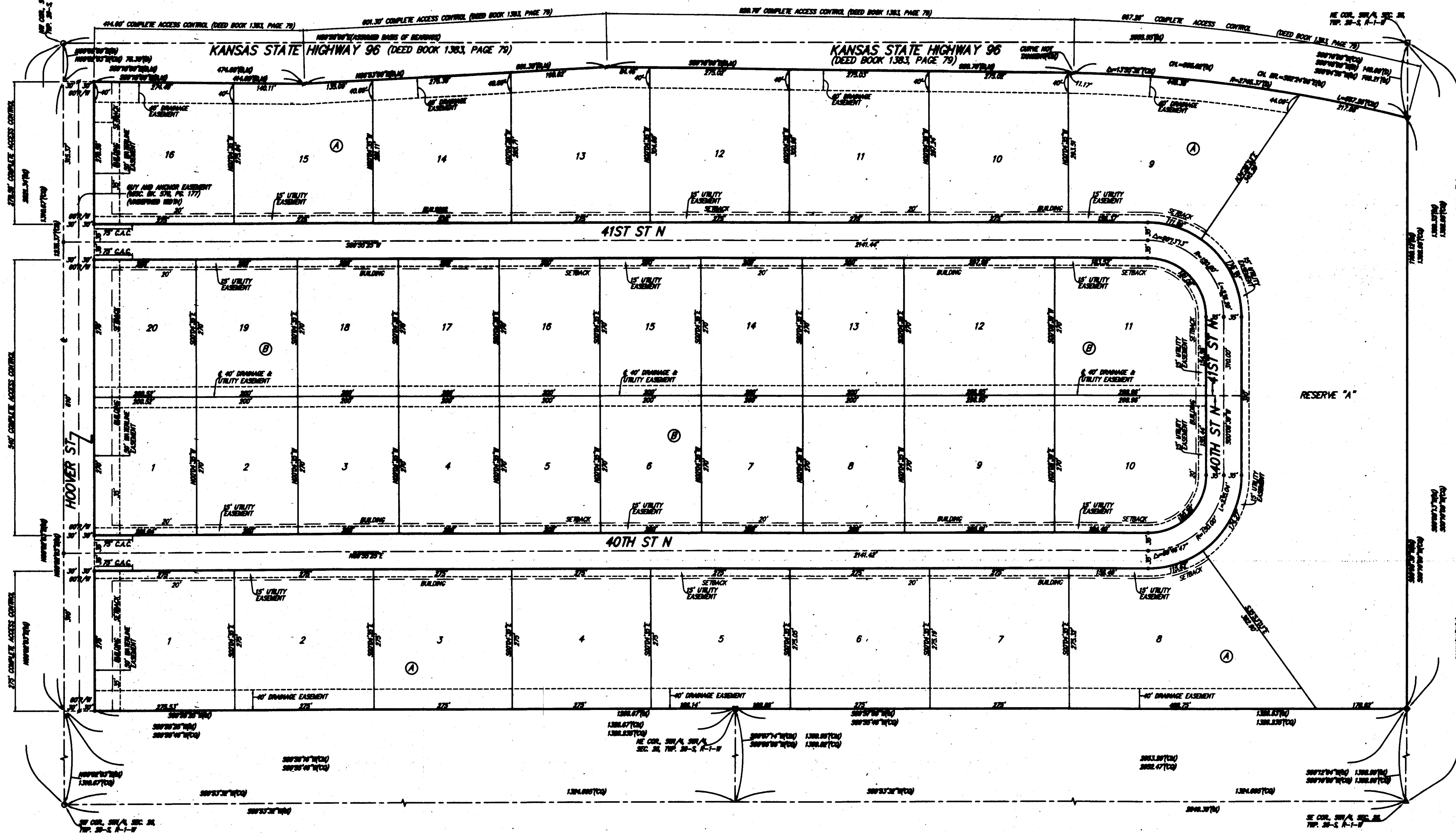


# HOOVER INDUSTRIAL PARK ADDITION SEDGWICK COUNTY, KANSAS



State of Kansas) SS  
Sedgewick County) SS  
We, Baughman Company, P.A., Surveyors in  
and under seal do hereby certify that we have surveyed and  
platted "HOOVER INDUSTRIAL PARK ADDITION", Sedgewick County, Kansas  
and that the accompanying plat is a true and correct exhibit of the  
property surveyed, described as the north half of the Southwest Quarter  
of Section 26, Township 26 South, Range 1 West of the Sixth Principal  
Meridian, Sedgewick County, Kansas, EXCEPT that part devoted for highway  
in Deed Book 1383, Page 78.  
Exhibiting public easements and dedications being  
recorded by virtue of K.S.A. 12-5726, as amended.  
Baughman Company, P.A.

Michael G. Conroy, Surveyor  
LS-971  
11-1-14

Know all men by these presents that we, the undersigned, have caused the land in the foregoing certificate to be platted into Lots, Blocks, Streets, and a Reserve, to be known as "HOOVER INDUSTRIAL PARK ADDITION", Sedgewick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The drainage and utility easements are hereby granted as indicated for drainage purposes and for the construction and maintenance of all public utilities. The easements are hereby granted as indicated for the construction and maintenance of water lines and related appurtenances. The lots are hereby dedicated to and for the use of the public. Reserve "A" is hereby reserved for open space, lawns, landscaping, drainage purposes, access, and utilities as combined to easements. Reserve "A" shall be owned and maintained by the current owner, and/or their successors, and/or a Lot Owner's Association. The Minimum Building Footprint Elevations for the lowest opening to the structure shall be as indicated on the face of the plat. Access contracts shall be as indicated on the face of the plat and are hereby granted to the appropriate governing body.  
Fly High, Inc., a Kansas corporation

\_\_\_\_\_, President  
\_\_\_\_\_, President

State of Kansas) SS  
Sedgewick County) SS  
The foregoing instrument acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2014, by Lou Est, President of Fly High, Inc., a Kansas corporation, on behalf of the corporation.

\_\_\_\_\_, Notary Public  
My Exp. \_\_\_\_\_

This plat of "HOOVER INDUSTRIAL PARK ADDITION", Sedgewick County, Kansas has been submitted to and approved by the Wichita-Sedgewick County Metropolitan Area Planning Commission, Wichita, Kansas.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2014.  
Wichita-Sedgewick County Metropolitan Area Planning Commission

\_\_\_\_\_, Chair  
\_\_\_\_\_, Secretary  
John L. Subingsel

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_, Mayor  
\_\_\_\_\_, City Clerk  
Karen Schmitt

This plat approved and all dedications shown hereon accepted by the Board of Commissioners of Sedgewick County, Kansas, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_, Chairman  
\_\_\_\_\_, County Clerk  
ATTEST: Kelly B. Arnold

Reviewed in accordance with K.S.A. 58-2005 on this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

Entered on transfer record this \_\_\_\_\_ day of \_\_\_\_\_, 2014.  
\_\_\_\_\_, County Clerk  
Kelly B. Arnold

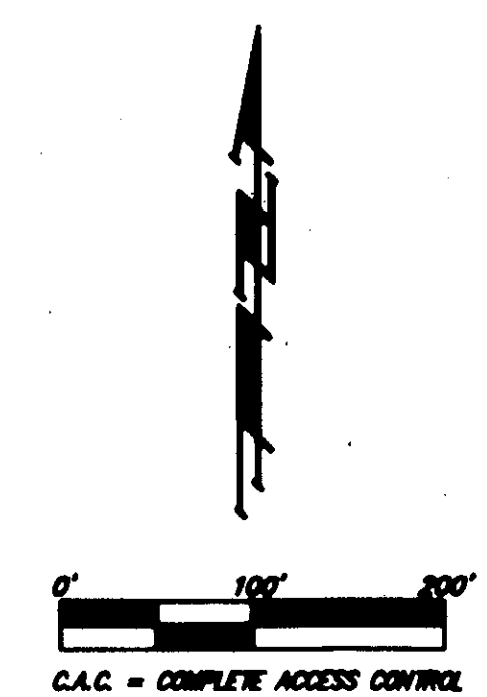
State of Kansas) SS  
Sedgewick County) SS  
This is to certify that this plat has been filed for record in the office of the Register of Deeds, this \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ o'clock \_\_\_\_\_ p.m. and is duly recorded.

\_\_\_\_\_, Register of Deeds  
Bill Meek  
\_\_\_\_\_, Deputy  
Tanya Buckingham

- - 1/4" REBAR W/ "BAYBERRY" CAP (SET)
  - - 1/4" REBAR W/ "BAYBERRY" CAP (FOUND)
  - - 1/2" IRON PIPE (FOUND) (GREEN UNKNOWN)
  - △ - 3/4" IRON PIPE (FOUND) (GREEN UNKNOWN)
  - - 1/2" REBAR W/ ALUMINUM CAP (FOUND) (GREEN UNKNOWN)
  - ▽ - 1/4" REBAR W/ "DANGER" CAP (FOUND)
  - ◇ - 1/4" IRON PIPE W/ "DANGER" CAP (FOUND)
  - - 1/4" REBAR W/ "MILKSTAKE" CAP (FOUND)
- (M) = MEASURED  
(D) = DESCRIBED  
(CU) = CALCULATED PER MEASURED INFO.  
(CD) = CALCULATED PER DESCRIBED INFO.  
(CA) = CALCULATED PER SUBMISSION OF QUARTER SECTION

LOT	BLOCK	ELEVATION
8 & 9	A	1334.0

BENCHMARK:  
RAILROAD SPIRE IN WEST FACE OF SHED OFF POST, 25.6' N & 1.0' S. OF NORTHWEST CORNER OF LOT 16, BLOCK A. ELEV. = 1333.59 NAVD83  
TOP OF FENCE POST WITHOUT TOP CAP, 0.6' N & 0.7' W. OF POINT OF CURVATURE IN NORTH LINE OF LOT 4, BLOCK A. ELEV. = 1337.05 NAVD83



NOTE:  
A drainage plan has been developed for the plat and that all drainage easements, 15'-0" wide or narrower shall remain in existence and be maintained with the approval of the applicable City or County Engineer and constructed to allow for the conveyance of stormwater.