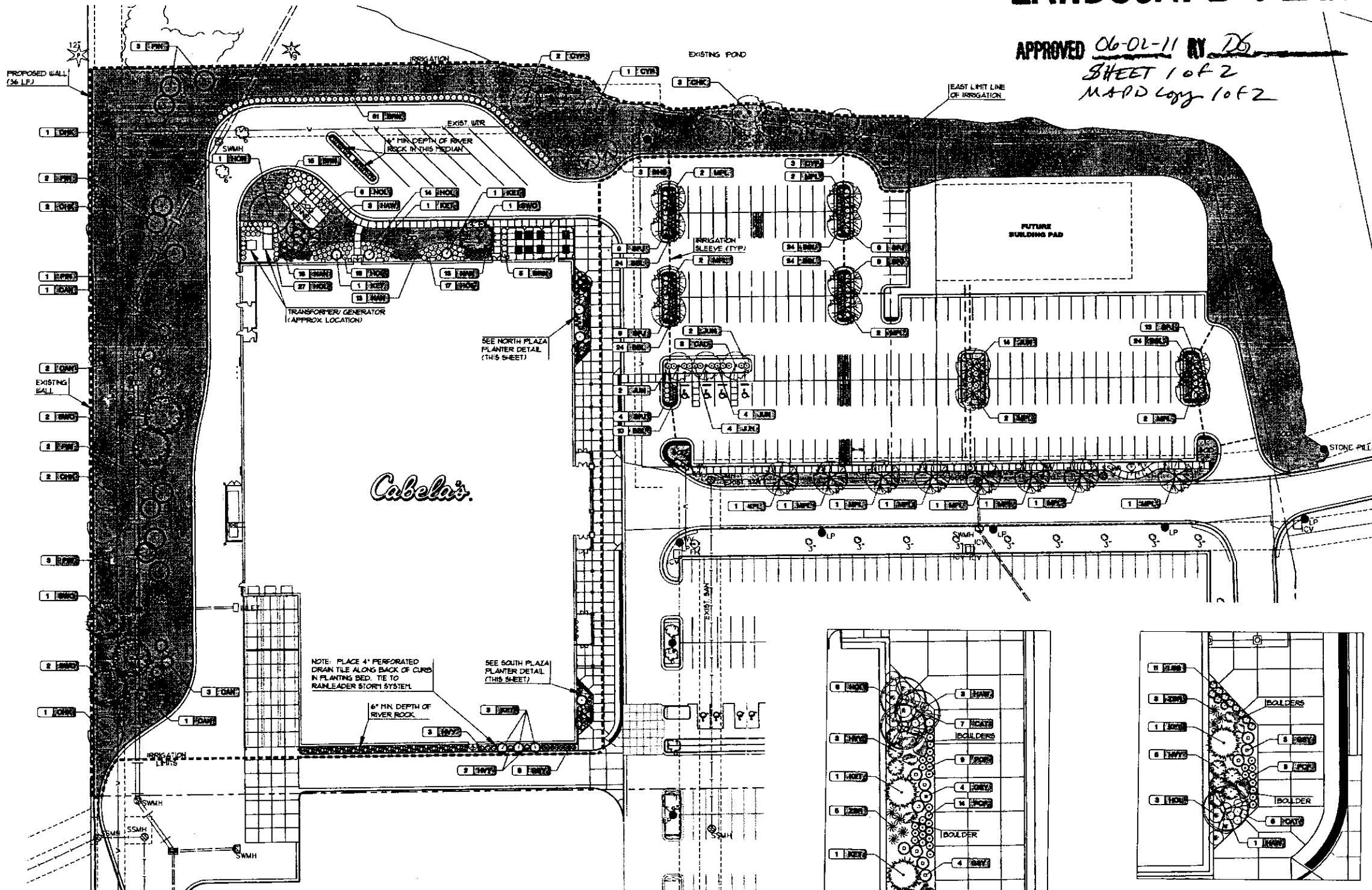
PLANTING  
 PLAN

DATE:  
 DEC. 19, 2008

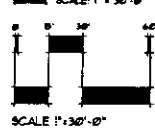
SHEET NO.  
**LS-1**

# DP-234 PARCEL 11C LANDSCAPE PLAN

APPROVED 06-02-11 BY DB  
SHEET 1 of 2  
MAPP Log 1 of 2



**LANDSCAPE PLAN**  
SCALE: 1" = 30'-0"



**LEGEND**

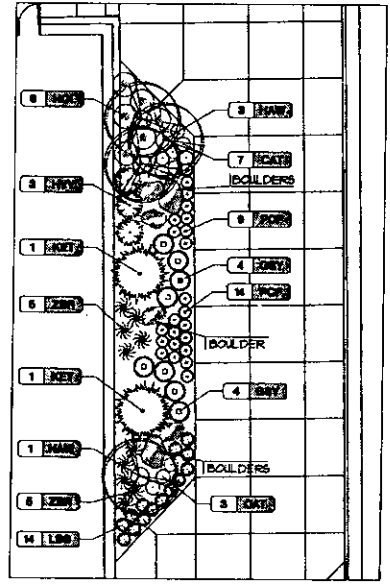
- TURF GRASS
- IRRIGATION LINE

NOTE: SEE IRRIGATION PLANS FOR PROPOSED SLEEVE LOCATIONS WITHIN THE IRRIGATION LIMITS.

NOTE: PLACE 4" PERFORATED DRAIN TILE ALONG BACK OF CURB IN PLANTING BED. TIE TO RAINLEADER STORM SYSTEM.

SEE SOUTH PLAZA PLANTER DETAIL (THIS SHEET)

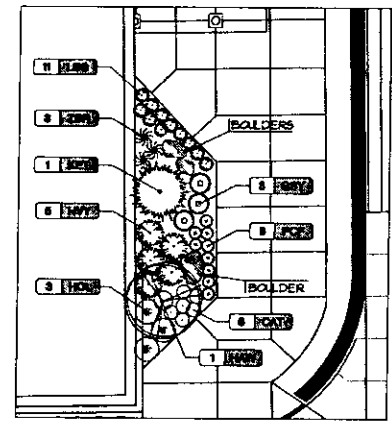
6" MIN. DEPTH OF RIVER ROCK



**NORTH PLAZA PLANTER**  
SCALE: 1" = 10'-0"

NOTE: PLACE 4" PERFORATED DRAIN TILE ALONG PERIMETER OF PLANTER. TIE TO RAINLEADER STORM SYSTEM.

NOTE: THIS PLANTING BED TO RECEIVE 6" MIN. DEPTH OF RIVER ROCK (NOT HARDWOOD MULCH). SUBMIT RIVER ROCK SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



**SOUTH PLAZA PLANTER**  
SCALE: 1" = 10'-0"

NOTE: PLACE 4" PERFORATED DRAIN TILE ALONG PERIMETER OF PLANTER. TIE TO RAINLEADER STORM SYSTEM.

NOTE: THIS PLANTING BED TO RECEIVE 6" MIN. DEPTH OF RIVER ROCK (NOT HARDWOOD MULCH). SUBMIT RIVER ROCK SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.



CALLISON  
1420 Fifth Avenue #2400  
Seattle, Washington 98101-2343  
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F 206 623 4825  
www.callison.com



PERMIT SET



Drawn By: MKEC  
Date: May 16, 2011  
Sheet Number:  
Drawing Type:  
Drawing Set:  
LANDSCAPE PLAN

**LA1.0**  
Print Date: Thu, 12 May 2011

# DP-234 PARCEL 11 C LANDSCAPE PLAN

APPROVED 06-02-11 BY DG  
SHEET 2 of 2  
MAD COPY 1 of 2

## GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH ALL APPLICABLE SPECIFICATIONS RELATED TO THE LANDSCAPE AND IRRIGATION.
- LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES (INCLUDING THOSE INDICATED ON THE PLAN) PRIOR TO INSTALLATION OF PLANT MATERIAL. UTILITIES CAN BE FLAGGED BY CALLING 811 OR 1-800-344-7233, OR ONLINE AT [www.11.com](http://www.11.com). DAMAGE TO UTILITIES SHALL BE AVOIDED DURING THE COURSE OF WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE MASS GRADING CONTRACTOR TO INSURE THEY THOROUGHLY RIP AND ALLEVIATED ALL COMPACTED SOILS FROM THEIR HAULING AND PLACEMENT OPERATIONS.
- ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
- PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 31. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
- MULCH ADJACENT TO BUILDINGS SHALL BE SIX (6) INCHES LOWER THAN BUILDING FRESH FLOOR ELEVATION.
- PLANTING SOIL AMENDMENTS FOR ALL BED AREAS SHALL BE THOROUGHLY MIXED INTO PLANTING BACKFILL TOPSOIL.
- ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TRIFLORAL OR EQUAL, APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NOT DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
- INSTALL 3" MIN. DEPTH FINE-SHREDDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 3' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. SUBMIT 1 QUART SAMPLE FOR APPROVAL. PULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
- IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRI-STATORY SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM THEN BY SOODING AND SEEDING (IF APPLICABLE).
- RESQUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 15T AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
- AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE: SOD: RESQUE/BLUE TURF MIXTURE, OBTAINABLE FROM CRANMER GRASS FARM, INC., 621 N. 18TH, MAIZE, KANSAS 67521 PH# (316) 722-7230.
- ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SOODBED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1000 SF. AT TIME OF PLANTING.

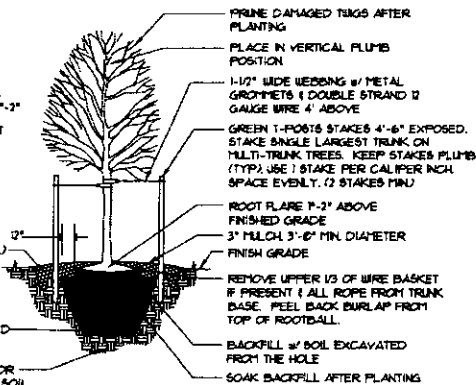
- COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.
- ALL PLANTS SHALL CONFORM TO ANS 2601 FOR SIZE AND QUALITY STANDARDS.
- LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
- SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.
- STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE DURING AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.
- ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING (INCLUDING WATERING AND MOWING) SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS IS GRN READY. THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SOODED AREAS BY THE OWNER'S REPRESENTATIVE.
- TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF TWENTY-FOUR INCHES (24") DEPTH.

## PLANT SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE / METHOD OF HANDLING	NOTES
HON	1	'SHADEMASTER' HONEYLOCUST	GLEDITIA TRIACANTHOS 'SHADEMASTER'	25' CAL / B/B	
CAL	3	'CALLERY' PEAR	PYRUS CALLERYANA	25' CAL / B/B	
CYP	6	'SHANE' BRAVE BALDCYPRESS	TAXODIUM DISTICHUM 'SHANE BRAVE'	25' CAL / B/B	
SDO	6	'SNAPP' WHITE OAK	QUERCUS BICOLOR	33' CAL / B/B	
OK	5	'CHINKAPIN' OAK	QUERCUS MUEHLBERGII	25' CAL / B/B	
MAP	20	'LEGACY' SUGAR MAPLE	ACER SACCHARINUM 'LEGACY'	25' CAL / B/B	
HAW	8	'RUSSIAN' HAWTHORN	CRATAEGUS APEGKIA	8'-10" HT. / B/B	CLIPP
B-H	3	'BLACK HILLS' SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8' HT. / B/B	
KET	5	'KETELEER' JUNIPER	JUNIPERUS CHINENSIS 'KETELEER'	6'-8' HT. / B/B	
PN	3	'PRYON' PINE	PNUS EDULIS	6'-8' HT. / B/B	
CAN	1	'CANBERT' JUNIPER	JUNIPERUS VIRGINIANA 'CANBERT'	6'-8' HT. / B/B	
BUN	81	'BURRING' BUSH	ELIANTHUS ALATUS 'COMPACTUS'	3 GAL	
GOY	15	'GOLDEN SWORD' YUCCA	YUCCA FLAMMULA 'GOLDEN SWORD'	2 GAL	
HOL	51	'HOLBERRY' SHARROCK HOLLY	ILEX GLABRA 'SHARROCK'	3 GAL	
NAN	45	'NANDINA'	NANDINA DOMESTICA 'GULF STREAM'	2 GAL	
SPJ	53	'SPREADING' JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	2 GAL	
JUN	26	'SEA GREEN' JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	3 GAL	
HYT	3	'HEAVY METAL' BUTCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	5 GAL	
ZBR	5	'GOLD BAR' ZEBRA GRASS	PISCANTHUS SINENSIS 'GOLD BAR'	3 GAL	
LBG	75	'LITTLE BLUESTEM'	SCRYAGRYNUM SCOPARIUM	1 GAL	
CAT	16	'WALKER'S LOW' CATYRIT	NEPETA X FAASONS 'WALKER'S LOW'	1 GAL	
BLU	100	'BIG BLUE' LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	
PCF	30	'PURPLE' CONIFLOWER	ECHINACEA PURPUREA	1 GAL	
SOD	540 ST	'RESQUE' KANSAS PREMIUM BLEND RESQUE'			

### NOTES:

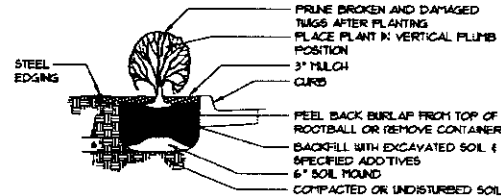
BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH SHALL BE DETERMINED BY SETTING THE ROOT FLARE 1"-2" ABOVE FINISHED GRADE. DO NOT ASSUME ROOT FLARE IS AT TOP OF ROOTBALL. DO NOT OVERTIGHTEN GUTS.



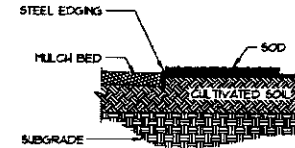
**TREE PLANTING DETAIL**  
NOT TO SCALE

### NOTES:

BALL OF PLANT TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING. ADD ROOT STIMULATOR TO SURFACE IMMEDIATELY AFTER PLANTING AS PER THE MANUFACTURER'S RECOMMENDATIONS. PLANTING DEPTH OF ROOTBALL SHALL BE EQUAL TO ITS ORIGINAL PLANTING DEPTH AT NURSERY.

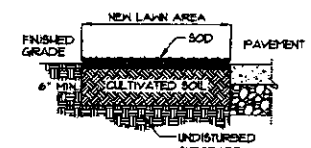


**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**EDGING DETAIL**  
NOT TO SCALE

- ### SOD INSTALLATION NOTES:
- FINISHED GRADES SHALL BE ACCURATE.
  - CULTIVATE ENTIRE AREA TO A MINIMUM 4" DEPTH. EXCEPTIONS TO AREAS MAY BE MADE IF TREE ROOTS ARE ENCOUNTERED WITHIN THE DRIPLINE OF EXISTING TREES. HAND RAKE SMOOTH.
  - ADD ADDITIVES AND TILL INTO SOIL.
  - LAY AND ROLL SOD. WATER THOROUGHLY.
  - STAGGER JOINTS AND BUTT JOINTS TOGETHER TIGHTLY.
  - STAKE SOD ON SLOPES 4:1 OR STEEPER.



**SOD INSTALLATION**  
NOT TO SCALE

**Cabelab's**  
CABELA'S RETAIL, INCORPORATED  
WICHITA, KANSAS

CALLISON  
1420 Fifth Avenue #2400  
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**M&E**  
ENGINEERING & ARCHITECTURE, INC.  
1100 S. GARDNER  
WICHITA, KANSAS 67202

PERMIT SET



Revisions:

Drawing Set:  
LANDSCAPE DETAILS

Drawing Type:

Drawn By: MKEC  
Date: May 16, 2011

Sheet Number:

LA1.1  
Print Date: Thu, 12 May 2011



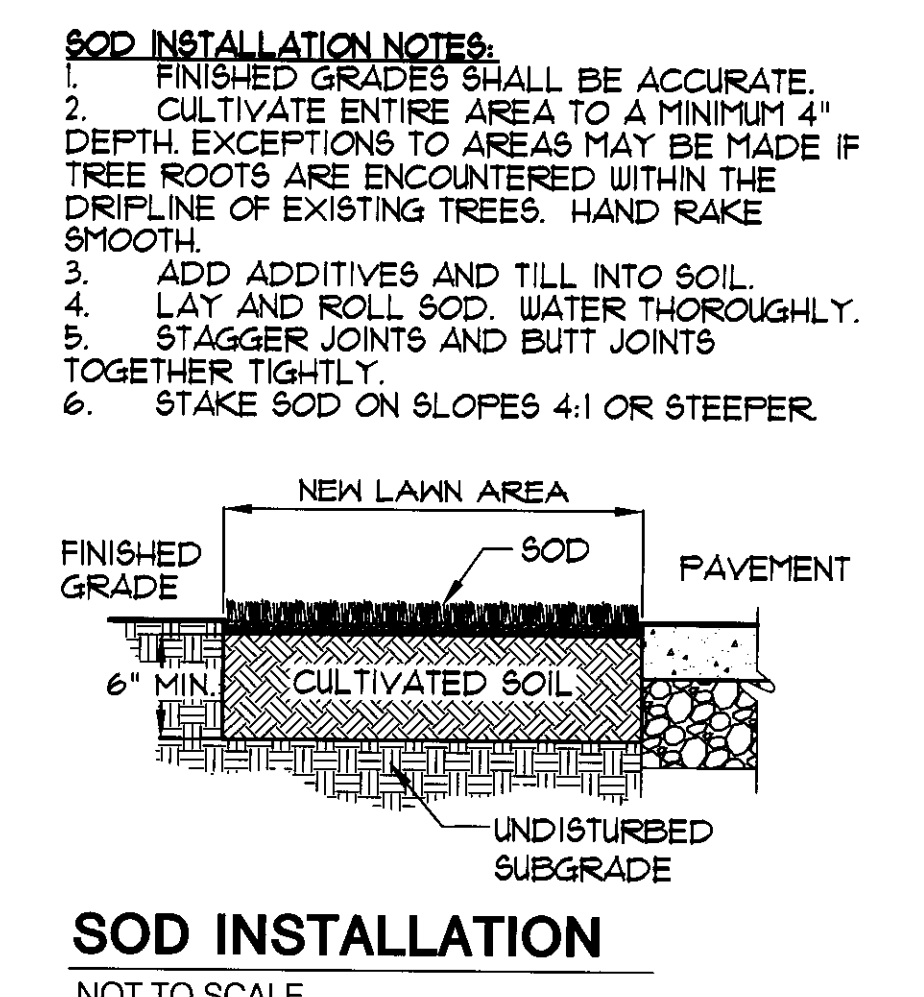
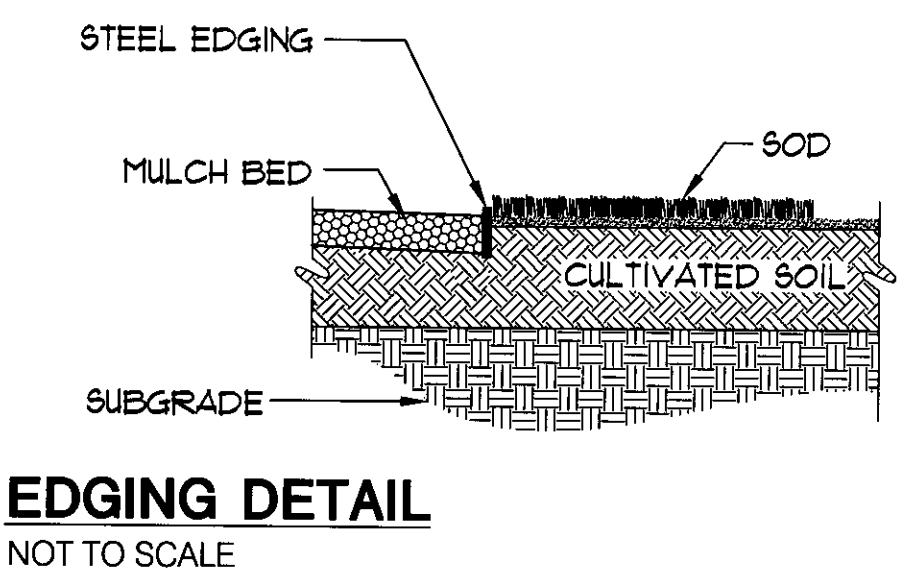
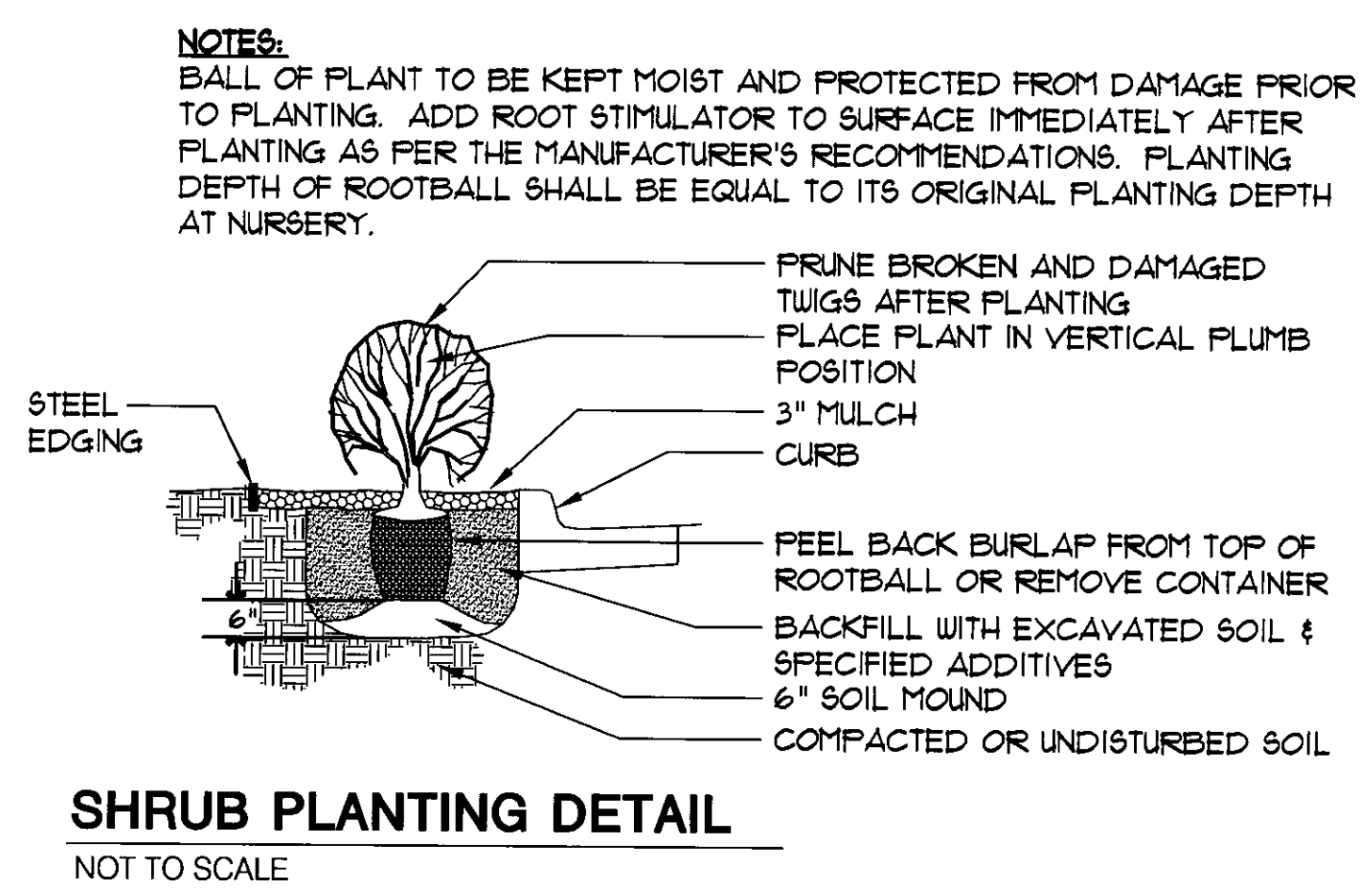
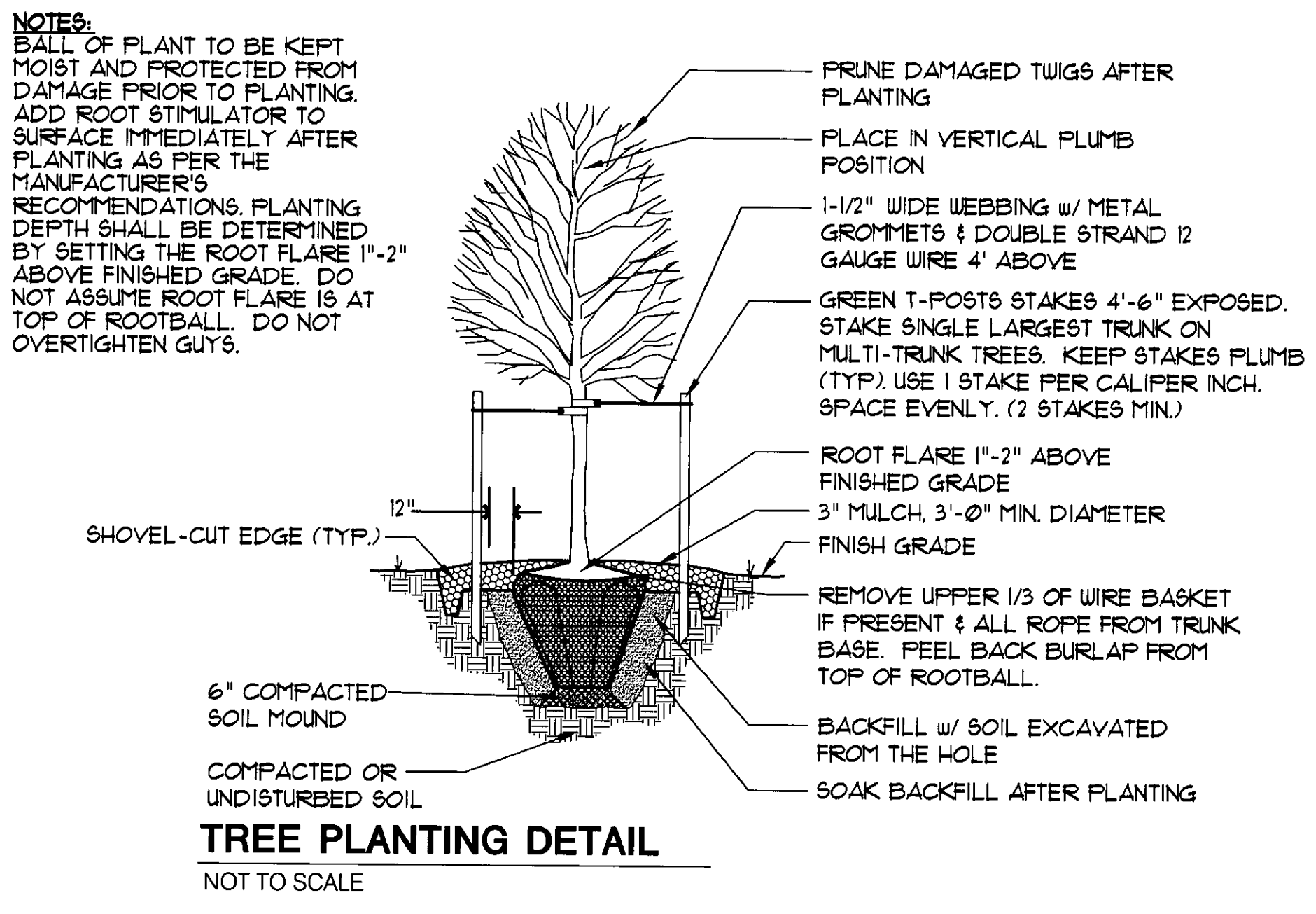
# GENERAL LANDSCAPE NOTES

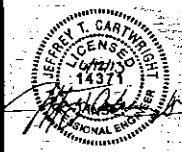
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- ALL WATER REQUIRED FOR LANDSCAPE OPERATIONS AND FOR ESTABLISHING LANDSCAPE ON THIS SITE WILL BE PROVIDED BY THE OWNER FROM ON-SITE SOURCES AND SUPPLIED TO THE LANDSCAPE CONTRACTOR AT NO CHARGE.
- PLANTING DATES FOR PLANT MATERIAL SHALL BE DURING THE MONTHS BETWEEN FEB. 15TH AND MAY 31ST OR SEPT. 15TH AND DEC. 15. PLANTING SHALL ONLY BE CONDUCTED WHEN THE GROUND IS NOT FROZEN, SNOW-COVERED, OR IN AN OTHERWISE UNSUITABLE CONDITION FOR PLANTING. DEVIATION FROM THE ABOVE PLANTING DATES WILL ONLY BE PERMITTED WITH APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- MULCHED LANDSCAPE BED EDGES SHALL BE LINED WITH PRO-STEEL EDGING (OR APPROVED EQUAL).
- MULCH ADJACENT TO BUILDINGS SHALL BE SIX (6) INCHES LOWER THAN BUILDING FINISH FLOOR ELEVATION.
- PLANTING SOIL AMENDMENTS FOR ALL BED AREAS SHALL BE THOROUGHLY MIXED INTO PLANTING BACKFILL TOPSOIL.
- ALL SHRUB/PERENNIAL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE SUCH AS TREFLAN OR EQUAL. APPLY AS PER MANUFACTURER'S RECOMMENDATION. THE PRE-EMERGENT SHALL NOT BE APPLIED UNTIL AFTER ALL PLANTING AND MULCHING WITHIN THESE AREAS ARE COMPLETE. DO NOT DISTURB AREAS AFTER APPLICATION. WATER IN AS DIRECTED.
- INSTALL 3" MIN. DEPTH FINE-SHREDDDED, DARK HARDWOOD MULCH IN ALL PLANTING BED AREAS AND WITHIN A 3' DIAMETER CIRCLE AROUND ALL TREES PLANTED IN LAWN AREAS. SUBMIT 1 CU/FT SAMPLE FOR APPROVAL. FULL MULCH AWAY FROM TREE TRUNKS WITHIN 3" OF TRUNK.
- IF POSSIBLE, BASED ON TIME OF YEAR SITE IS READY FOR LANDSCAPING, PLANT TREES PRIOR TO ROUTING/INSTALLING IRRIGATION LINES AND SUSTAIN TEMPORARILY BY WATERING WITH IRRIGATOR SLOW DRIP IRRIGATION BAGS OR BY HAND WATERING. FOLLOW TREE PLANTING WITH INSTALLATION OF IRRIGATION SYSTEM, THEN BY SODDING AND SEEDING (IF APPLICABLE).
- FESCUE SOD SHALL BE HARVESTED & PLACED BETWEEN THE DATES OF APRIL 1ST AND JUNE 15TH UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WATER ALL SOD UNTIL LANDSCAPE JOB IS COMPLETE.
- AREAS DENOTED AS 'SOD' SHALL BE PLANTED WITH THE FOLLOWING GRASS TYPE:  
SOD:  
FESCUE/BLUE TURF MIXTURE, OBTAINABLE FROM CRANMER GRASS FARM, INC. 6121 N. 119TH, MAIZE, KANSAS 67101, PH# (316) 722-7120.
- ALL SOD AREAS SHALL BE INSTALLED AS FOLLOWS: AFTER FINAL GRADE IS ESTABLISHED AND ALL SOIL AREAS DRAIN AS INTENDED, AND ALL SURFACE IRREGULARITIES HAVE BEEN REMOVED, THOROUGHLY PREPARE SODDED BY TILLING TO A MINIMUM DEPTH OF 3" AND HARROWING. ROLL SOD FOLLOWING LAYING FOR GOOD SOD/SOIL CONTACT AND KEEP IN A MOIST (BUT NOT SATURATED) CONDITION FOR FIRST TWO WEEKS TO PROMOTE GOOD ROOTING. FERTILIZE WITH 1 LB. ACTUAL NITROGEN PER 1000 S.F. AT TIME OF PLANTING.

- COORDINATE LANDSCAPE PLANTING WITH IRRIGATION CONTRACTOR. THE TREE PLANTINGS SHALL BE IN PLACE OR STAKED BEFORE IRRIGATION LINE ROUTING BEGINS TO AVOID CONFLICTS. THE IRRIGATION SYSTEM SHALL BE COMPLETE AND FULLY FUNCTIONAL IN ALL LAWN AREAS BEFORE SOD/SEED IS PLACED.
- ALL PLANTS SHALL CONFORM TO ANSI Z601 FOR SIZE AND QUALITY STANDARDS.
- LABEL EACH PLANT WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTH BOTANICAL AND COMMON NAME. DO NOT REMOVE UNTIL AFTER PROVISIONAL ACCEPTANCE.
- SUBSTITUTION OF PLANT SPECIES FOR THOSE LISTED IN THE PLANT LIST IS NOT PERMISSIBLE. ONLY SIZE WILL BE CONSIDERED.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL; FREE OF PEST AND DISEASES. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST. ALL TREES SHALL BE STRAIGHT-TRUNKED, OR OF TYPICAL FORM TO THE SPECIES, FULL-HEADED AND MEET THE REQUIREMENTS AS SPECIFIED. ALL TREES MUST BE STAKED.
- STAKES AND GUYING SHALL BE REMOVED AT THE END OF ONE FULL GROWING SEASON.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY.
- ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING INITIAL ACCEPTANCE. DEAD OR DEFICIENT PLANTINGS SHALL BE ACCEPTABLY REPLACED, IN PROPER PLANTING SEASON, ONE TIME AT NO COST TO THE OWNER. SOD AREAS MAY BE FINAL ACCEPTED AT TIME OF COMPLETION OF ESTABLISHMENT WITH NO FURTHER GUARANTEE REQUIRED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, (INCLUDING WATERING AND MOWING) SOD AREAS UNTIL ACCEPTANCE OF THESE AREAS. WHEN READY, THE LANDSCAPE CONTRACTOR SHALL REQUEST INSPECTION OF ESTABLISHED SODDED AREAS BY THE OWNER'S REPRESENTATIVE.
- TOPSOIL FOR ALL LANDSCAPE BEDS AND PARKING ISLANDS SHALL BE A MINIMUM OF TWENTY-FOUR INCHES (24") DEPTH.

# PLANT SCHEDULE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE & METHOD OF HANDLING	NOTES
<b>DECIDUOUS SHADE TREES</b>					
HON	1	'SHADEMASTER' HONEYLOCUST	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	25" CAL. / B&B	
CYP	6	'SHAWNEE BRAVE' BALDCYPRESS	TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	25" CAL. / B&B	
SWO	6	SWAMP WHITE OAK	QUERCUS BICOLOR	35" CAL. / B&B	
MFL	20	'OCTOBER GLORY' MAPLE	ACER RUBRUM 'OCTOBER GLORY'	25" CAL. / B&B	
<b>ORNAMENTAL TREES</b>					
HAW	8	RUSSIAN HAWTHORN	CRATAEGUS AMBIGUA	8'-10' HT. / B&B	CLUMP
CAL	3	CALLERY PEAR	PYRUS CALLERYANA	25" CAL. / B&B	
CHK	9	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	25" CAL. / B&B	
<b>EVERGREEN TREES</b>					
BHS	3	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8' HT. / B&B	
KET	9	'KETELEER' JUNIFER	JUNIFERUS CHINENSIS 'KETELEER'	6'-8' HT. / B&B	
FIN	11	PINYON PINE	PINUS EDULIS	6'-8' HT. / B&B	
CAN	1	CANAERTI JUNIFER	JUNIFERUS VIRGINIANA 'CANAERTI'	6'-8' HT. / B&B	
<b>DECIDUOUS SHRUBS</b>					
BRN	81	BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	3 GAL.	
<b>EVERGREEN SHRUBS</b>					
GSY	19	GOLDEN SWORD YUCCA	YUCCA FILAMENTOSA 'GOLDEN SWORD'	2 GAL.	
HOL	91	'INKBERRY' SHAMROCK HOLLY	IILEX GLABRA 'SHAMROCK'	3 GAL.	
NAN	45	NANDINA	NANDINA DOMESTICA 'GULF STREAM'	2 GAL.	
SPJ	53	SPREADING JUNIFER	JUNIFERUS HORIZONTALIS 'BLUE CHIP'	2 GAL.	
JUN	26	SEA GREEN JUNIFER	JUNIFERUS CHINENSIS 'SEA GREEN'	3 GAL.	
<b>ORNAMENTAL GRASSES</b>					
HVT	13	'HEAVY METAL' SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	3 GAL.	
ZBR	13	'GOLD BAR' ZEBRA GRASS	MISCANTHUS SINENSIS 'GOLD BAR'	3 GAL.	
LBS	25	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	1 GAL.	
<b>PERENNIALS</b>					
CAT	16	'WALKER'S LOW' CATMINT	NEPETA x FAASSENII 'WALKER'S LOW'	1 GAL.	
BBL	120	'BIG BLUE' LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL.	
PCF	32	PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL.	
<b>TURF GRASS</b>					
SOD	9,045 S.F.	FESCUE: 'KANSAS PREMIUM BLEND FESCUE'			





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**PAVING PLAN**

PROJECT NO. 1301010261

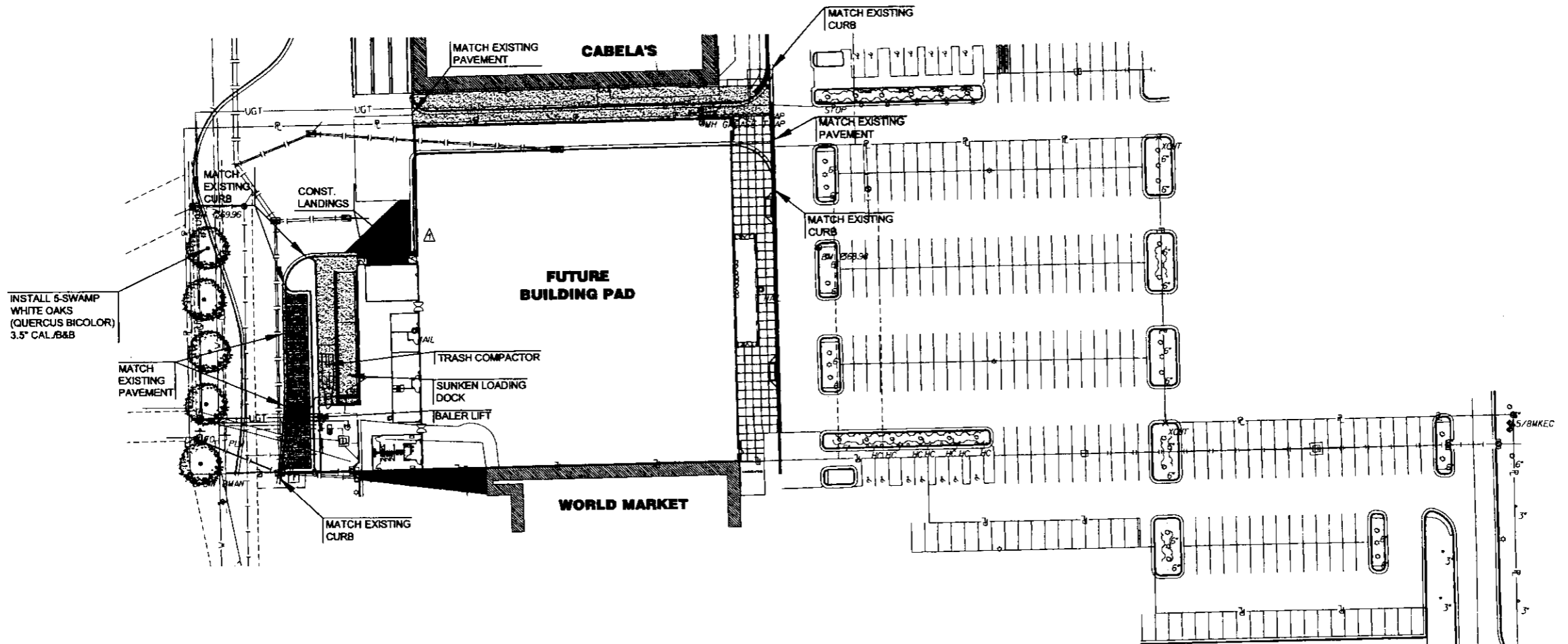
DATE MARCH 2013

SCALE 1" = 20'

DESIGNED JTC DRAWN JTC CHECKED JAG

1	OCI REVIEW	06/12/13
NO.	REVISION	DATE

SHEET NO.



INSTALL 5-SWAMP  
WHITE OAKS  
(QUERCUS BICOLOR)  
3.5" CAL./B&B













DISTANCE FROM BUILDING  
TO PROPERTY LINE  
FRONT ..... 26.22'  
REAR ..... 86.55'  
LEFT ..... 1.70'  
RIGHT ..... 0'

# LANDSCAPE PLAN

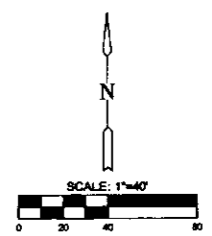
APPROVED 6/12/13 BY NCS  
PP-234

MAPP copy 1 of 2

**LEGEND**

-  7" ASPHALT ON MODIFIED SUBGRADE
-  5.5" ASPHALT ON MODIFIED SUBGRADE
-  7" CONCRETE PAVEMENT
-  ASPHALT OVERLAY (SURFACE COURSE)
-  MILL & OVERLAY
-  W WATERLINE
-  SANITARY SEWER
-  STORMWATER SEWER
-  UGT UNDERGROUND TELEPHONE
-  UCE UNDERGROUND ELECTRICAL
-  C GAS LINE
-  P PROPERTY LINE

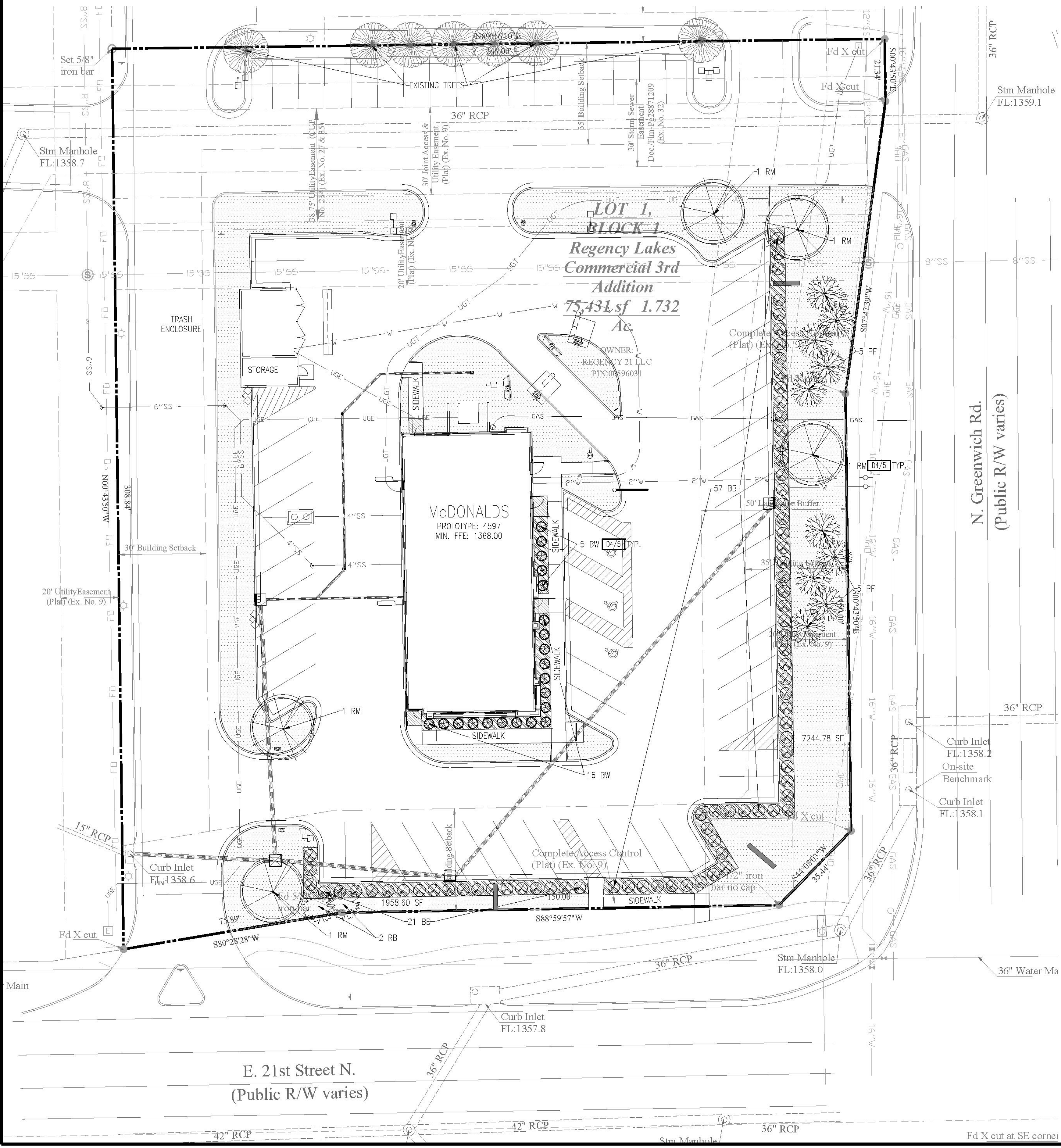
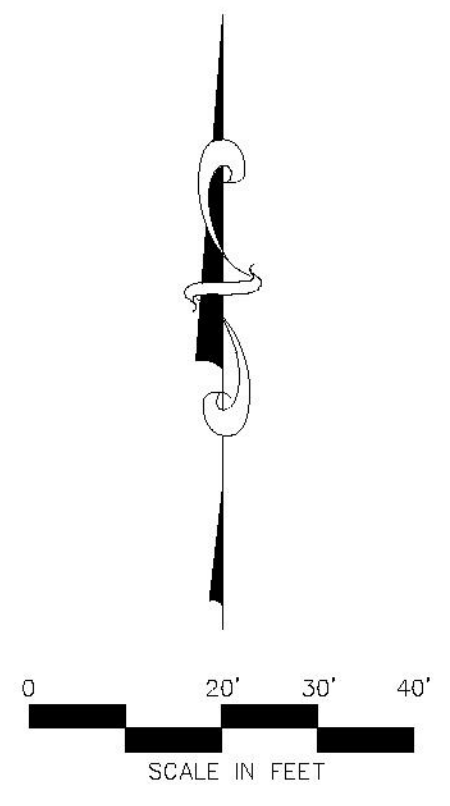
NOTE: SEE GEOTECHNICAL REPORT PREPARED BY TERRACON FOR SUBGRADE ALTERNATIVES. TERRACON PROJECT NO. 01135027



CONTRACTOR TO COORDINATE WITH MCDONALD'S PROJECT MANAGER FOR INSTALLATION OF IRRIGATION SYSTEM.



Know what's below.  
Call before you dig.



**DXX/XX** LANDSCAPE NOTES & DETAILS  
(SHEET #/DETAIL #)  
**4/5** TREE AND SHRUB PLANTING DETAIL

PLANT LIST					
KEY	QTY.	COMMON NAME	BOTANICAL NAME	SYMBOL	SIZE
BB	78	BURNING BUSH	<i>Euroyimus alatus</i> (Thunb.) Sieb.	⊗	18" HEIGHT (2 GAL.)
BW	21	WINTERGREEN BOXWOOD	<i>Buxus microphylla</i> 'Wintergreen'	⊗	18" HEIGHT (2 GAL.)
RM	5	SHADEMASTER HONEY LOCUST	<i>Gleditsia triacanthos</i> 'Shademaster'	⊗	2.5" CALIPER MEASURED 6" ABOVE GROUND
PF	12	PRAIRIE FIRE CRABAPPLE	<i>Malus sp.</i> 'Prairiefire'	⊗	2.5" CALIPER MEASURED 6" ABOVE GROUND
RB	2	EASTERN REDBUD	<i>Cercis canadensis</i>	⊗	2.5" CALIPER MEASURED 6" ABOVE GROUND

LANDSCAPE PROPOSED FEATURES	
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	CONCRETE CURB AND GUTTER
---	STORM DRAIN (SEE GRADING PLAN FOR SIZE)
---	SANITARY SEWER SERVICE
---	WATER SERVICE
---	UNDERGROUND ELECTRIC SERVICE
---	UNDERGROUND TELEPHONE SERVICE
---	OVERHEAD ELECTRIC SERVICE
---	FIBER OPTIC CABLE SERVICE
---	GAS SERVICE
⊗	DROP INLETS (SEE GRADING PLAN FOR TYPE)
⊗	SANITARY SEWER MANHOLE
⊗	FIRE HYDRANT
⊗	UTILITY POLE
⊗	WATER LINE TEE, BEND, VALVE, AND PLUG
---	SODDED AREA (SEE GENERAL NOTES)
---	MULCHED AREA (SEE GENERAL NOTES)

**REQUIRED LANDSCAPE STREET YARD:**  
 AVERAGE LOT DEPTH:  
 75.89'  
 150.00'  
 35.44'  
 150.00'  
 101.19'  
 21.34'  
 TOTAL 533.86'  
 533.86'/2 STREETS = 266.93' AVERAGE LOT DEPTH. 10 SF PER LF OF STREET FRONTAGE REQUIRED.  
 533.86 LF OF STREET FRONTAGE X 10 SF/LF = 5338.6 SF REQUIRED.  
 PROVIDED:  
 1958.60 SF  
 7244.78 SF  
 TOTAL: 9203.38 SF

**STREET TREE REQUIREMENTS:**  
 REQUIRED: ONE (1) SHADE TREE OR TWO (2) ORNAMENTAL TREES FOR EVERY 500 SQUARE FEET OF REQUIRED LANDSCAPED STREET YARD  
 5338.6 SF OF REQUIRED STREET TREE YARD/500 SF = 10.67 TREES REQUIRED  
 PROVIDED: 6 SHADE TREES AND 12 ORNAMENTAL TREES = 17 TREES

**REQUIRED PARKING LOT TREES:**  
 ONE SHADE TREE OR TWO ORNAMENTAL TREES ARE REQUIRED FOR EACH 20 SPACES:  
 49 PARKING SPACES/ 20 = 2.45 TREES REQUIRED  
 ONE-HALF OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT  
 17 STREET TREES/2 = 8.5 TREES CREDIT FOR PARKING LOT TREES.  
 NO ADDITIONAL TREES REQUIRED.

ALL TREES PLANTED IN THE LANDSCAPED PLANTING AREAS SHALL BE SITUATED A MINIMUM OF THREE (3) FEET FROM ANY CURB. ALL COMPACTED SOIL AND ROLL SPLIT WITHIN THE AREA TO BE LANDSCAPED SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN TWO (2) FEET AND SHALL BE BACKFILLED WITH TOPSOIL.

**LANDSCAPE GENERAL NOTES:**  
 NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.  
 LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.  
 ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND FOUR INCHES (4") OF TOPSOIL APPLIED. IF ACQUIRE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE FERTILIZED, SODDED, MULCHED, WATERED AND MAINTAINED UNTIL HERD GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.  
 NO TREE SHALL BE PLANTED CLOSER THAN THREE (3) FEET TO ANY CURB OR SIDEWALK.  
 TOPSOIL APPLICATION (BY GENERAL CONTRACTOR):  
 PREPARE THE SUB GRADE BY DOB, HARRON, DRAG OR HAND RAKE TO A DEPTH OF 1" OF FINISH GRADE TO PROVIDE BOND FOR TOPSOIL. BEFORE PLACING TOPSOIL, RAKE SUBSOIL SURFACE CLEAR OF STONES LARGER THAN 1-1/2" AND ALL DEBRIS AND ROOTS. COMPACT TOPSOIL TO FORM A LAYER WITH MIN. DEPTH OF 4" IN LAWN AREAS AND 12" IN SHRUB BEDS. TOPSOIL SHALL BE PLACED SO THAT AFTER FINAL SETTLEMENT THERE WILL BE GOOD DRAINAGE.  
 TOPSOIL SHALL POSSESS THE CHARACTERISTICS OF REPRESENTATIVE TOPSOILS IN THE VICINITY WHICH PRODUCES A HEAVY GROWTH FREE OF SUBSALINE, OR SALINIZABLE WEEDS, LITTER, SOBS, STIFF CLAY, STONES LARGER THAN 1" IN DIA., STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. SOIL SHALL CONTAIN NOT LESS THAN 6% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD. TOPSOIL SHALL HAVE A PH VALUE OF NOT LESS THAN 5.5 NOR MORE THAN 7.0.  
 ALL TREES AND SHRUBS SHALL BE INSTALLED PER PLANTING DETAILS (SEE DETAIL SHEETS)  
 NO PLANT MATERIAL SHALL BE PLANTED IN FROZEN GROUND.  
 ALL PLANTING BEDS AS DESIGNATED SHALL BE BORDERED BY 4" INTERLOCKING ALUMINUM EDGING AND STAVED WITH METAL STAKES SUFFICIENTLY TO HOLD IN PLACE AS APPROVED BY OWNER/DEVELOPER.  
 ALL PLANTED AREAS SHALL RECEIVE A LAYER OF BARK MULCH TO BE USED AS A TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).  
 FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.  
 GRASS AND SODDED AREAS SHALL HAVE FERTILIZER APPLIED WITH A THOROUGH WATERING IMMEDIATELY FOLLOWING APPLICATION AT THE RATE OF 35 LBS. PER 1,000 SQ. FT. WORKED INTO THE TOP 2" OF SOIL.  
 SOIL SHALL BE A SPECIES RECOMMENDED BY AN EXPERIENCED LOCAL A&A-CERTIFIED NURSERY. SOIL IS TO BE STRONGLY ROOTED, WEED-DISEASE AND PEST FREE AND UNIFORM IN THICKNESS.  
 FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF ALL PERMETER SLOPES AND FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

**McDonald's**  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
 HEARTLAND REGION  
 10801 MASTIN BLVD., STE. 400, OVERLAND PARK, KS 66210  
 OFFICE ADDRESS

**BLACKSTONE ENVIRONMENTAL**  
 9153 W. 133RD STREET  
 OVERLAND PARK, KS 66212

C-5	STREET ADDRESS 11130 E 21ST ST N	
	CITY WICHITA	STATE KS
	COUNTY SEDGWICK	REGIONAL DWG. NO 15-0373
	LANDSCAPE PLAN	

DATE	06/13/14	REVISION	REVISOR
DESCRIPTION	REVISOR CITY COMMENT LETTER 06/12/14		
BY	EDT		

PLANT LIST					
QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
2	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CAL	B&B
1	OK	OKLAHOMA REDBUD	CERCIS RENIFORMIS 'OKLAHOMA'	3" CAL	B&B
4	PI	CHINESE PISTACHE	PISTACIA CHINENSIS	3" CAL	B&B
4	PC	PROFUSION CRAPAPPLE	MALUS X PROFUSION	2" CAL	B&B
2	SJ	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	6"-7"	B&B
5	UA	URBANITE ASH	FRAXINUS PENNSYLVANICA 'URBANITE'	3" CAL	B&B
<b>SHRUBS</b>					
21	BJ	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	5 GAL	CONT.
44	DR	DRIFT ROSE	ROSA MEIGALPIO	2 GAL	CONT.
12	KG	KARL FOERSTER GRASS	CALAMAGROSSTIS ACUTIFLORA 'KARL FOERSTER'	3 GAL	CONT.
47	SJ	SEA GREEN JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	5 GAL	CONT.
40	WB	WINTER GEM BOXWOOD	BUXUS MYCROPHYLLOLA 'WINTER GEM'	5 GAL	CONT.
<b>GROUND COVER</b>					
32	BL	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.
25	DL	STELLA DE'ORO DAYLILY	HEMEROCALLIS 'STELLA DO ORO'	1 GAL	CONT.

**WATERING REQUIREMENTS**  
 SOD AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

**LANDSCAPE STREET YARD**

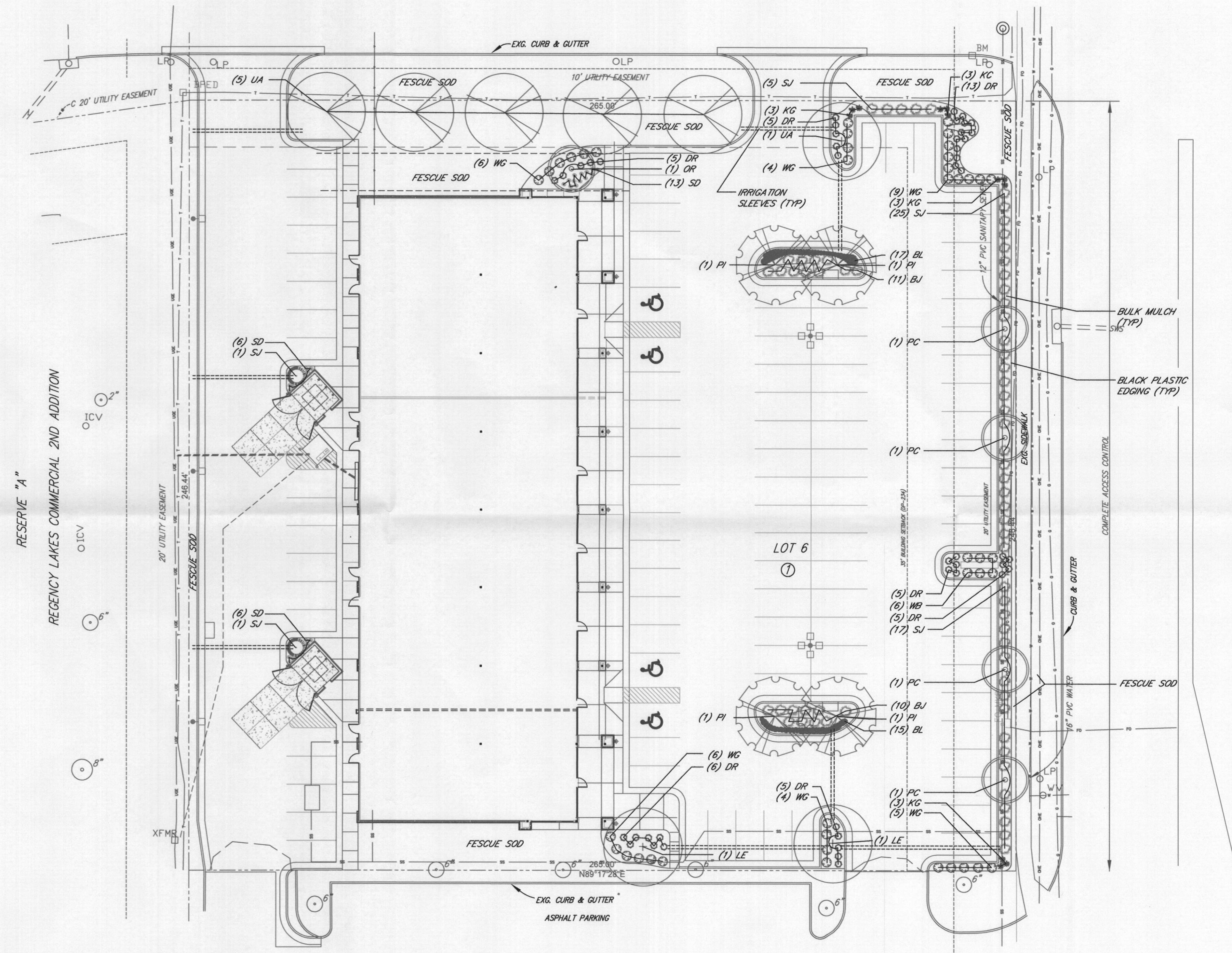
- 266 = AVERAGE LOT DEPTH
- 247 = LINEAR STREET FRONTAGE
- ±10 = SQUARE FOOTAGE FACTOR
- 2470 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 4329 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD PROVIDED
- 2470 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
- 500 = SF PER LANDSCAPE YARD TREE
- 5 = TOTAL LANDSCAPE YARD TREES REQUIRED
- 9 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED
- 5 = TOTAL LANDSCAPE YARD ORNAMENTAL TREES PROVIDED

AVERAGE LOT DEPTH	SQ. FT. FACTOR
175' OR LESS	8 SF/LIN FT
175'-275'	10 SF/LIN FT
275'-375'	15 SF/LIN FT
375' +	20 SF/LIN FT

**PARKING LOT SCREENING AND LANDSCAPING**

- 101 = TOTAL NUMBER OF PARKING SPACES
- 20 = NUMBER OF PARKING SPACES PER TREE
- 6 = TOTAL PARKING LOT TREES REQUIRED
- 4 = TOTAL PARKING LOT SHADE TREES PROVIDED
- 2 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED
- CONTINUOUS PARKING LOT SCREEN REQUIRED
- CONTINUOUS PARKING LOT SCREEN PROVIDED WITH SHRUBS
- (1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

PERIMETER BUFFERS W/ SCREENING-N/A  
 PERIMETER BUFFERS W/O SCREENING-N/A



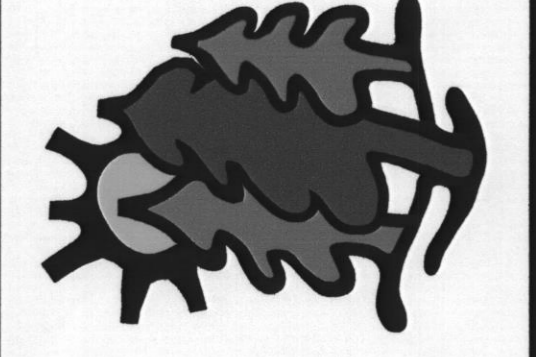
**LANDSCAPE PLAN**  
 APPROVED 3/6/15 BY NCS

DP-23A  
 MAPD copy 1+2



SCALE: 1" = 20'-0"

**TREE TOP**  
 NURSERY & LANDSCAPING, INC.  
 5910 E. 37th NORTH  
 WICHITA, KS 67220  
 TEL 316.686.7491  
 FAX 316.686.9625



SHANNON RETAIL

NORTH GREENWICH ROAD  
 WICHITA, KANSAS

LANDSCAPE PLAN

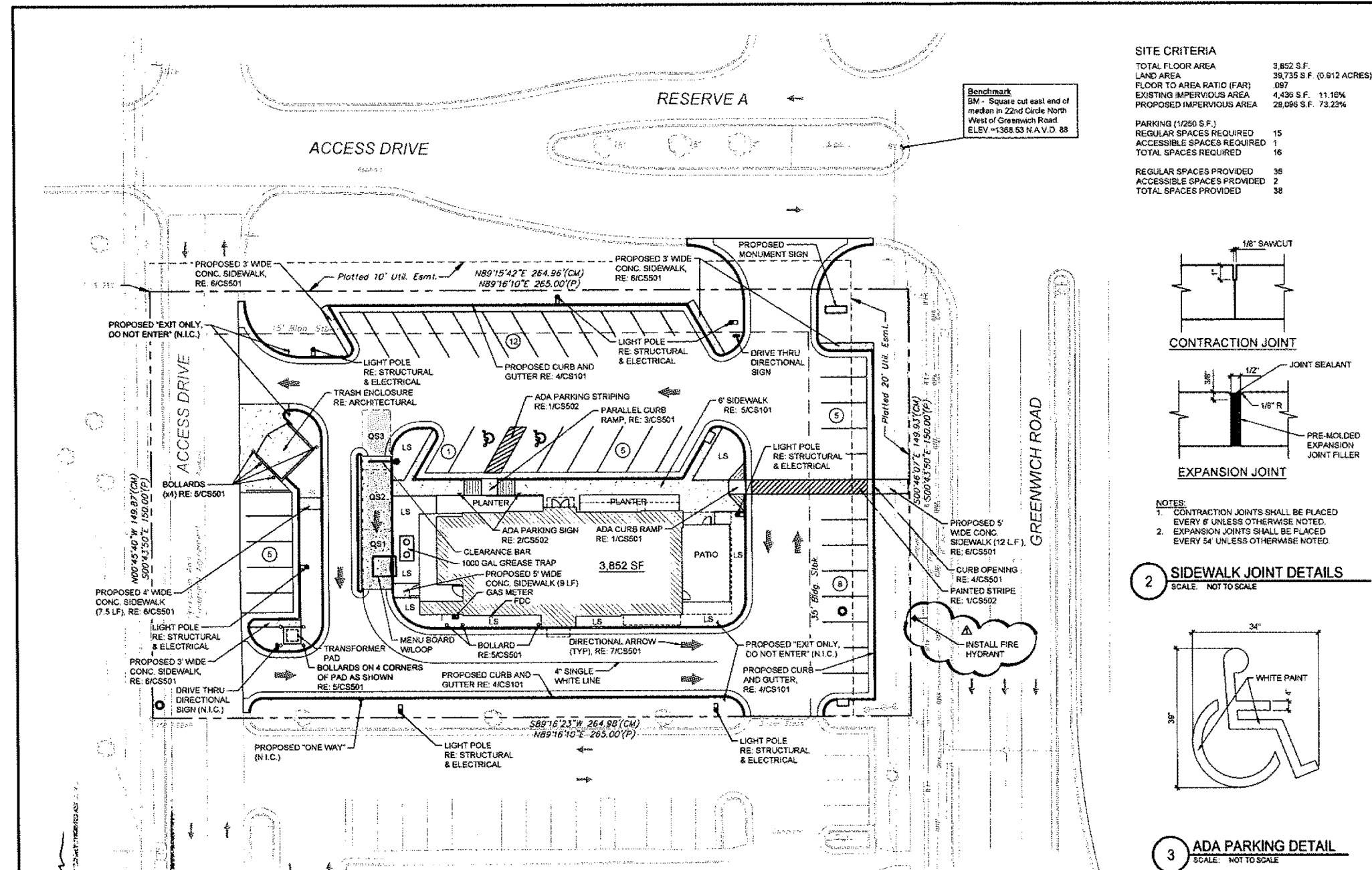
DRAWN BY: DRS		
DATE: 2.26.15		
NO.	REVISION	DATE
SHEET: L1		

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN

**APPROVED**

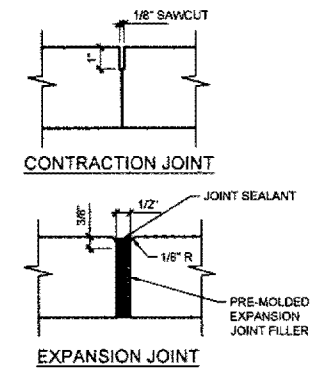
DP-234 Ped Cir Plan

Date: 11-3-16 SK



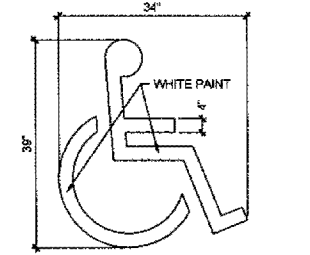
**SITE CRITERIA**

TOTAL FLOOR AREA	3,852 S.F.
LAND AREA	39,735 S.F. (0.912 ACRES)
FLOOR TO AREA RATIO (FAR)	0.97
EXISTING IMPERVIOUS AREA	4,438 S.F. 11.16%
PROPOSED IMPERVIOUS AREA	29,096 S.F. 73.2%
<b>PARKING (1/250 S.F.)</b>	
REGULAR SPACES REQUIRED	15
ACCESSIBLE SPACES REQUIRED	1
TOTAL SPACES REQUIRED	16
<b>REGULAR SPACES PROVIDED</b>	
ACCESSIBLE SPACES PROVIDED	2
TOTAL SPACES PROVIDED	38



- NOTES:**
- CONTRACTION JOINTS SHALL BE PLACED EVERY 6' UNLESS OTHERWISE NOTED.
  - EXPANSION JOINTS SHALL BE PLACED EVERY 54' UNLESS OTHERWISE NOTED.

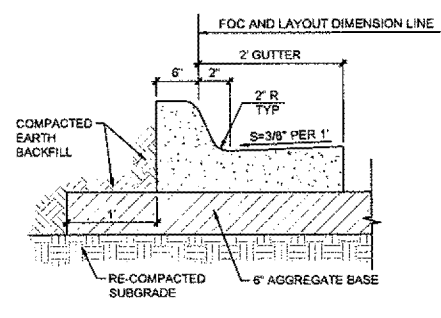
**2 SIDEWALK JOINT DETAILS**  
SCALE: NOT TO SCALE



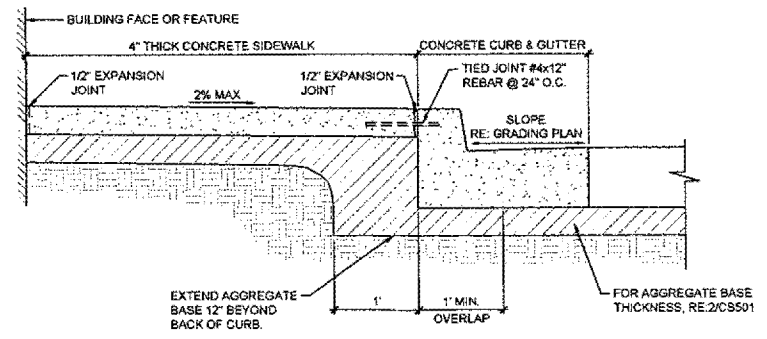
**3 ADA PARKING DETAIL**  
SCALE: NOT TO SCALE

**LEGEND**

LS	LANDSCAPE AREA
QS	QUEUING SPACE



**4 CURB AND GUTTER DETAIL**  
SCALE: NOT TO SCALE



**5 SIDEWALK DETAIL @ BUILDING**  
SCALE: NOT TO SCALE

**SITE NOTES**

- THE CONTRACTOR SHALL CONTACT "KANSAS ONE CALL" AT 316-687-2470 IN WICHITA OR 800-344-7233 IN KANSAS, THREE (3) WORKING DAYS BEFORE BEGINNING EXCAVATIONS, SO EXISTING UNDERGROUND UTILITIES MAY BE LOCATED.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS.
- THIS PROPERTY APPEARS TO BE LOCATED IN ZONE "X", "FLOOD HAZARD AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", PER FEMA F.I.R.M. COMMUNITY PANEL NO. 200328 0377 E, EFFECTIVE DATE: FEBRUARY 2, 2007.
- EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH STRUCTURAL BUILDING PLANS AND SPECIFICATIONS AND THE GEOTECHNICAL REPORT FOR THIS PROJECT, REPORT PREPARED BY: GFAC ENGINEERING, PROJECT NO. G2016068, DATED AUGUST 10, 2016.
- ALL CONSTRUCTION AND METHODS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF WICHITA STANDARD DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. MAINTAIN ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS.
- THIS SET OF CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED AS A WHOLE IN THAT THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR INFORMATION PRESENTED ON ALL SHEETS OF THE SET OF DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS.
- CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ANY REQUIRED STATE OR LOCAL PERMITS. CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, AS NECESSARY, TO RETURN IT TO EXISTING CONDITIONS OR BETTER. CONTRACTOR SHALL REPAIR AND RESTORE ANY AREAS DAMAGED DURING CONSTRUCTION AT HIS OWN EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES PER THE EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL PERFORM THE WORK ACCORDING TO ALL CITY, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR THE "TRENCHING" AND "OPEN EXCAVATION" OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL PAVEMENT MARKING OF STRIPES TO BE 4" WIDE, WHITE AND APPLIED IN TWO COATS, UNLESS OTHERWISE NOTED.
- PARKING LOT STRIPING AND REQUIRED ADA ACCESSIBLE AISLES SHOWN ON PLAN SHALL BE MARKED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
- ALL NEW SIDEWALKS, NOT ADJACENT TO THE BUILDING, SHALL BE A MINIMUM OF FOUR (4) FEET WIDE. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH WITH A MAXIMUM CROSS SLOPE OF TWO PERCENT. TRANSVERSE CONTRACTION JOINTS SHALL MAINTAIN AN EQUAL SPACING WITH THE SIDEWALK WIDTH. SIDEWALK EXPANSION JOINTS SHALL NOT EXCEED 40 FOOT SPACING UNLESS OTHERWISE NOTED.

**ADA NOTES**

- ANY REQUEST BY A GOVERNING AUTHORITY OR INSPECTOR TO ALTER THE ADA COMPLIANCE DETAILS OR REQUIREMENTS DEPICTED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS MUST BE DIRECTED TO THE CR CRAWFORD CONSTRUCTION MANAGER FOR AUTHORIZATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT AUTHORIZATION FROM THE CR CRAWFORD CONSTRUCTION MANAGER AND LATER FOUND TO BE NON-COMPLIANT WITH THE DETAILS AS SHOWN IN THE CONSTRUCTION PLANS AND SPECIFICATIONS WILL BE REMOVED AND REPLACED AND MADE FULLY COMPLIANT REGARDLESS OF MAGNITUDE AT THE PRIMARY AND/OR SUB-CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL FOLLOW THE RFI PROCESS IN ACQUIRING THE APPROVAL OF CHANGES TO ADA RELATED ITEMS DEFINED IN THESE PLANS AND SPECIFICATIONS.
- SEE GRADING PLAN SHEET CG101 FOR FINAL GRADES.
- ALL NEW SIDEWALKS (INCLUDING SIDEWALKS TO BE REMOVED & REPLACED) SHALL NOT EXCEED 2% CROSS SLOPE & 5% RUNNING SLOPE. FOR SIDEWALKS CONTAINED WITHIN THE PUBLIC ROW AND WHEN ADJACENT STREET GRADES EXCEED 5%, THEN SIDEWALK RUNNING SLOPES MAY MATCH STREET GRADES.
- 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.
- PRIVATE PROPERTY RAMPS SHALL HAVE THE FACE OF THE CURB TRANSITIONS PAINTED YELLOW (RE: DETAIL).

**PAVING NOTES**

- ALL CONCRETE SHALL BE 3000 PSI, AND ALL REINFORCING STEEL SHALL BE GRADE 60, UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MUTCO LATEST VERSION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND ANY NEW PAVEMENT.
- CONTRACTOR SHALL PROVIDE AND INSTALL 4 INCH PVC SLEEVES FOR FUTURE UTILITY CROSSINGS UNDER NEW PAVEMENT. THE LOCATION AND NUMBER OF CONDUITS SHALL APPEAR ON THE SITE UTILITY PLAN. VERIFY CONDUIT LOCATIONS WITH ALL UTILITY COMPANIES, AGENCIES OR ENGINEERS SUPPLYING FUTURE SERVICES.
- ALL TRENCH BACKFILL FOR OPEN CUT PAVEMENT AREAS SHALL BE BACKFILLED FULL DEPTH WITH AGGREGATE BASE MATERIAL AND COMPACTED IN 9 INCH LIFTS TO 95% STANDARD PROCTOR DENSITY TO THE BOTTOM OF SURFACE PAVEMENT.
- REFER TO DETAIL 2, SHEET CS501 FOR CONCRETE PAVEMENT SECTIONS FOR THE TRASH ENCLOSURE AREA AND THE DRIVE THRU AREA.

**CYNTERGY**  
 810 SOUTH CINCINNATI  
 CA # E-1332  
 TULSA, OK 74118  
 918.877.6000  
 www.cyntergy.com

STATE OF MISSOURI  
 BRYAN D. CLINE  
 PROFESSIONAL ENGINEER  
 10/20/2016

CYNTERGY ENGINEERING, PLLC  
 CA # E-1332  
 EXPIRES 12/31/2016  
 BRYAN D. CLINE, PE  
 ENGINEER OF RECORD

Life Changing Chicken  
**SLIM CHICKENS**  
 WICHITA, KANSAS

ISSUES / REVISIONS

No.	DATE	REVISION
1	10/20/16	REVISION #1

ISSUE DATE: 9/21/2016  
 PROJECT NO:  
 CHECKED BY: BDC  
 DRAWN BY: CDC

ONE CALL  
 KANSAS  
 KS-1-800-344-7233  
 10-01: 312-61-079

SITE PLAN  
 SHEET NUMBER  
**CS101**

May 14, 2013

Regency Land Company, LLC  
c/o Amy Liebau  
150 N. Market Street  
Wichita, KS, 67211

**RE: CUP2013-00010** - City request for an Administrative Adjustment to the Regency Lakes Commercial Community Unit Plan (“CUP”) DP-234, to reconfigure Parcels 11B & 11C and adjust the size of the parcels; generally located south of K-96 and west of Greenwich Road.

Dear Applicant:

We received and reviewed your request for an Administrative Adjustment to the above-referenced Community Unit Plan, DP-234 the Regency Lakes Commercial Community Unit Plan (“CUP”). We understand you wish to reduce the size of Parcel 11C from 9.40-acres to 9.21-acres, allowing Parcel 11B to become larger, from 4.06-acres to 4.25-acres. The proposed decrease and increase in the size of the parcels is less than 10%. Building coverage and floor area will be the distributed proportionately to the newly reconfigured parcels as indicated on the revised CUP. Uses permitted on the newly created parcels do not change.

The changes to the sizes of Parcels 11B & 11C has configured the parcels. Parcel 11B’s west parcel line has increased from 208.08 feet to 229.50 feet. Conversely Parcel 11C’s west parcel line has decreased from 531.85 feet to 510.45 feet. Also the common west-east parcel line (beginning at the parcels’ common west parcel line) between Parcels 11B & 11C is no longer a straight west-east line of 647.88 feet before it breaks in a straight line to the south. It is now breaks south at a point 390 feet east of the parcels’ common west parcel line, where it then goes 21.42 feet south in a straight line, then continues in a straight line east for 257.78 feet, before it again breaks to the south.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP

adjustment shall not be deemed to alter any other provisions of the CUP except expressly stated herein.

The “Development Application” signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

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John L. Schlegel  
Director of the Wichita-Sedgwick County  
Metropolitan Area Planning Department

---

Tom Stolz  
Director of the Metropolitan Area Building and  
Construction Department

cc: Paul Hays, Sr. Plans Examiner – MABCD  
JR Cox - MABCD

March 31, 2011  
Issued: May 5, 2011

Regency Land Company, LLC  
Attn: Mrs. Amy Liebau AND, Parkway Signs  
150 N. Market  
Wichita, KS 67202

Regency Development Company, LLC  
Attn: Mike Boyd  
1707 N. Waterfront Parkway  
Wichita, KS 67206

**RE: DP-234 - Administrative Adjustment to DP-234 Regency Lakes Commercial Community Unit Plan to create Parcel 11C from Parcels 10 and 11B, create Reserve B from Reserve A, adjust height, architectural compatibility, and alter provisions for owners association agreement, generally located south of K-96 and west of Greenwich Road. (CUP20011-00009)**

Dear Ms. Liebau and Mr. Boyd:

We have received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP 234 Regency Lakes Commercial Community Unit Plan ("CUP"), located south of K-96 and west of Greenwich Road. We understand that you wish to create Parcel 11C from Parcels 10 and 11B. Parcel 10 will be deleted entirely and a portion of Parcel 11B will be added to the land from Parcel 10 to form Parcel 11C. Additionally, you have created a separate reserve (Reserve B) for the eastern 265 feet of the northern entrance from Greenwich Road into the site.

Another requested change is for Parcel 11C to be allowed a building height of 52 feet. This adjustment is less than a five-foot or 10 percent increase for the portion of Parcel 11C formerly within Parcel 11B with an existing height limit of 48 feet. For the portion of 11C formerly within Parcel 10, the increase would be limited to 10 percent of 35 feet, or 38.5 feet.

Requested changes on architectural compatibility and owners association agreement are limited to adjustments endorsed by other owners within the CUP. Any approval of those changes would

be contingent on receiving confirmation of other owner's consent. +

On the basis of our review, we feel that adjusting the CUP in the manner specified herein would be consistent with the CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted as follows. This adjustment shall not be deemed to alter any other provisions except as stated herein.

DEVELOPMENT GUIDELINES:

2. PARCEL 11B

Gross Area – ~~11.944~~10.06 AC.  
Maximum Height – 48 feet  
Maximum Coverage – 30%  
Maximum Gross Floor Area – 30%

PARCEL 11C

Gross Area – 9.40 AC.  
Maximum Height – 52 feet for western 416.79 feet, 48 for remainder of parcel  
Maximum Coverage – 30%  
Maximum Gross Floor Area – 30%

Reserves A and B

Gross Area – ~~16.80~~14.86 AC.  
Maximum Height – 35 feet  
Maximum Coverage – 30%  
Maximum Gross Floor Area – 30%

6. Clarify west property line setbacks as 75 feet on Parcels 12 and 11A and 35 feet on Parcels 11B and 11C.

9. Revised to read: Architectural Control – All buildings within Parcels 11A, 11B, (11C intentionally not included and generally per submitted design) and 12 shall have the same predominate exterior building materials with consistent architectural character, color and texture, and consistent lighting design (fixtures, pines, lamps, etc.) as approved by Director or Planning. Metal shall not be permitted as a predominant exterior building material on any parcel. Parcels 1, 2, 3, 3A, 4, 6, 7, 9 and 10 shall have consistent lighting fixtures, monument sign, and landscape palette.

10 & 15. Substitute “Owners Association” with “Owners Association or Operation and Easement Agreement”.

17. Substitute Parcels 11A and 11B for Parcel 11.

Please submit four (4) copies of the revised C.U.P. within 30 days. The zoning notification signs may now be removed from the property.

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John L Schlegel  
Director of Planning

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Kurt A Schroeder  
Superintendent of Central Inspection

cc: Dale Miller, MAPD  
Neil Strahl, MAPD  
Paul Hays, Office of Central Inspection  
J.R. Cox, Office of Central Inspection  
MKEC Engineering Consultants, Inc., Attn: Brian Lindebak, 411 N Webb, Wichita, KS 67206  
Target Corporation, P.O. Box 9456, Minneapolis, MN 55440-9456

June 22, 2011

Cabela's Wholesale, Inc.  
Attn: Steven Krajewski  
One Cabela Drive  
Sidney, NE 69160

Target Corporation  
P.O. Box 9456  
Minneapolis, MN 55440-09456

Regency Land Company, LLC  
Attn: Mrs. Amy Liebau AND, Parkway Signs  
150 N. Market  
Wichita, KS 67202

Regency Development Company, LLC  
Attn: Mike Boyd  
1707 N. Waterfront Parkway  
Wichita, KS 67206

**RE: DP-234 - Administrative Adjustment to DP-234 Regency Lakes Commercial Community Unit Plan to transfer sign allocation among street frontages and for clarity of all planned signage within the development, generally located south of K-96, west of Greenwich Road and north of 21st Street North. (CUP2011-00019)**

Dear Sir or Madam:

We have received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP 234 Regency Lakes Commercial Community Unit Plan ("CUP"), located south of K-96, west of Greenwich Road and north of 21<sup>st</sup> Street North. We understand that you wish to transfer sign allocation among street frontages and for clarity of all planned signage within the development. Specifically, you have requested to adjust Development Guideline Number 7.

According to the attached information, the amount of signage would increase along the K-96 frontage and 21<sup>st</sup> Street North frontage but remain less than the combined sign face area allowed

per the Wichita Sign Code along the street frontages when treated as a combined unit. The treatment of the sign face areas together along 21<sup>st</sup> Street North, Greenwich Road and K-96 follows the pattern established by a previous amendment to the CUP. The requested change results in less than a 10 percent increase.

On the basis of our review, we feel that adjusting the CUP in the manner specified herein would be consistent with the CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted as elicited on the attached document, labeled Attachment #1 and as described in General Provision #7 of the the attached CUP document, labeled Attachment #2. This adjustment shall not be deemed to alter any other provisions except as stated herein.

Please submit four (4) copies of the revised CUP within 30 days. The zoning notification signs may now be removed from the property.

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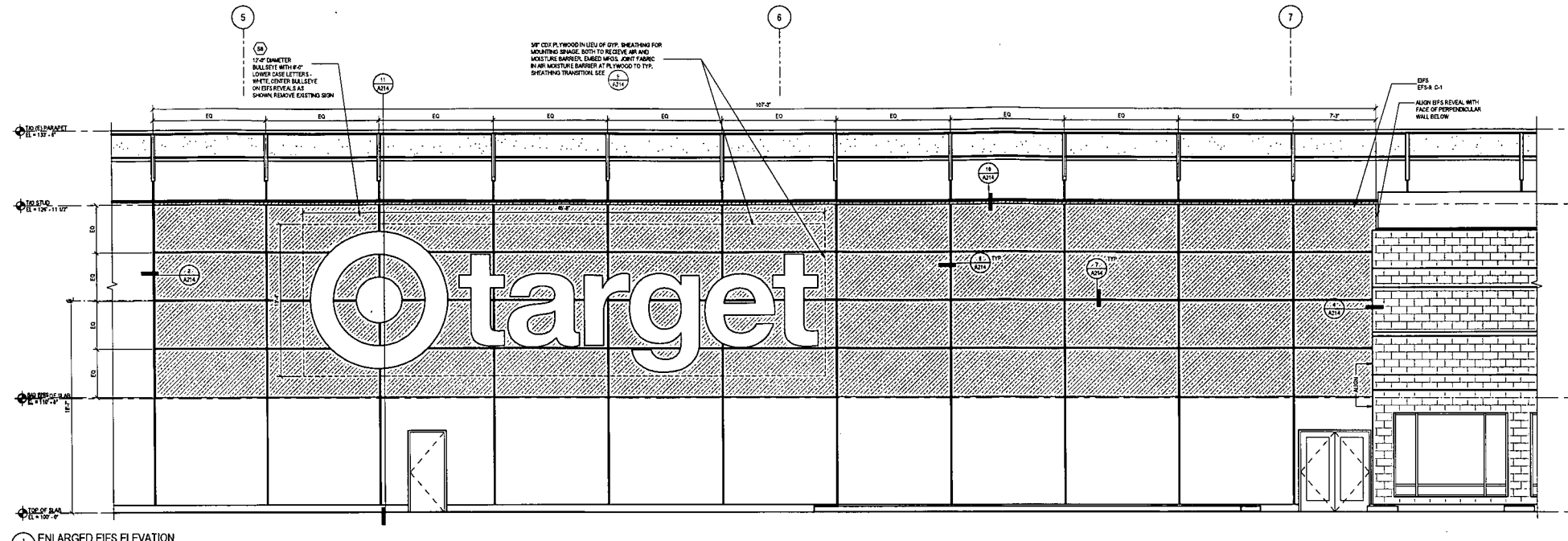
John L. Schlegel  
Director of Planning

---

Kurt A. Schroeder  
Superintendent of Central Inspection

cc: Dale Miller, MAPD  
Paul Hays, Office of Central Inspection  
J.R. Cox, Office of Central Inspection  
Leonard Fox, Office of Central Inspection  
MKEC Engineering Consultants, Inc., Attn: Brian Lindebak, 411 N Webb, Wichita, KS 67206





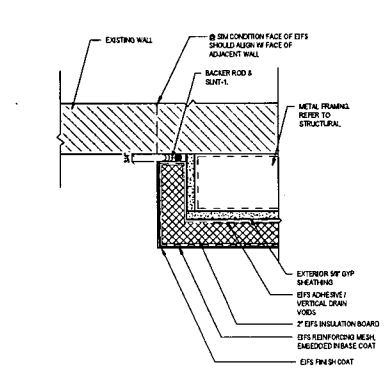
ENLARGED EIFS ELEVATION  
SCALE: 1/4" = 1'-0"

Parced 12  
**APPROVED**

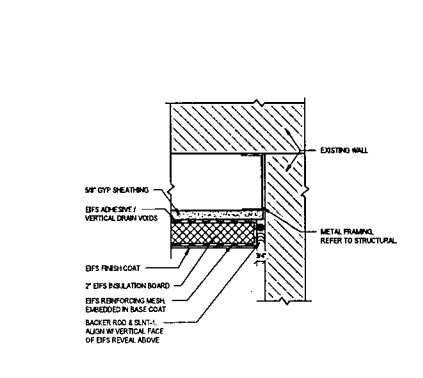
DP-234 Arch Rev per GP #1  
10-24-19  
Page 2 of 2



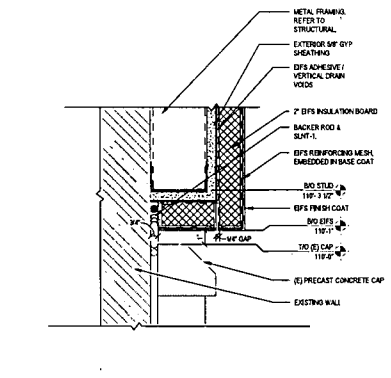
Date	No.	Description
08/30/2019		PERMIT ISSUE
10/25/2019	3	DCN 1032219



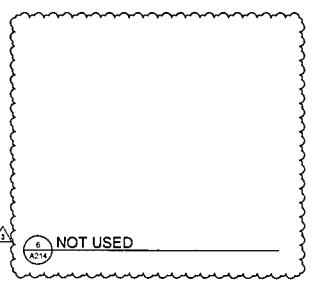
EIFS TERMINATION @ SIDE  
SCALE: 3/4" = 1'-0"



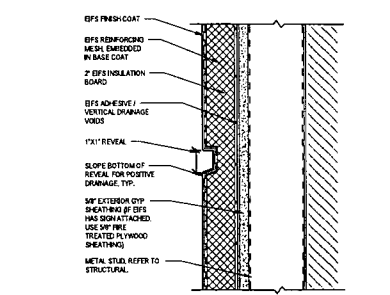
EIFS TERMINATION - PLAN  
SCALE: 3/4" = 1'-0"



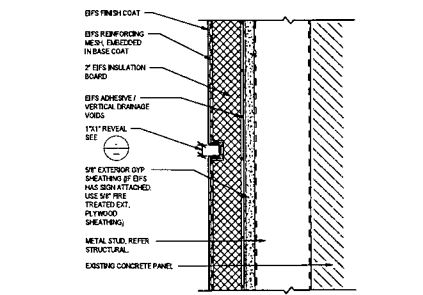
EIFS DETAIL  
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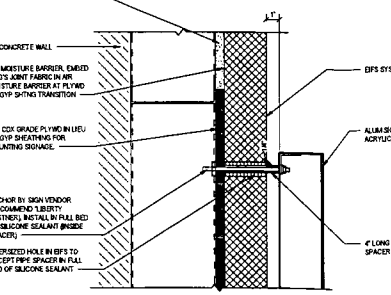
NOT USED



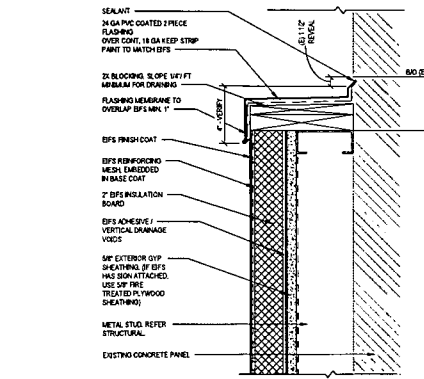
HORIZONTAL REVEAL @ EIFS SECTION  
SCALE: 3/4" = 1'-0"



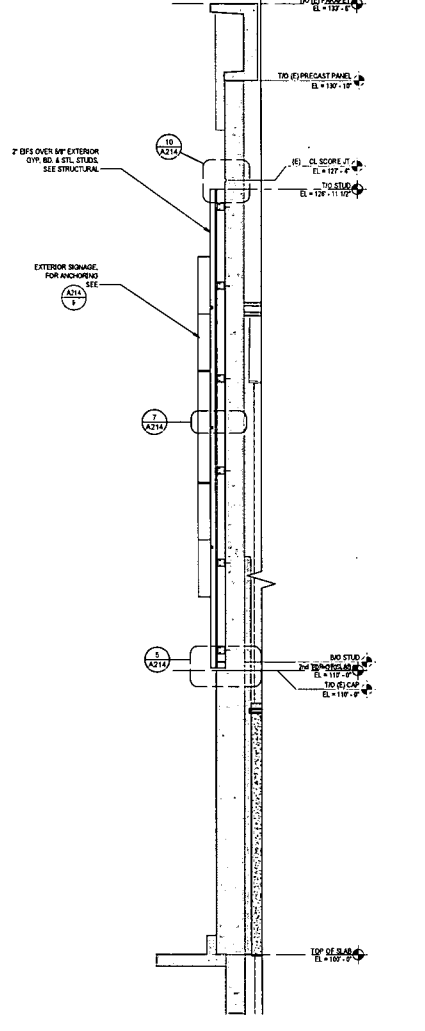
VERTICAL REVEAL @ EIFS SECTION  
SCALE: 3/4" = 1'-0"



SIGN ANCHORAGE @ EIFS WALL  
SCALE: 3/4" = 1'-0"



TO EIFS DETAIL  
SCALE: 3/4" = 1'-0"



WALL SECTION  
SCALE: 1/2" = 1'-0"

**TARGET**  
WICHITA NE, KS  
10800 E. 21st ST. N.  
WICHITA, KS 67206

Project Number: T-1944  
Config: RR  
Drawn By: NS  
Checked By: RM

EIFS SECTIONS & DETAILS

**A214**