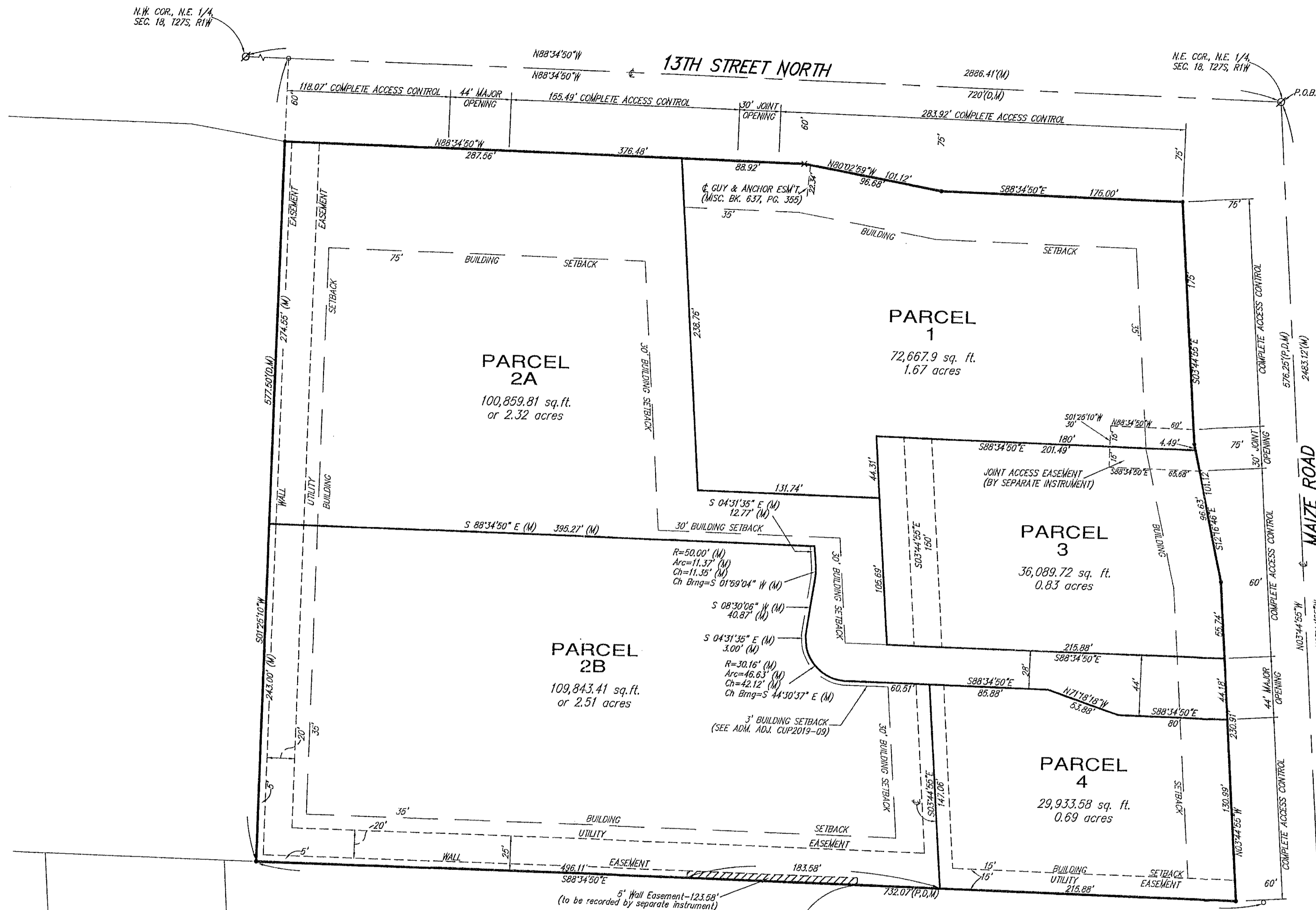


BRANDT COMMERCIAL COMMUNITY UNIT PLAN DP-214

GENERAL PROVISIONS:

- This development plan contains 8.00 acres ±.
- The proposed development contains five (5) parcels with Limited Commercial uses. For specific uses see parcel descriptions.
- Setbacks are as indicated on the C.U.P. drawing, or as specified in the parcel descriptions. If contiguous parcels are to be developed under the same ownership, setbacks between those parcels will not be required. (see CUP2012-09 regarding Parcel 2).
- All utilities shall be installed underground on all parcels.
- A Drainage Plan and guarantees for drainage shall be provided at the time of platting.
- Signs as permitted by the Sign Code of the City of Wichita. Additionally, the following conditions apply:
 - No flashing or moving signs shall be permitted.
 - The maximum height of signs shall be 20 feet.
 - One freestanding monument-type sign is permitted on Maize Road frontage for each parcel (1, 2A, 2B, 3, and 4), and one freestanding monument-type sign is permitted on 13th Street N. frontage for each parcel (1, 2A and 2B). Each sign shall not exceed 0.8 square feet per linear foot of arterial frontage per sign face (see Adm. Adj. dated 6/25/2003).
 - No Portable or off-site signs shall be permitted.
 - Signs for Parcels 2A, 2B, 3 and 4 may be spaced as close as 75 feet, limited to a total of 300 square feet with no single sign exceeding 120 square feet. (See Admin. Adj. dated April 6, 2020)
- Final determination of street right-of-way and pavement widths shall be resolved at the time of platting.
- Parking shall be provided in accordance with Section IV of the Unified Zoning Code, unless otherwise specified in the parcel descriptions.
- The Transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns and their lessees unless amended.
- Architectural elements and lighting (fixtures, pole and lamps) shall be consistent in all parcels. All lights shall be shielded to direct light disbursement in a downward direction or away from residential areas.
- Fire lanes shall be in accordance with the appropriate Fire Code. No parking shall be allowed in said fire lanes, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. Fire hydrant installation and paved access to all building sites shall be provided for each phase of construction prior to the issuance of building permits.
- Access Control:
 - Access to Maize Road shall be limited to two (2) openings; one 30-foot opening on Parcel 1, and one major opening between Parcels 3 and 4 (see plan).
 - Access to 13th Street N. shall be limited to two (2) openings; one 30-foot opening on Parcel 1 (per CUP2012-13), and one major opening on Parcel 2A. The opening to Parcel 2 is to align with the centerline of Westgate Street.
 - Access to North Maize Court shall be unlimited.
- At the time of platting the applicant shall guarantee (unless otherwise determined necessary by the City Engineer) the construction of continuous access lanes along 13th Street N. and Maize Road, and the extension of left-turn lanes to the major entrances on both 13th Street N. and Maize Road.
- Architectural Control:
 - Buildings for non-residential uses on all parcels within the CUP shall share similar architectural character, color, texture, and the same predominate exterior building material. Metal shall not be permitted as a predominate exterior building material for any buildings. Light fixtures, pole, and lamps shall also share similar architectural style and color.
- Masonry walls:
 - A six (6) foot high concrete/masonry wall shall be constructed along the south and west property lines of Parcels 2A and 2B where adjacent to residential zoning; provided, however screening along the south line of Parcel 2B may be provided instead with a six (6) foot tall wood privacy fence, contingent on the existing tree row remaining in place (per CUP2019-34).
 - The above-referenced solid or semi-solid wall shall be constructed of stone, masonry, brick, architectural tile or similar material (not including wood or woven wire).
 - The required masonry wall shall be constructed within a five (5) foot wall easement platted separate from all other easements. Construction of the wall shall require a building permit. No wall shall be constructed in a utility easement.
- Landscape buffers:
 - Landscaping shall be required along 13th Street N. and Maize Road frontages, as per code.
 - A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit.
 - A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
- Failure to properly maintain the masonry walls or landscape buffers mentioned above shall be considered a violation of the CUP after a joint determination by the Director of Planning and the Superintendent of Central Inspection.
- Trash receptacles shall be appropriately screened to reasonably hide them from ground view.
- If multiple ownership is anticipated, an owners association agreement providing for the maintenance of reserves, open space, internal drives, parking areas, drainage improvements, etc. shall be filed with the plat of the area. Note - all drives and parking areas shall be privately owned and maintained by the owners association(s). Those portions of major entrances on public right-of-way will be guaranteed at the time of platting. Those portions of major entrances on private property will be a requirement at the time building permits are requested.
- An overall site traffic circulation plan shall be submitted to the Planning Director for approval by the Planning Director prior to the issuance of any building permits. Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement between parcels within the CUP.
- A pedestrian circulation plan shall be submitted and approved by the Director of Planning prior to the issuance of building permits for each parcel. Said plan shall depict the location, width and material for sidewalk access to the major center from Maize Road and 13th Street N.
- Parcel Descriptions: (See below)
- In addition to uses permitted for Parcels 3, per CUP DP-214, Parcel 3 shall be allowed an enclosed, fully automated/conveyor propelled, one bay car wash. The bay doors on the entrance or exit can be facing Maize Road. A minimum of two staff shall be on the car wash site, during its 8AM - 8PM hours of operation, 7 days a week. The vacuum islands will be placed as far away from Maize Road as possible, not in any setbacks and they will not be operating in off hours, when the facility is not operating. Pole lighting shall be a total of 15-foot in height (including the base) and not placed in any setbacks and comply with the lighting standards of Sec IV-B-4. The noise standards of Sec IV-C-6 shall be complied with. Access will be from Maize Road and or 13th Street North. The circulation plan must be approved by the Traffic Engineer. All parking areas shall have adequate guards to prevent the extension or overhanging of vehicles beyond the property lines or parking spaces. A temporary 6-foot wooden fence will be placed along the west side of the site and along the west portion of the south side where the site is not screened by the existing retail strip on Parcel 4. The fence will stay up until the required masonry wall goes up at the time of development on Parcels 2A & 2B. All drainage created by the operation and development of the site shall be handled in a manner satisfactory to the Department of Public Works.
- The applicant shall submit a revised site plan and CUP document for review and approval by the Planning Director, prior to the operation of the car wash, within six months of approval by the MAPC or the City Council. The site plan will include dimension control and show all aspects of the car wash facility. Elevations of the car wash facility will be provided for review and approval. Materials and signage will be per the provisions of DP-214. The site will be developed according to the revised site plan and the revised CUP document. The site plan will also give the final revised total dimensions, gross area, and floor area ratio of Parcels 3, 2A & 2B.



LEGAL DESCRIPTION:

Brandt Commercial 2nd Addition to Wichita, Sedgewick County, Kansas.

REVISIONS

Original:	July 12, 1994
Revised:	August 8, 1994
Revised:	June 12, 2003
Revised per Administrative Adjustment:	May 18, 2005
Revised per Amendment:	September 24, 2007
Revised per replat:	April 9, 2012
Revised per Amendment (CUP2018-53):	January 10, 2019
Revised per Adm. Adj. (CUP2019-09):	May 3, 2019
Revised per Amendment (CUP2019-34):	October 10, 2019

PARCEL 1

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; and bank or financial institution (per Adm. Adj. dated 04/11/2002). Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

Net Area: 72,667.9 sq. ft., or 1.67 acres
Maximum Building Coverage: 21,800 sq. ft., or 30 percent
Maximum Gross Floor Area: 21,800 sq. ft.
Floor Area Ratio: 30 percent
Maximum Number of Buildings: Two (2)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road.

PARCEL 2A

Proposed Uses: Neighborhood shopping center including offices; medical and dental offices; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; retail shops; restaurants; dry cleaning; laundry; barber & beauty shops; tailors; studios; hardware stores; furniture stores; grocery stores; and department stores. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No adult entertainment, drinking establishments, free-standing convenience stores or fast food restaurants shall be permitted. Theater uses shall be limited to a maximum of 4 screens and 25 seats, and all parking spaces shall be contained on Parcel 1.

Net Area: 100,859.81 sq. ft., or 2.32 acres
Maximum Building Coverage: 24,810 sq. ft., or 30 percent
Maximum Gross Floor Area: 28,945 sq. ft.
Floor Area Ratio: 35 percent
Maximum Number of Buildings: Two (2)
Maximum Building Height: 45'
Parking: Per U.Z.C.
Setbacks: See drawing.

PARCEL 2B

Proposed Uses: Self-storage warehouse subject to the provisions of Section III-D(6)(y), except items 1, 13, 17, 18 & 19 (per CUP2018-53).

Net Area: 109,843.41 sq. ft., or 2.51 acres
Maximum Building Coverage: 35,500 sq. ft., or 32.3 percent
Maximum Gross Floor Area: 107,462 sq. ft.
Floor Area Ratio: 97.8 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 45'
Parking: Per U.Z.C.
Setbacks: See drawing.

PARCEL 3

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; vehicle repair (limited); and personal care service. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

Net Area: 36,089.72 sq. ft., or 0.83 acres
Maximum Building Coverage: 8,000 sq. ft., or 22.2 percent
Maximum Gross Floor Area: 8,000 sq. ft.
Floor Area Ratio: 22.2 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road. 15' along the north property line.

PARCEL 4

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; vehicle repair (limited); and personal care service. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

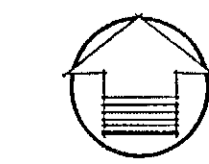
Net Area: 29,933.58 sq. ft., or 0.69 acres
Maximum Building Coverage: 8,000 sq. ft., or 26.7 percent
Maximum Gross Floor Area: 8,000 sq. ft.
Floor Area Ratio: 26.7 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road. 15' along the south property line.

APPROVED CUP

MAPE 5/16/2022 Admin Adj. dated 4/16/2020
 Copy 1 of 4 CUP 2020-0015

DP-214

BRANDT COMMERCIAL
COMMUNITY UNIT PLAN



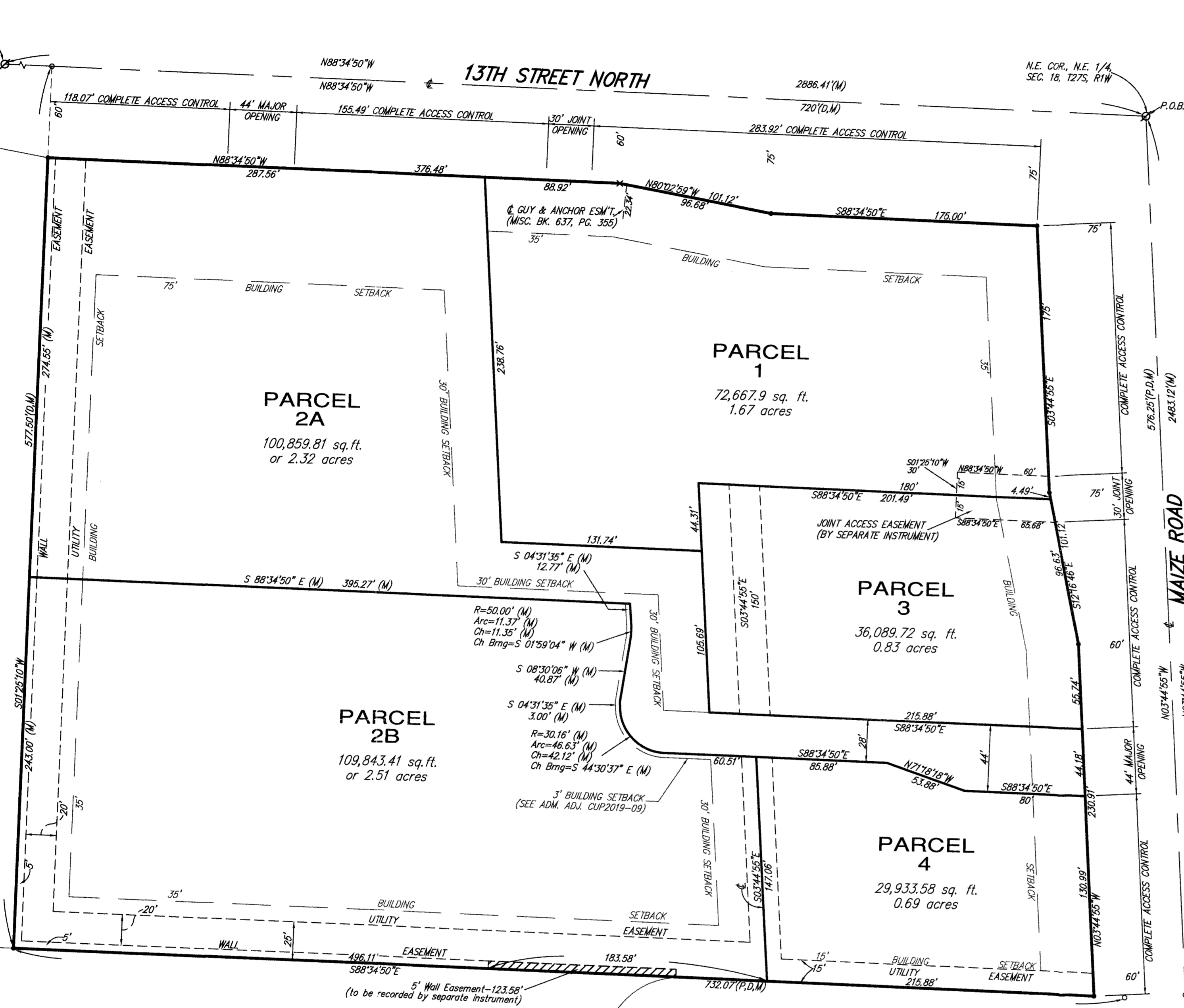
SCALE: 1" = 50'

Baughman Company, P.A.
 315 Ellis St. Wichita, KS 67211 P 316-262-7271 F 316-262-0199
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

BRANDT COMMERCIAL COMMUNITY UNIT PLAN DP-214

GENERAL PROVISIONS:

- This development plan contains 8.00 acres ±.
- The proposed development contains five (5) parcels with Limited Commercial uses. For specific uses see parcel descriptions.
- Setbacks are as indicated on the C.U.P. drawing, or as specified in the parcel descriptions. If contiguous parcels are to be developed under the same ownership, setbacks between those parcels will not be required. (see CUP2012-09 regarding Parcel 2).
- All utilities shall be installed underground on all parcels.
- A Drainage Plan and guarantees for drainage shall be provided at the time of platting.
- Signs as permitted by the Sign Code of the City of Wichita. Additionally, the following conditions apply:
 - No flashing or moving signs shall be permitted.
 - The maximum height of signs shall be 20 feet.
 - One freestanding monument-type sign is permitted on Maize Road frontage for each parcel (1, 2A, 2B, 3, and 4), and one freestanding monument-type sign is permitted on 13th Street N. frontage for each parcel (1, 2A and 2B). Each sign shall not exceed 0.8 square feet per linear foot of arterial frontage per sign face (see Adm. Adj. dated 6/25/2003).
 - No Portable or off-site signs shall be permitted.
 - Signs for Parcels 2A, 2B, 3 and 4 may be spaced as close as 85 feet, limited to a total of 300 square feet with no single sign exceeding 120 square feet.
- Final determination of street right-of-way and pavement widths shall be resolved at the time of platting.
- Parking shall be provided in accordance with Section IV of the Unified Zoning Code, unless otherwise specified in the parcel descriptions.
- The Transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns and their lessees unless amended.
- Architectural elements and lighting (fixtures, pole and lamps) shall be consistent in all parcels. All lights shall be shielded to direct light disbursement in a downward direction or away from residential areas.
- Fire lanes shall be in accordance with the appropriate Fire Code. No parking shall be allowed in said fire lanes, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. Fire hydrant installation and paved access to all building sites shall be provided for each phase of construction prior to the issuance of building permits.
- Access Control:
 - Access to Maize Road shall be limited to two (2) openings; one 30-foot opening on Parcel 1, and one major opening between Parcels 3 and 4 (see plan).
 - Access to 13th Street N. shall be limited to two (2) openings; one 30-foot opening on Parcel 1 (per CUP2012-13), and one major opening on Parcel 2A. The opening to Parcel 2 is to align with the centerline of Westgate Street.
 - Access to North Maize Court shall be unlimited.
- At the time of platting the applicant shall guarantee (unless otherwise determined necessary by the City Engineer) the construction of continuous accel/decel lanes along 13th Street N. and Maize Road, and the extension of left-turn lanes to the major entrances on both 13th Street N. and Maize Road.
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 - Buildings for non-residential uses on all parcels within the CUP shall share similar architectural character, color, texture, and the same predominate exterior building material. Metal shall not be permitted as a predominate exterior building material for any buildings. Light fixtures, pole, and lamps shall also share similar architectural style and color.
- Masonry walls:
 - A six (6) foot high concrete/masonry wall shall be constructed along the south and west property lines of Parcels 2A and 2B where adjacent to residential zoning; provided, however screening along the south line of Parcel 2B may be provided instead with a six (6) foot tall wood privacy fence, contingent on the existing tree row remaining in place (per CUP2019-34).
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- Landscape buffers:
 - Landscaping shall be required along 13th Street N. and Maize Road frontages, as per code.
 - A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and specifications of all plant material. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit.
 - A financial guarantee for the plant material approved on the landscape plan for that portion of the C.U.P. being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
- Failure to properly maintain the masonry walls or landscape buffers mentioned above shall be considered a violation of the CUP after a joint determination by the Director of Planning and the Superintendent of Central Inspection.
- Trash receptacles shall be appropriately screened to reasonably hide them from ground view.
- If multiple ownership is anticipated, an owners association agreement providing for the maintenance of reserves, open space, internal drives, parking areas, drainage improvements, etc. shall be filed with the plat of the area. Note - all drives and parking areas shall be privately owned and maintained by the owners association(s). Those portions of major entrances on public right-of-way will be guaranteed at the time of platting. Those portions of major entrances on private property will be a requirement at the time building permits are requested.
- An overall site traffic circulation plan shall be submitted to the Planning Director for approval by the Planning Director prior to the issuance of any building permits. Cross-lot circulation agreements shall be required at the time of platting to assure internal vehicular movement between parcels within the CUP.
- A pedestrian circulation plan shall be submitted and approved by the Director of Planning prior to the issuance of building permits for each parcel. Said plan shall depict the location, width and material for sidewalk access to the major center from Maize Road and 13th Street N.
- Parcel Descriptions: (See below)
- In addition to uses permitted for Parcels 3, per CUP DP-214, Parcel 3 shall be allowed an enclosed, fully automated/conveyor propelled, one bay car wash. The bay doors on the entrance or exit can be facing Maize Road. A minimum of two staff shall be on the car wash site, during its 8AM - 8PM hours of operation, 7 days a week. The vacuum islands will be placed as far away from Maize Road as possible, not in any setbacks and they will not be operating in off hours, when the facility is not operating. Pole lighting shall be a total of 15-feet in height (including the base) and not placed in any setbacks and comply with the lighting standards of Sec. IV-B.4. The noise standards of Sec. IV-C.6 shall be complied with. Access will be from Maize Road and or 13th Street North. The circulation plan must be approved by the Traffic Engineer. All parking areas shall have adequate guards to prevent the extension or overhanging of vehicles beyond the property lines or parking spaces. A temporary 6-foot wooden fence will be placed along the west side of the site and along the west portion of the south side where the site is not screened by the existing retail strip on Parcel 4. The fence will stay up until the required masonry wall goes up at the time of development on Parcels 2A & 2B. All drainage created by the operation and development of the site shall be handled in a matter satisfactory to the Department of Public Works.
- The applicant shall submit a revised site plan and CUP document for review and approval by the Planning Director, prior to the operation of the car wash, within six months of approval by the MAPC or the City Council. The site plan will include dimension control and show all aspects of the car wash facility. Elevations of the car wash facility will be provided for review and approval. Materials and signage will be per the provisions of DP-214. The site will be developed according to the revised site plan and the revised CUP document. The site plan will also give the final revised total dimensions, gross area, and floor area ratio of Parcels 3, 2A & 2B.



LEGAL DESCRIPTION:

Brandt Commercial 2nd Addition to Wichita, Sedgwick County, Kansas.

REVISIONS

Original:	July 12, 1994
Revised:	August 8, 1994
Revised:	June 12, 2003
Revised per Administrative Adjustment:	May 18, 2005
Revised per Amendment:	September 24, 2007
Revised per replat:	April 9, 2012
Revised per Amendment (CUP2019-53):	January 10, 2019
Revised per Adm. Adj. (CUP2019-09):	May 3, 2019
Revised per Amendment (CUP2019-34):	October 10, 2019

PARCEL 1

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; and bank or financial institution (per Adm. Adj. dated 04/11/2002). Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

Net Area: 72,667.9 sq. ft., or 1.67 acres
Maximum Building Coverage: 21,800 sq. ft., or 30 percent
Maximum Gross Floor Area: 21,800 sq. ft.
Floor Area Ratio: 30 percent
Maximum Number of Buildings: Two (2)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road.

PARCEL 2A

Proposed Uses: Neighborhood shopping center including offices; medical and dental offices; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; retail shops; restaurants; dry cleaning; laundry; barber & beauty shops; tailors; studios; hardware stores; furniture stores; grocery stores; and department stores. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No adult entertainment, drinking establishments, free-standing convenience stores or fast food restaurants shall be permitted. Theater uses shall be limited to a maximum of 4 screens and 25 seats, and all parking spaces shall be contained on Parcel 1.

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Floor Area Ratio: 35 percent
Maximum Number of Buildings: Two (2)
Maximum Building Height: 45'
Parking: Per U.Z.C.
Setbacks: See drawing.

PARCEL 2B

Proposed Uses: Self-storage warehouse subject to the provisions of Section III-D(6)(j), except items 1, 13, 17, 18 & 19 (per CUP2018-53).

Net Area: 109,843.41 sq. ft., or 2.51 acres
Maximum Building Coverage: 35,500 sq. ft., or 32.3 percent
Maximum Gross Floor Area: 107,462 sq. ft.
Floor Area Ratio: 97.8 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 45'
Parking: Per U.Z.C.
Setbacks: See drawing.

PARCEL 3

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; vehicle repair (limited); and personal care service. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

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Maximum Building Coverage: 8,000 sq. ft., or 22.2 percent
Maximum Gross Floor Area: 8,000 sq. ft.
Floor Area Ratio: 22.2 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road. 15' along the north property line.

PARCEL 4

Proposed Uses: Convenience stores; restaurants (including fast food); retail shops; offices; medical and dental offices or clinics; tire, battery & accessory stores; pharmacies; small animal clinics; day care centers; fitness centers; vehicle repair (limited); and personal care service. Overhead doors associated with these uses shall not face 13th Street North or Maize Road. No drinking establishments shall be permitted.

Net Area: 29,933.58 sq. ft., or 0.69 acres
Maximum Building Coverage: 8,000 sq. ft., or 26.7 percent
Maximum Gross Floor Area: 8,000 sq. ft.
Floor Area Ratio: 26.7 percent
Maximum Number of Buildings: One (1)
Maximum Building Height: 35'
Parking: Per U.Z.C.
Setbacks: 35' along 13th Street N. and Maize Road. 15' along the south property line.

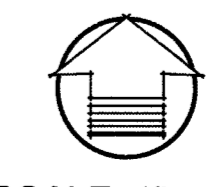
APPROVED CUP

MAPC 10-10-19
 MAPD 2 of 2

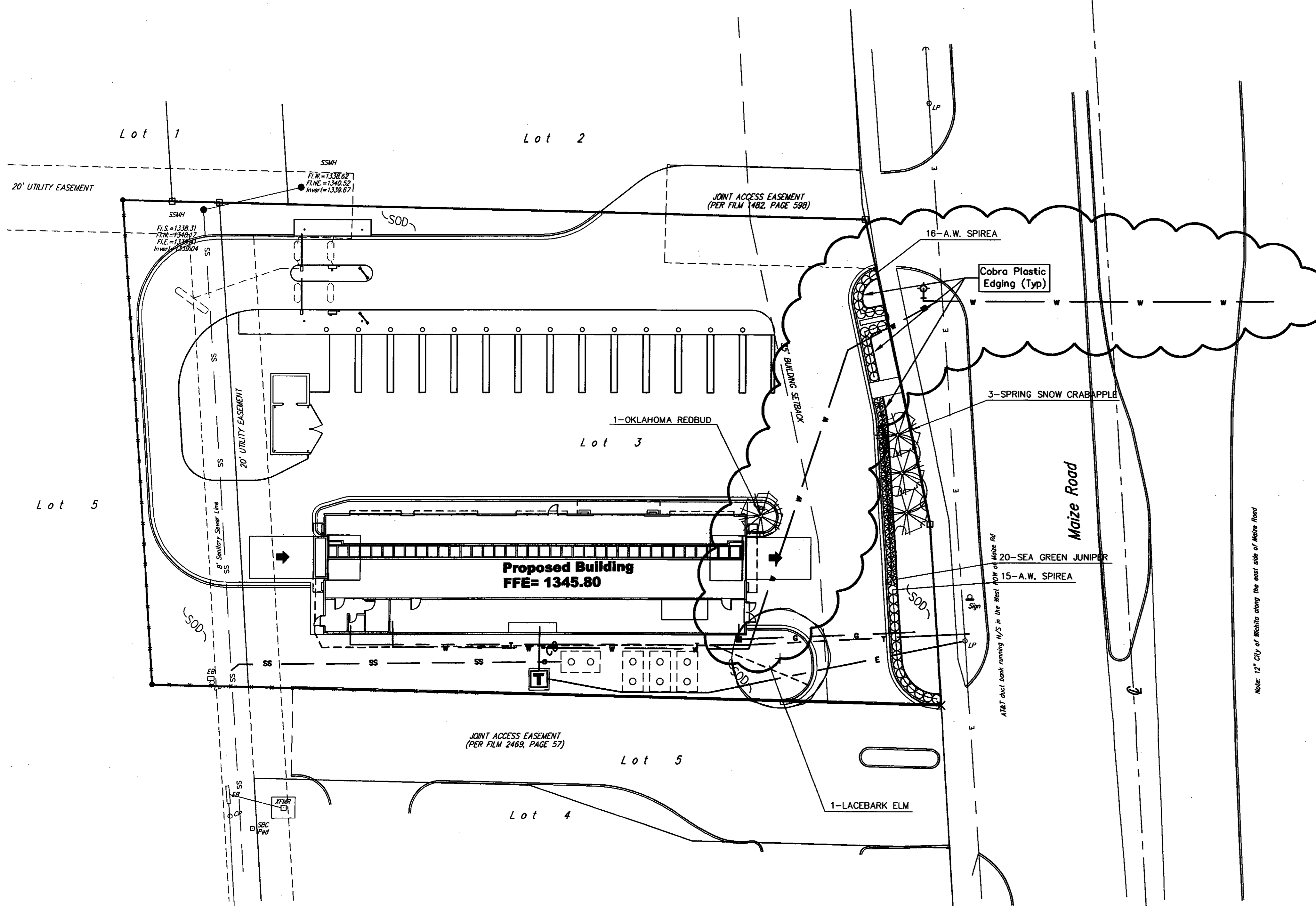
DP-214

**BRANDT COMMERCIAL
COMMUNITY UNIT PLAN**

Baughman Company, P.A.
 315 Ellis St. Wichita, KS 67211 P 316-262-0149
 F 316-262-0149
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE



SCALE: 1" = 50'



LANDSCAPE ORDINANCE CALCULATIONS

Streetyard Requirement:	150'
	$\times \frac{10'}{1,500 \text{ sq. ft.}}$
Total Streetyard Shown:	2,000 sq.ft.
Streetyard Trees Required:	1 per 500 sq.ft. = 3 Shade Trees

BENCHMARK

"□" Chiseled on Top of Walk Approx. 56" North of SE Property Corner of Lot 3, Block 1, Brandt Commercial Addition to Wichita, Sedgwick County, Kansas. Elev. = 1345.24 NGVD 29

LEGAL DESCRIPTION

Lot 3, Block 1, Brandt Commercial Addition to Wichita, Sedgwick County, Kansas.

SITE INFORMATION

Total Area: ±36,574 sq. ft. (0.84 acres)
 Impervious Area: ±29,334.05 sq. ft. (0.67 acres)
 Building Area: 4,920 sq. ft.
 Parcel 3
 Max. Floor Area Ratio - 0.219
 Floor Area Ratio Shown - 0.136
 Parcel 5
 Max. Floor Area Ratio - 0.220
 Gross Area - 216,412 sq. ft. (4.97 acres)

LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "Sod" or "Seed" shall be installed and fertilized as follows:
 SEED--Kansas Premium Fescue Seed
 FERTILIZER--16-20-6 ratio 4#/1000 sq. ft.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Treflan (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be retolified in to a depth of 10-12".
- Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be shredded cypress mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be 10 gauge thickness, commercial grade, or approved equal.
- General Contractor to supply and place at a depth of 4", all topsoil on site.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- General Contractor to coordinate with appropriate Local City Official to Remove/Transplant exist trees.
- Full planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, full season shall be September 1 thru mid October. Spring season for seeding shall be from March 15 thru mid May.
- Landscape Contractor shall provide maintenance until final project acceptance including landscape maintenance and watering.

IRRIGATION NOTES:

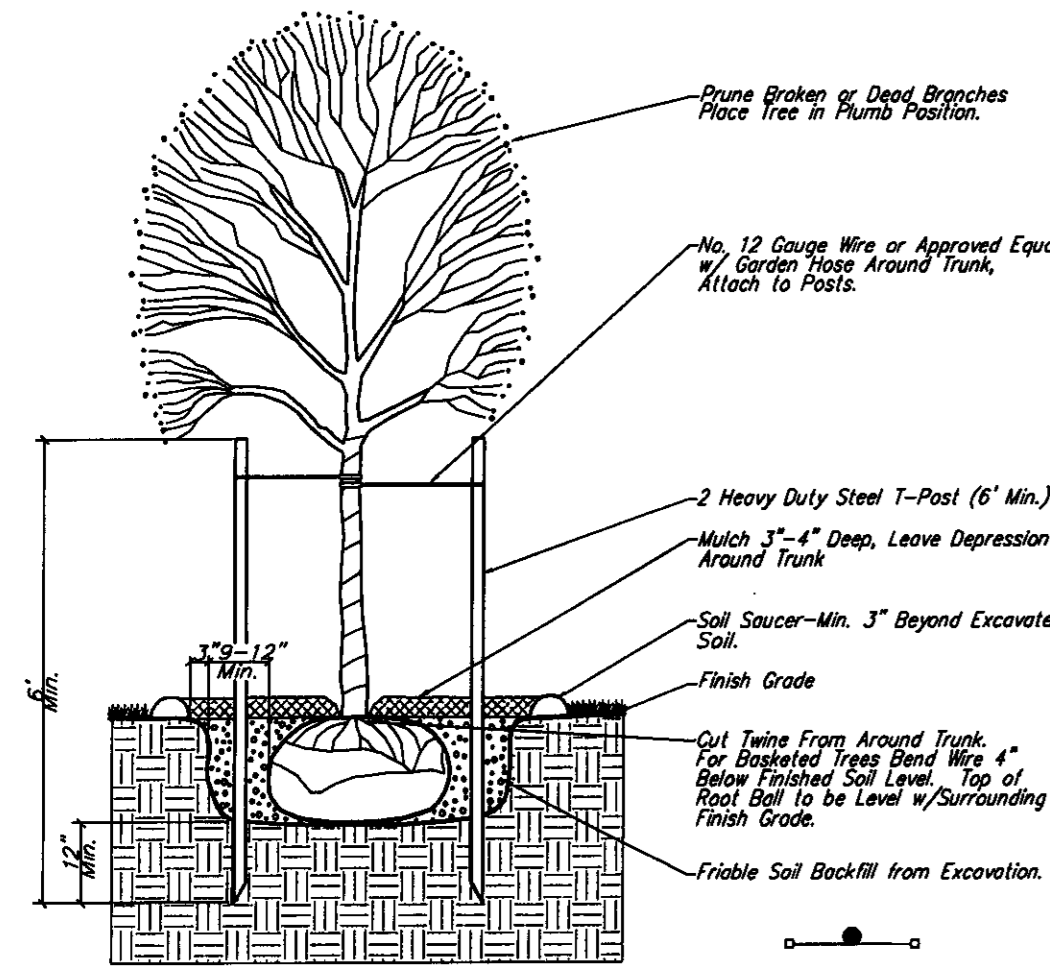
- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so turf heads are on separate zones from shrub spray heads.
- The Irrigation Contractor DOES NOT START irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which: Use Rainbird products or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City Codes.
- Prior to construction, Irrigation Contractor to locate all exist and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using drip system and/or spray heads.
- Heads to be adjusted to not spray on buildings, walks, or drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and sized so not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor shall coordinate with Paving Contractor to locate and install required irrigation lines sleeving prior to any paving. Combine piping when possible to save on sleeving material. Sleeves to be min. 20" below finish grade. Verify final depth w/ Paving Contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Contractor to verify location of city water with GC prior to installation of system. Irrigation Contractor shall verify static pressure and volume of well water supply prior to installation of system.
- Locate Irrigation Controller per Owner/G.C request.
- Irrigation water is to be supplied as shown.

SITE LANDSCAPE PLAN

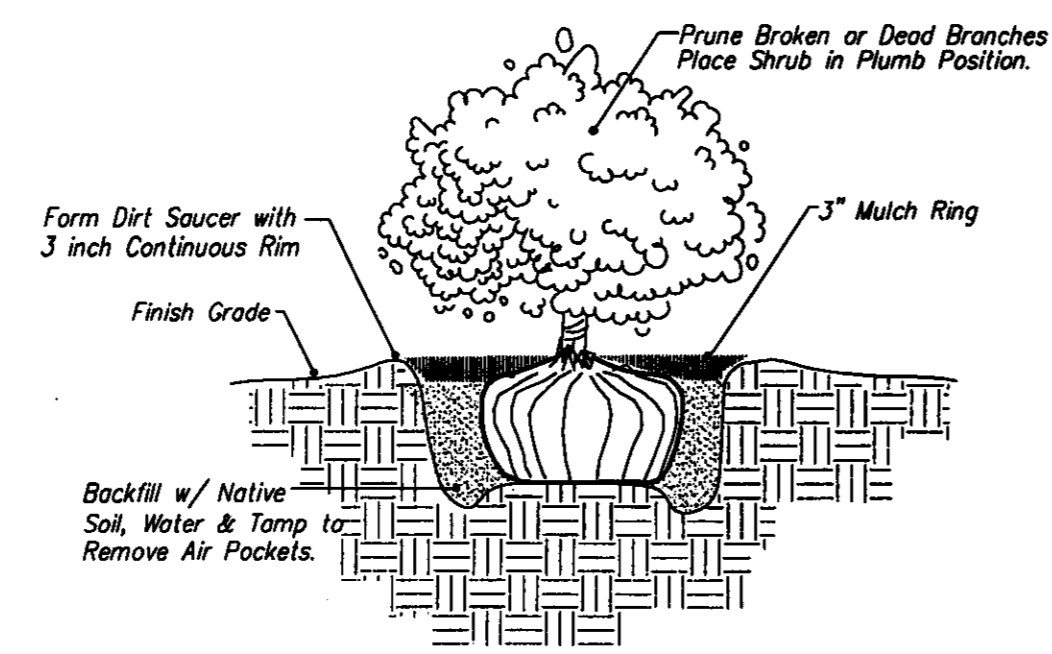
Scale 1"= 20'0"

PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
1	<i>Ulmus parvifolia</i>	Lacebark Elm	3" Cal.	B&B	Single Stem Only
1	<i>Cercis reniformis 'Oklahoma'</i>	Oklahoma Redbud	2" Cal.	B&B	Single Stem Only
3	<i>Malus species 'Spring Snow'</i>	Spring Snow Crabapple	2" Cal.	B&B	Single Stem Only
20	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	5-Cal.	Container	Full & Healthy
31	<i>Spiraea x bumalda 'Anthony Waterer'</i>	Anthony Waterer Spiraea	5-Cal.	Container	Full & Healthy



1 TREE PLANTING & STAKING DETAIL
 Deciduous Trees Larger than 2" Cal.
 Evergreen Trees Larger than 6" Height
 No Scale



2 SHRUB PLANTING DETAIL
 5 Gallon and Smaller
 No Scale

DP-214 PARCEL 3
LANDSCAPE PLAN
 MAPD Copy 1 of 2



Legend's Car Wash
 13th & Maize

Baughman
 ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

PROJECT NUMBER: 1777
 DESIGN: DML
 APPROVED: DATE 12.14.07
 SCALE: 1/8"=1'-0"
 SHEET: 4 OF 5

REVISIONS:
 01.28.08 DML

Legend's Car Wash - 13th & Maize Siteplan.dwg 07-12-0977

PLANT LIST

QTY	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
1	AM	AMUR MAPLE	ACER GINNALA	2" CAL	B&B
3	OM	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2-1/2" CAL	B&B
3	OR	OKLAHOMA REDBUD	CERIS REFORMIS	1-1/2" CAL	B&B
2	ZC	ZUMI CRABAPPLE	MALUS X ZUMI	2" CAL	B&B
11	CB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII ATROPURPUREA 'CRIMSON PYGMY'	5 GAL	CONT.
12	DB	DWARF BURNING BUSH	EUONYMUS ALATA 'COMPACTA'	5 GAL	CONT.
13	EE	EMERALD GAJET EUONYMUS	EUONYMUS FORTUNEI 'EMERALD GAJET'	5 GAL	CONT.
23	IJ	ICEE BLUE JUNIPER	JUNIPERUS HORIZONTALIS 'ICEE BLUE'	5 GAL	CONT.
15	LP	LOWBOY PYRACANTHA	PYRACANTHA COCCINEA 'LOW BOY'	5 GAL	CONT.
4	RR	RED FLOWER CARPET ROSE	ROSA X NOASCHEENEE	5 GAL	CONT.
26	SS	SNOWMOUND SPIREA	SPIRAEA NIPPONICA 'SNOWMOUND'	5 GAL	CONT.
24	WB	WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'WINTER GEM'	5 GAL	CONT.
211	LI	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	1 GAL	CONT.
40	SD	STELLA DO D'AYILY	HEMEROCALLIS 'STELLA DE ORO'	1 GAL	CONT.

WATERING REQUIREMENTS
SOD AND LANDSCAPE BEDS SHALL BE IRRIGATED WITH AN AUTOMATIC MOISTURE SENSING SPRINKLERS SYSTEM

LANDSCAPE STREET YARD

1.31 = TOTAL LINEAL FT. OF STREET FRONTAGE
 1.25 OR LESS = SQUARE FOOTAGE FACTOR
 1.75 - 2.75 = 10 SF/LIN FT
 2.75 - 3.75 = 15 SF/LIN FT
 3.75+ = 20 SF/LIN FT

AVERAGE LOT DEPTH	SQ. FT. FACTOR
1.25 OR LESS	8 SF/LIN FT
1.75 - 2.75	10 SF/LIN FT
2.75 - 3.75	15 SF/LIN FT
3.75+	20 SF/LIN FT

1,310 = TOTAL SQ. FT. OF LANDSCAPE STREET YARD REQUIRED
 500 = SF PER LANDSCAPE YARD TREE
 3 = TOTAL LANDSCAPE YARD TREES PROVIDED
 3 = TOTAL LANDSCAPE YARD SHADE TREES PROVIDED
 6 = TOTAL LANDSCAPE YARD ORNAMENTAL TREES PROVIDED

PARKING LOT SCREENING AND LANDSCAPING

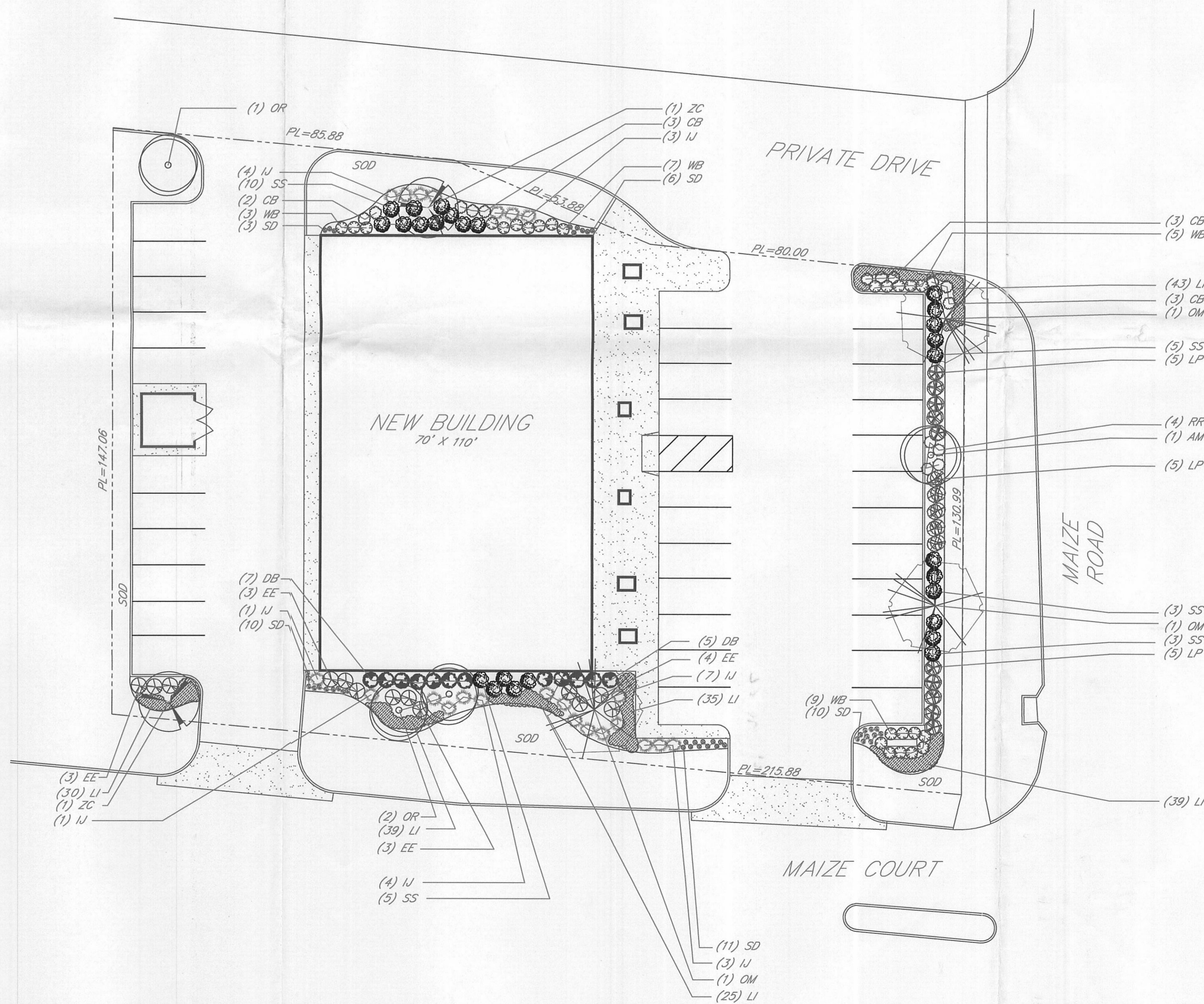
33 = TOTAL NUMBER OF PARKING SPACES
 20 = NUMBER OF PARKING SPACES PER TREE
 2 = TOTAL PARKING LOT TREES REQUIRED

1 = TOTAL PARKING LOT SHADE TREES PROVIDED
 3 = TOTAL PARKING LOT ORNAMENTAL TREES PROVIDED

CONTINUOUS PARKING LOT SCREEN REQUIRED
 CONTINUOUS PARKING LOT SCREEN PROVIDED WITH SHRUBS

(1/2 OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

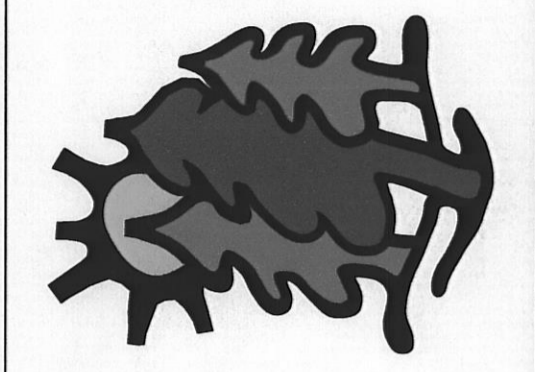
PERIMETER BUFFERS- NOT REQUIRED



DP-214 P&DEL 4
LANDSCAPE PLAN
 APPROVED AS SHOWN BY DS

TREE TOP
 NURSERY & LANDSCAPING, INC.

5910 E. 37th NORTH
 WICHITA, KS 67220
 TEL 316.686.7491
 FAX 316.686.9625



COMMERCIAL BUILDING

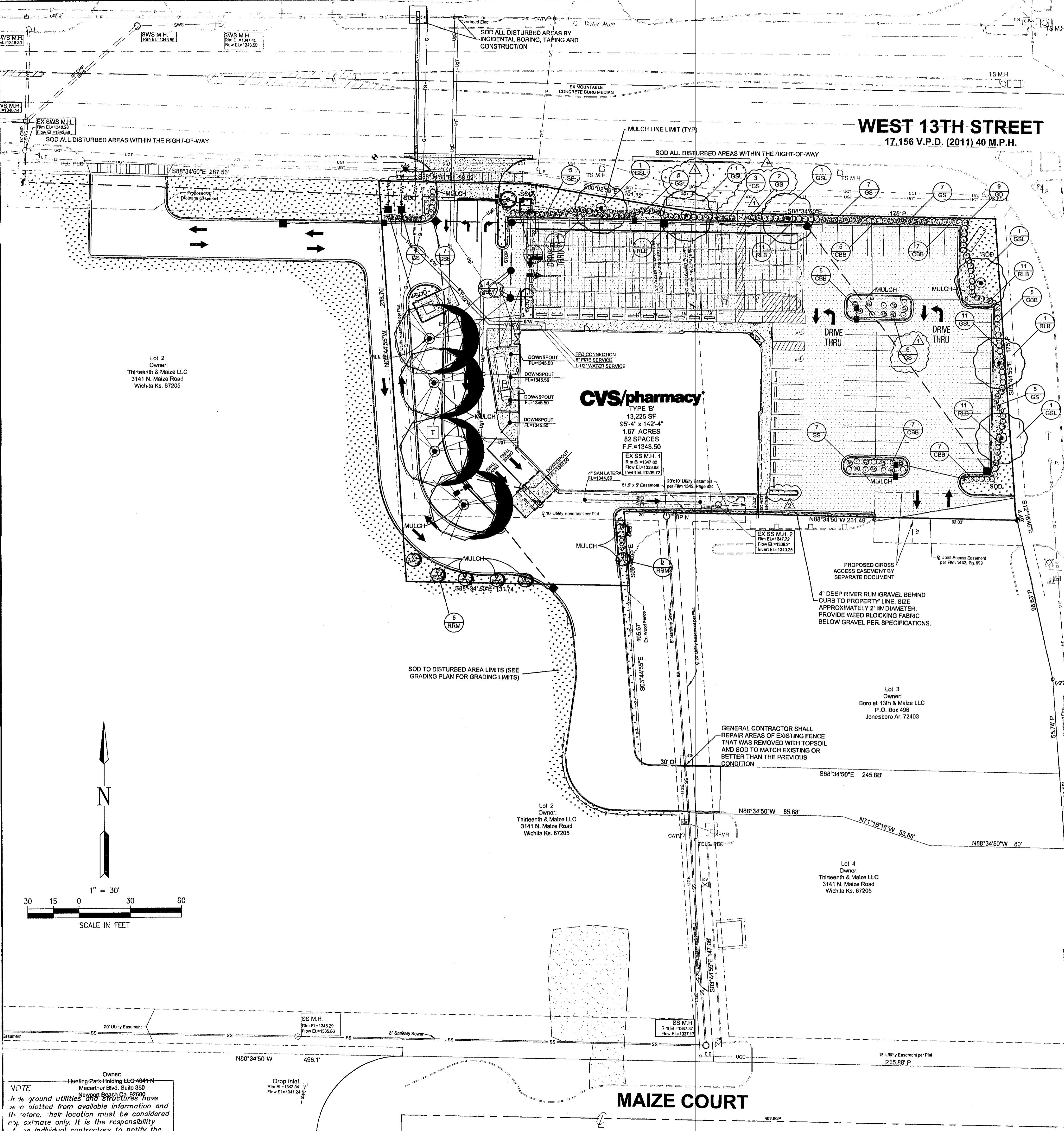
1311 NORTH MAIZE ROAD
 WICHITA, KANSAS
 LANDSCAPE PLAN
 PL-2005-01644 RS

DRAWN BY: DRS		
DATE: 3.18.05		
NO.	REVISION	DATE
1	SIGN/PATIO	4.12.05
2	LS CALC'S	4.28.05
SHEET: L1		

SCALE: 1" = 20'-0"

RESIDENTIAL AND COMMERCIAL LANDSCAPE DESIGN

MAY 2 2005 METRO POLYPLAN PLANNING ROUTE



WEST 13TH STREET
17,156 V.P.D. (2011) 40 M.P.H.

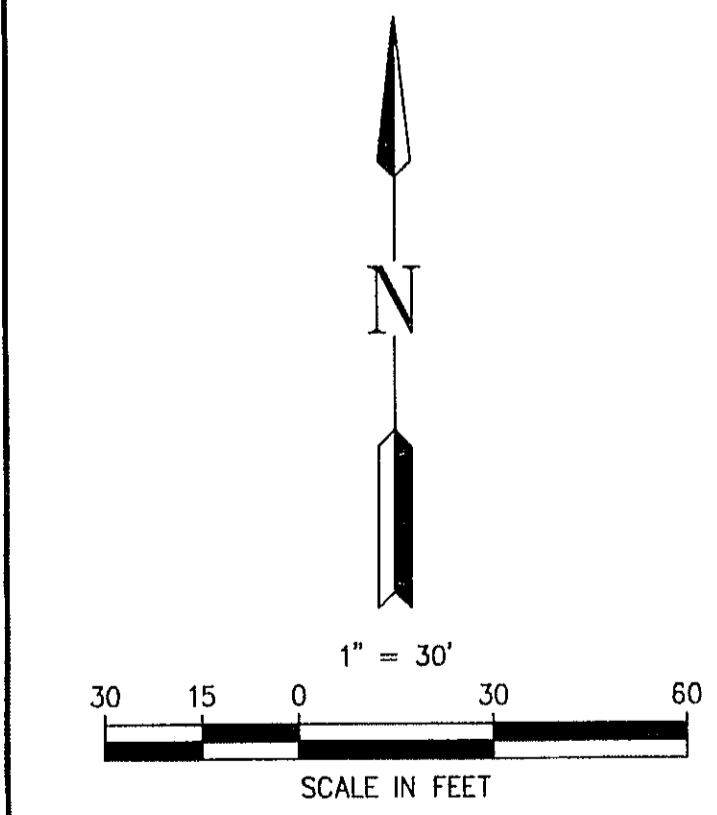
CVS/pharmacy
TYPE 'B'
13,225 SF
95'4" x 142'4"
1.67 ACRES
82 SPACES
F.F.#1348.50

Lot 2
Owner:
Thirteenth & Maize LLC
3141 N. Maize Road
Wichita Ks. 67205

Lot 3
Owner:
Boro at 13th & Maize LLC
P.O. Box 406
Jonesboro Ar. 72403

Lot 2
Owner:
Thirteenth & Maize LLC
3141 N. Maize Road
Wichita Ks. 67205

Lot 4
Owner:
Thirteenth & Maize LLC
3141 N. Maize Road
Wichita Ks. 67205



NOTE
Horizontal Park Holdings LLC-4041 N
MacArthur Blvd, Suite 350
Newport Beach, Ca. 92660
If ground utilities and structures have
been plotted from available information and
therefore, their location must be considered
approximate only. It is the responsibility
of the individual contractors to notify the
utility companies before actual construction.

LANDSCAPE GUIDELINE SPECS:

- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 - The landscape contractor shall be responsible for any coordination with other site related work being performed by other contractors. Refer to architectural drawings for further coordination of work to be done.
 - Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence and exact location of the above (Call 1-800-DIG-RITE).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - State the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the City of Maplewood.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to acceptance. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.
 - All plant material to be transplanted shall be transplanted according to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Myrafilt fabric shall be used beneath all gravel mulch beds.
- Edge all beds with spade-cut edge unless otherwise noted.

MAINTENANCE:

- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials and annuals for a period of 12 months after acceptance.
- Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.

TOPSOIL:

- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-lill topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, slumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.

MISC. MATERIAL:

- Provide stakes and deadmen of sound, new hardwood, free of knotholes and defects.
- Tree wrap tape shall be 4" minimum, designed to prevent borer damage and winter freezing. Additionally, only 3-ply tying material shall be used.

TURF:

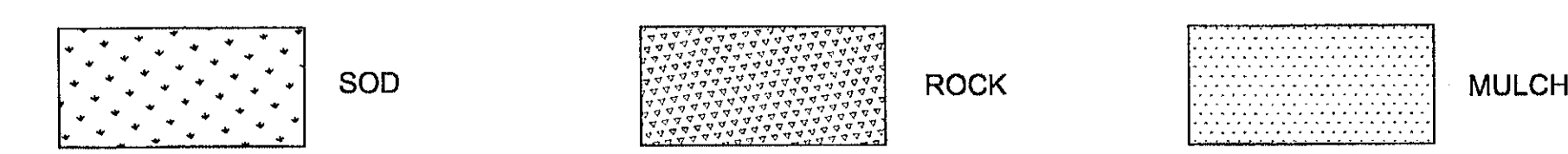
- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.

WARRANTY:

- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after installation at 100% of the installed price. Maintain all plant material until final acceptance by Owner.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.

PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	MATURE HEIGHT	MATURE SPREAD		
GSL	6	Tilia cordata "Greenspire"	GREENSPIRE LINDEN	2"	BALLED AND BURLAPPED	30'-40'	25'-30'		
CSM	4	Acer saccharum "Commemoration"	COMMEMORATION SUGAR MAPLE	2"	BALLED AND BURLAPPED	40'-50'	25'-30'		
RRM	7	Acer rubrum "Red Rocket"	Red Rocket Maple	2"	BALLED AND BURLAPPED	30'-35'	6'-8'		
SHRUBS									
CBB	53	Euonymus alatus "compacta"	COMPACT BURNING BUSH	2 GALLON	CONTAINER	4'-5'	3'-4'		
GS	48	Spiraea bumalda "Goldflame"	GOLDFLAME SPIREA	2 GALLON	CONTAINER	2'-3'	2'-3'		
RLB	66	Berberis thunbergii atropurpea	RED LEAF BARBERRY	2 GALLON	CONTAINER	3'-4'	2'-3'		
GP	9	Pyracantha angustifolia "Gnome"	GNOME PRYACANTHA	2 GALLON	CONTAINER	3'-4'	3'-4'		

LANDSCAPING REQUIREMENTS	
Landscape Street Yard:	Total Street Frontage = 540' Perpendicular Distance to North Maize = 153' Average Lot Depth = 285' Square Footage Factor from table 2.1 = 15 sq. ft. / lin. ft.
Landscape Street Yard:	Required per method 2: 540' Total frontage - 153' perpendicular distance = 387' adjusted street frontage 387' adjusted feet frontage x 15 sq. ft. required = 5,805 sq. ft. landscaped street yard required 6,689 sq. ft. landscaped street yard provided
Shade Trees Required:	5,805 sq. ft. / 500 = 12 shade trees required
Parking Lot Trees Required:	82 parking spaces / 20 for shade trees = 5 shade trees required 5 shade trees provided
	17 total trees required



CVS pharmacy
NORTHERN 13,225-RIGHT
CHAMFER DRIVE-THRU
STORE NUMBER: 10077
SWC 13TH AND MAIZE
WICHITA, KS
PROJECT TYPE: NEW CONSTRUCTION
DEAL TYPE: FEE FOR SERVICE
CS PROJECT NUMBER: 64724

ARCHITECT OF RECORD
LANDSCAPE PLAN
APPROVED 7/20/12 BY NGS
NORR
ARCHITECTS ENGINEERS PLANNERS

CONSULTANT:
PREMIER CIVIL ENGINEERING
Lake Saint Louis
308 TCW Court
Lake St. Louis, MO 63367
Phone: (314) 925-7444
Fax: (314) 925-7457

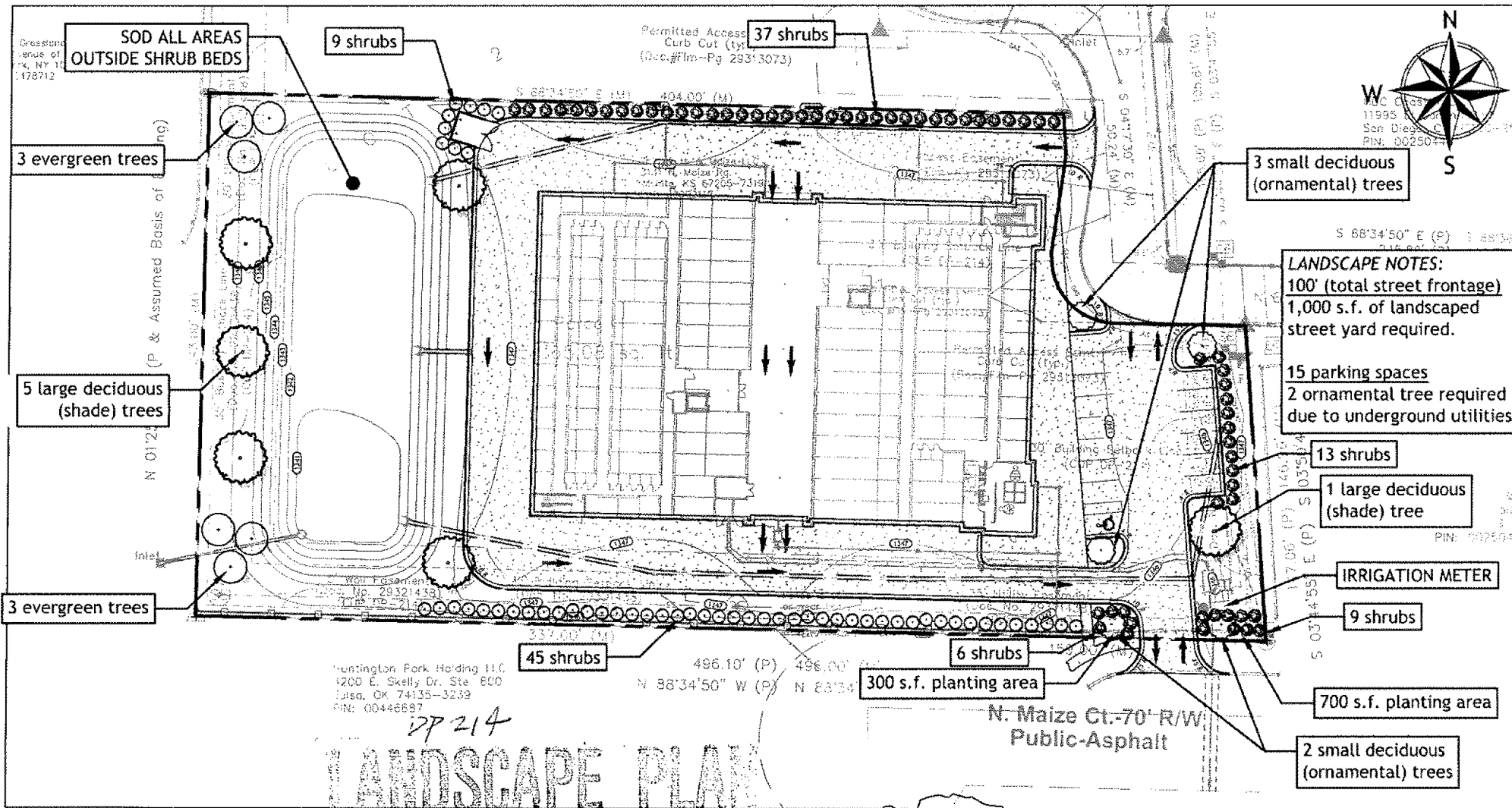
DEVELOPER:
VELMEIR COMPANIES

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically exclusion revisions after this date unless reauthorized.
STEVEN D. MARSH
Professional Engineer
No. 20422

REVISIONS:
7/17/12 - MODIFIED PLAN TO MATCH PLAT & ADDRESS CITY COMMENTS

DRAWING BY: J.WURM
DATE: 6-1-2012
JOB NUMBER: 113201
TITLE:

LANDSCAPE PLAN
SHEET NUMBER:
SHEET L-1
COMMENTS:



GENERAL LANDSCAPE NOTES AND SPECIFICATIONS

LICENSES: The contractor will be responsible for obtaining all licenses necessary to complete project.

INSURANCE: With the submittal of bid documents, the Landscape Contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

GRASS SEED INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS: The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 60% screened shredded topsoil, 30% sand, and 30% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix.

GROUND COVER AND SEASONAL COVER BEDS: All groundcover and seasonal cover beds shall receive a 2" layer of fine textured, screened, pine bark mulch or equal.

PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

FERTILIZING: Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Groundcover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

BACKFILL: Landscape Contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be provided in bid documents to allow for circumstances that might arise during installation. If additional topsoil is available, the Contractor shall backfill the parking lot islands with topsoil. Islands and planters shall be free of deleterious material. Grade planters and islands so that no water pools in planting area. Do not allow air pockets to form when backfilling.

PLANT QUANTITIES: Plant quantities are shown for the contractor's convenience only. Contractor is responsible for confirming all quantities prior to bidding and installation. Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended.

PLANTS SHALL BE INSTALLED AS SHOWN

PLANT QUALITY: All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). All plants must be container grown or balled & burlapped. All trees must be straight trunked and full headed. After being dug at the nursery source, all trees in leaf shall be acclimated for two weeks under a mist system prior to installation. All plants are subject to rejection by the owner before, during and after installation.

PLANTING HOLE SIZE: Refer to appropriate details on the Landscape Plan.

SETTING OF PLANTS: The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that after initial settlement, the top of the root balls will be even with or slightly above the adjacent soil line. Round root balls, 1/2 of the original soil shall be removed from the planting hole and thoroughly mixed with the same quantity peat moss or well rotted, fine textured bark. Only in areas where the existing soil is 100% fertile, loose topsoil (brown or black in color) can plants be placed directly in the soil with no amendments. Do not break the root ball. Do not allow air pockets to form when backfilling.

PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.

STAKING OF TREES: Deciduous trees, 1 1/2" in caliper and over, and evergreen trees, 8" and taller shall be staked. Rubberhose to be used to cover the wire at the point of its contact with the tree. The Landscape Contractor is responsible for all wind damage to trees, (spring winds are less than 40mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Set trunks plumb.

MULCHING: All plants & plant beds must be completely mulched. Pre-emerge shall be applied to all landscape areas prior to sod & mulching to reduce weed intrusion. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. Mulch shall be natural hardwood mulch with no added dye or coloring. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. All trees located in lawn areas shall receive a 3" diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines.

GRADING: All final grading shall be the responsibility of the Landscape Contractor. The responsibility for any additional grading, if needed, shall be determined prior to bidding.

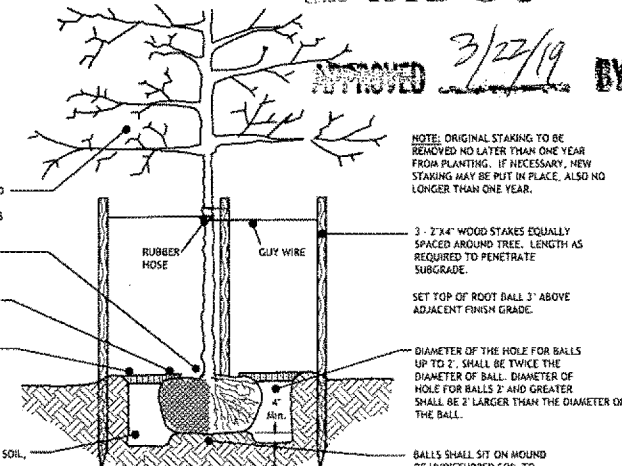
CLEAN UP: Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the Landscape Contractor. The Landscape Contractor has the complete responsibility for the handling of all surplus excavated materials including the removal of any excess materials from the project site. The Contractor specifically understands and agrees that due to the sequence of the work, he may need to retain select excavated materials on site to meet later needs of the project. It shall be the sole responsibility of the Contractor as to any decisions made to haul off excess material or to retain material on site for later use. The Contractor shall have the complete responsibility for having adequate, suitable material on-site to replace unsuitable material or to otherwise conform to the requirements of the contract documents.

MAINTENANCE: The Landscape Contractor is responsible for maintaining, in full, all planting (including water, spraying, mulching, fertilizing, etc.) of planting areas and lawns until the job is accepted in full, by the Owner. The contractor shall remove & dispose of all plant material existing on site that does not conform with the landscape plan. All landscaped areas shall be treated as specified on the landscape plan or as directed by the Owner. This shall include all grass areas used for erosion control purposes. The Owner will contract for a program of landscape maintenance services throughout the one (1) year guarantee period unless otherwise determined.

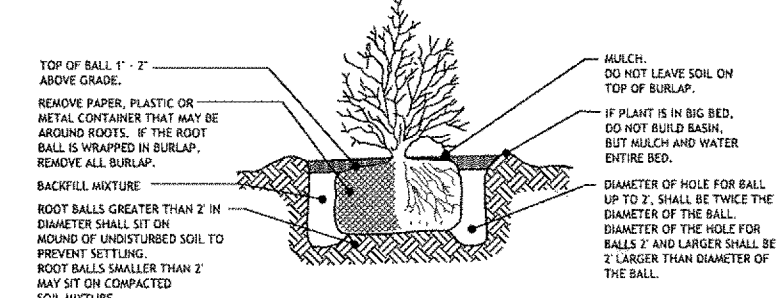
GUARANTEE: The Landscape Contractor shall guarantee all plant material and workmanship for one year from the date of acceptance by the Owner. Any plant material which dies, turns brown, defoliates or fails to germinate prior to total acceptance of the work shall be promptly removed from the site & replaced with material of the same species, quantity, size and meeting all plant list specifications. Any required plant replacements shall promptly be made before or at the end of the guarantee period (as per direction of the Owner). The Contractor will not be responsible for defects resulting from neglect by the Owner, abuse by others, or unusual phenomena or incidents beyond the Landscape Contractor's control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 mph, fire, vandalism or theft.

IRRIGATION: The Landscape Contractor shall provide turn-key irrigation system capable of providing adequate amounts of water for all installed vegetation to thrive. Planter beds adjacent to any building face shall have drip style irrigation. Irrigation controls to be mounted in owner approved location. Controls shall be automatic with rain sensors. When feasible, contractor to provide separate zones for grass and shrub/groundcover irrigation. Contractor to provide copy of irrigation design to Owner prior to installation for approval.

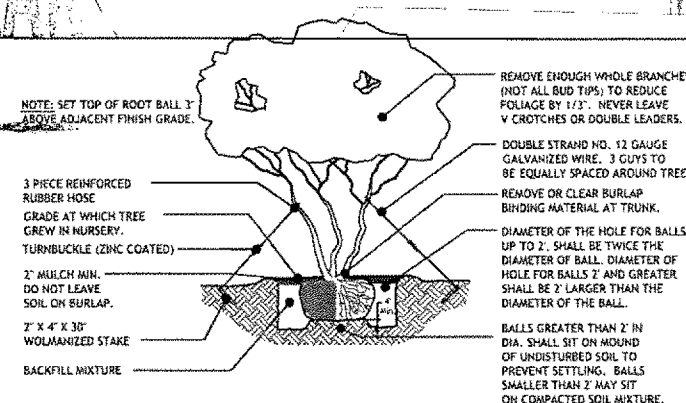
LANDSCAPE PLAN



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



MULTI-TRUNK TREE PLANTING DETAIL

PLANT SCHEDULE NOTE: PLANT QUANTITIES ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL QUANTITIES AS SHOWN ON PLANS PRIOR TO BIDDING AND INSTALLATION.

QTY.	COMMON NAME	BOTANICAL NAME	SYM.	SIZE	SPACING
CANOPY TREES					
6	Lacebark Elm 'Allee'	Ulmus parvifolia 'Allee'	LE	14' HT; 3" CAL.	Varies - See Plan
SMALL DECIDUOUS TREES					
5	Amur Maple 'Flame'	Acer tataricum var. ginnala	AT	10' HT; 2" CAL.	Varies - See Plan
EVERGREEN TREES					
6	Black Hills Spruce	Picea glauca var. densata	BH	10' HT; 2" CAL.	Varies - See Plan
SHRUBS/ORNAMENTAL GRASSES					
50	Pfitzer Compact Juniper	Juniperus chinensis pfitzeriana compacta	PFT	3 GAL.	4' O.C.
54	Golden Vicary Privet	Ligustrum x vicaryi	GVP	3 GAL.	4' O.C.
TURFGRASS SOD					
	Buffalograss (native) Sod	Buchloe dactyoides			
MULCH					
	Double-Ground Hardwood Mulch	3-4" Depth, natural color with no added dye or coloring			

NOTES:
 1. All disturbed areas not mulched shall be sodded.
 2. Landscape contractor to provide design-build irrigation system. Refer to irrigation notes.
 3. This landscape design plan was created as a compliance plan only.

bluewater civil design
 718 Lowndes Hill Road • Greenville, SC 29607
 www.bluewatercivil.com • info@bluewatercivil.com

OWNER:
 CAP STORAGE FACILITY
 N. Maize Ct. & Maize Rd N
 Wichita, Kansas

Landscape Compliance Plan
L101



Wichita-Sedgwick County Metropolitan Area Planning Department

May 3, 2019

Thirteenth & Maize, LLC
Attn: Alieno Cruzeiro
3141 North Maize Road
Wichita, KS 67205

CENTENNIAL AMERICAN PROPERTIES, LLC
Attn: Brody Glenn
935 South Main Street, Suite 201
Greenville, SC 29601

RE: CUP2019-09 – City Administrative Adjustment to the Brandt Property Community Unit Plan DP-214, to adjust building setbacks.

Legal Description: Lot 2, Block 1, Brandt Commercial 2nd Addition, Wichita, Sedgwick County, Kansas

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-214, to permit a lesser setback for the proposed building on Parcel 2B as shown on the attached Site Plan, which reduces to setback from the east property line of the subject parcel.

On the basis of our review, we find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

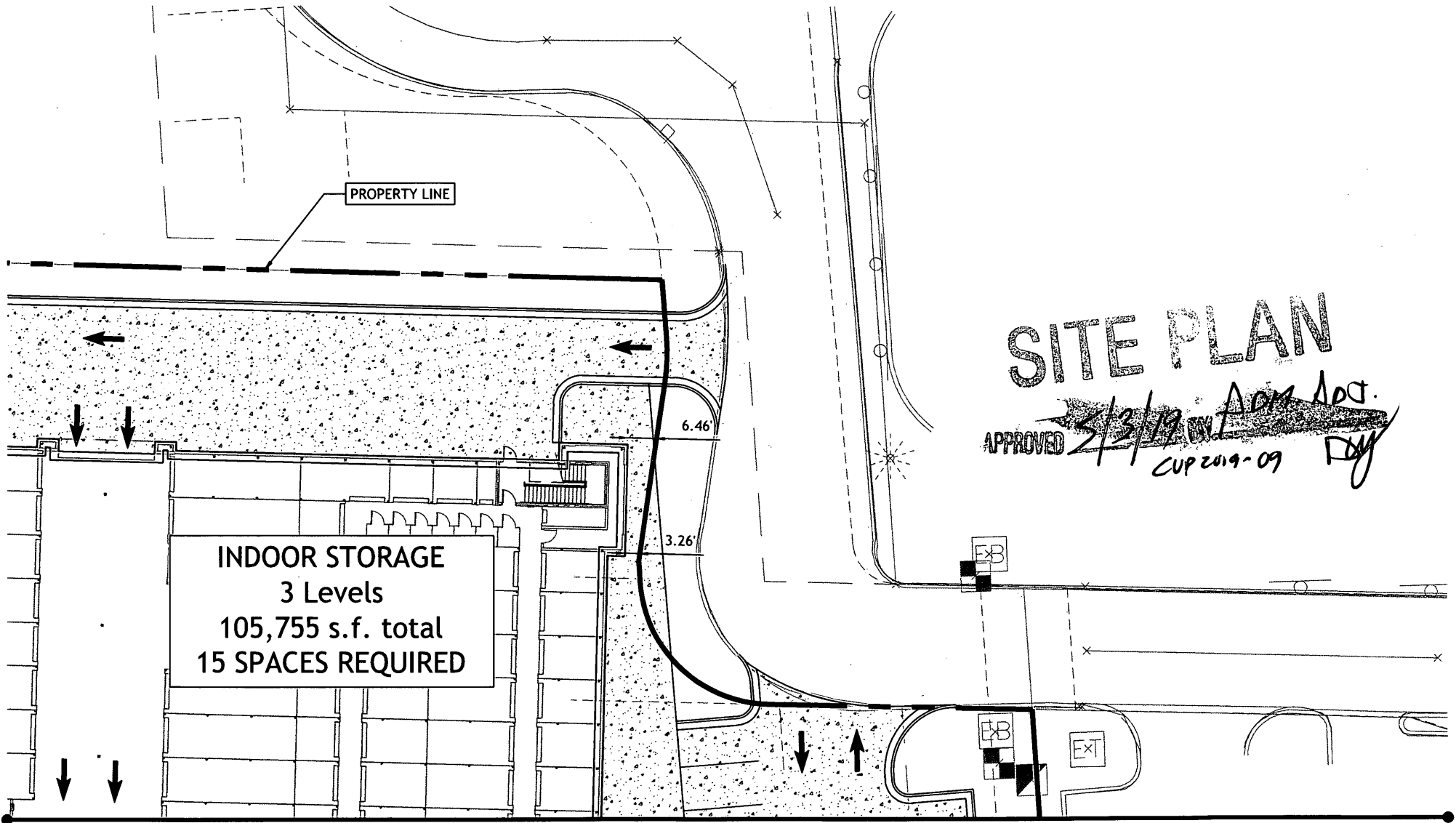
Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The “Development Application” sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.

Dale Miller, Director
Metropolitan Area Planning Department

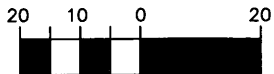
Scott Knebel, Zoning Administrator
Metropolitan Area Planning Department

cc: MABCD
Bryan Frye, CM District V
Cory Buchta, Community Services Representative District V



Bluewater Civil Design, PLLC
718 Lowndes Hill Road
Greenville, SC 29607
www.bluewatercivil.com
info@bluewatercivil.com

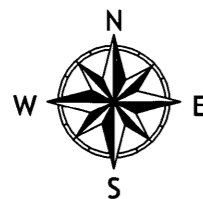
Date: 3/28/19



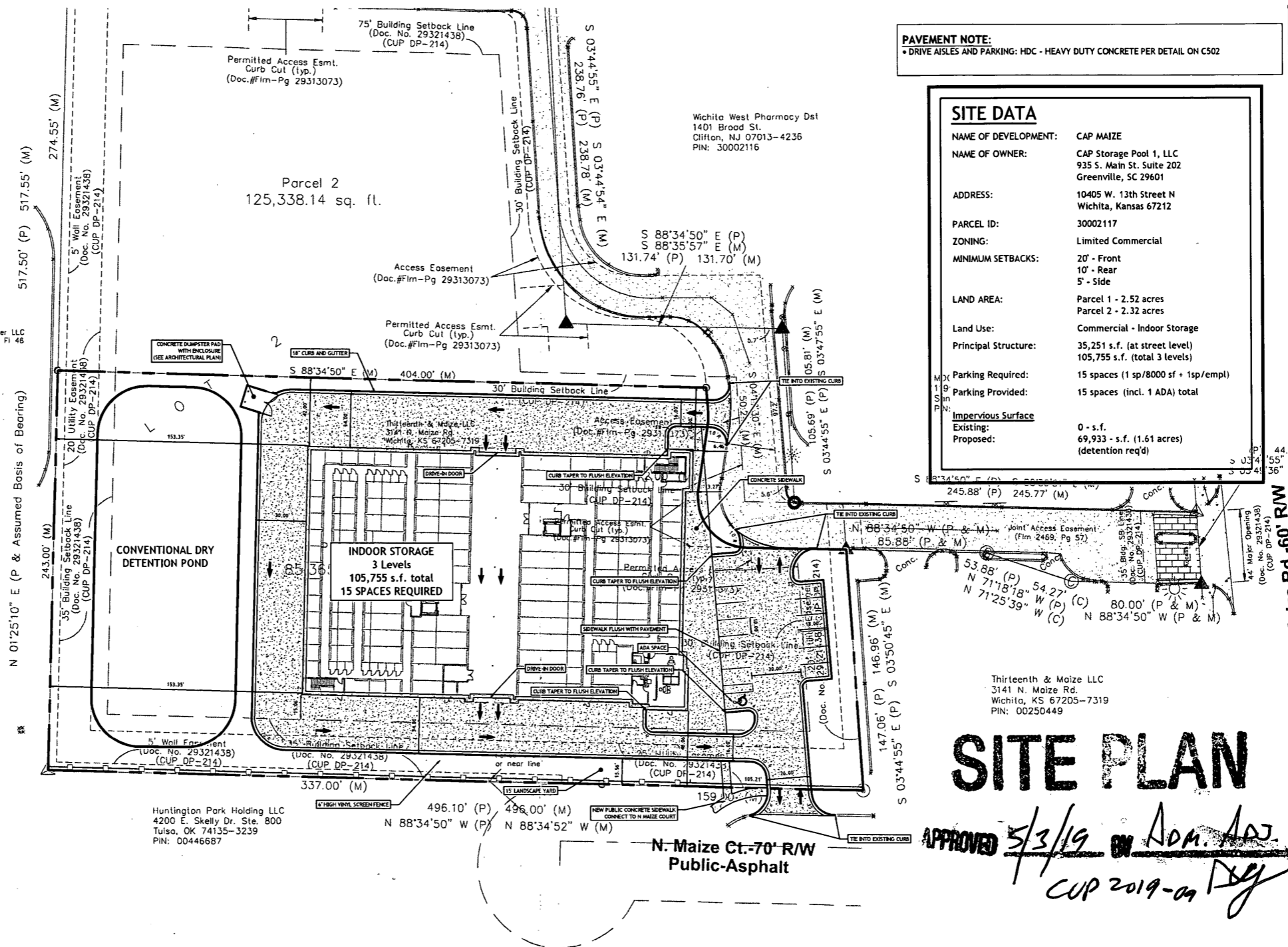
scale: 1" = 20'

CAP Maize Setback Exhibit

Exhibit-1



NIC 12 Grassland Estates Owner LLC
1345 Avenue of The Americas Fl 46
New York, NY 10105-0302
PIN: 00478712



PAVEMENT NOTE:
• DRIVE AISLES AND PARKING: HDC - HEAVY DUTY CONCRETE PER DETAIL ON C502

SITE DATA	
NAME OF DEVELOPMENT:	CAP MAIZE
NAME OF OWNER:	CAP Storage Pool 1, LLC 935 S. Main St. Suite 202 Greenville, SC 29601
ADDRESS:	10405 W. 13th Street N Wichita, Kansas 67212
PARCEL ID:	30002117
ZONING:	Limited Commercial
MINIMUM SETBACKS:	20' - Front 10' - Rear 5' - Side
LAND AREA:	Parcel 1 - 2.52 acres Parcel 2 - 2.32 acres
Land Use:	Commercial - Indoor Storage
Principal Structure:	35,251 s.f. (at street level) 105,755 s.f. (total 3 levels)
Parking Required:	15 spaces (1 sp/8000 sf + 1sp/empl)
Parking Provided:	15 spaces (incl. 1 ADA) total
Impervious Surface:	Existing: 0 - s.f. Proposed: 69,933 - s.f. (1.61 acres) (detention req'd)

LEGEND	
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	STREAM BANK
---	WETLAND BUFFER
---	LIMITS OF CONSTRUCTION/DISTURBANCE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	WATER MANHOLE
○	DRAINAGE MANHOLE (EXISTING)
○	DRAINAGE MANHOLE (PROPOSED)
○	CATCH BASIN (EXISTING)
○	CATCH BASIN (PROPOSED)
---	HEADWALL (PROPOSED)
---	STORM DRAINAGE PIPE (EXISTING)
---	STORM DRAINAGE PIPE (PROPOSED)
---	SANITARY SEWER LINE (EXISTING)
---	SANITARY SEWER LINE (PROPOSED)
---	SANITARY SEWER MANHOLE
---	WATER LINE
---	GAS LINE
---	UNDERGROUND TELEPHONE
---	OVERHEAD ELECTRIC
---	WATER METER
---	WATER VALVE
---	HYDRANT
---	LIGHT POLE
---	UTILITY POLE
---	TRAFFIC SIGNAL POLE
---	SIGN
---	TELEPHONE PEDESTAL
---	TRAFFIC SIGNAL BOX
---	IRON PIN-REBAR FOUND

CURBING NOTE:
ALL CURBING ON PRIVATE PROPERTY SHALL BE 24" CURB AND GUTTER WITH CONSTRUCTION PER K.D.O.T. STANDARD SPECIFICATION. 6" CURB ON SITE MAY BE INTEGRAL TO CONCRETE PAVEMENT.

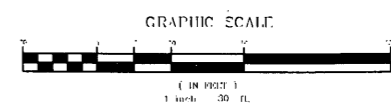
STRIPING NOTE:
ALL STRIPING IN KDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND INSTALLED TO KDOT STANDARD DRAWINGS AND SPECIFICATIONS. ALL OTHER PAINTED.

BUILDING NOTE:
THE CONTRACTOR SHALL SEE THE ARCHITECTURAL BUILDING PLANS FOR EXACT BUILDING DIMENSIONS, COLUMN LINES, WALL DIMENSIONS, DOOR LOCATIONS, STOOP/STEP LOCATIONS, ETC. ANY CONFLICTS SHALL BE BROUGHT TO ATTENTION OF ENGINEER.

A.D.A. RAMP NOTE:
TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS AND SIDEWALKS THAT INTERSECT VEHICULAR AREAS.

SITE PLAN

APPROVED 5/3/19 BY ADM. ADJ
CUP 2019-09 [Signature]

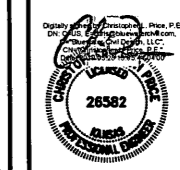


Project Number: 2018-125
DWG Name: 2018-125 CHS Master.dwg
Drawing Scale: as noted
Date of Project: 01/2019
Engineer of Record:
Christopher L. Price, P.E.
www.bluewatercivil.com

blueWATER
civil design
bluewater civil design, LLC
716 Lowmide Hill Road • Greenville, SC 29607
www.bluewatercivil.com • info@bluewatercivil.com

Owner:
CAP Storage Pool 1, LLC
935 S. Main St. Ste 202
Greenville, SC 29601

CAP MAIZE
INDOOR STORAGE FACILITY
N. Maize Ct. & Maize Rd N
Wichita, Kansas



REV	DATE	DESCRIPTION
1	02/10/19	Issue for Permit
2	02/10/19	Issue for P&I

SITE PLAN
C101



Wichita-Sedgwick County Metropolitan Area Planning Department

January 11, 2019

THIRTEENTH & MAIZE, LLC
Attn: Aleino Cruzeiro
3141 North Maize Road
Wichita, KS 67205-7319

CENTENNIAL AMERICAN PROPERTIES
Attn: Brody Glenn
935 South Main Street, Suite 201
Greenville, SC 29601

RE: CUP2018-00053 - City request to amend Brandt Property Community Unit Plan (DP-214) on the east side of North Maize Road and south of West 13th Street North.

Dear Applicants:

At its regular meeting on **January 10, 2019**, the Wichita - Sedgwick County Metropolitan Area Planning Commission considered the above captioned request. The action of the MAPC was to **APPROVE** the request as recommended by staff.

Property owners opposed to the application may file with the City Clerk a signed, written protest of the MAPC's recommendation. (Unsigned e-mails are not considered to be legal protests.) **To be effective, the protest must be filed by 5:00 p.m. on January 24, 2019.** In order to be considered a "valid" petition, the signatures must reflect the correct and entire ownership of the property, the property must be at least partially located within 200 feet of the property for which the application was filed, and must be submitted to the City Clerk by **January 24, 2019 at 5:00 p.m.**

If there is no formal protest filed on this case, the MAPC action will be considered final and a letter outlining the final actions needed will be sent to you. If there is a formal protest, this application will be presented to the Wichita City Council on **Tuesday, February 12, 2019, beginning at 9:00 a.m.** The City Council meeting will be held in the City Council Chambers, First Floor, City Hall, 455 N. Main, Wichita, Kansas.

This is a reminder that the zoning notification signs should now be removed from the property.

If you have any questions concerning this application, please contact our office at 268-4421.

Sincerely,

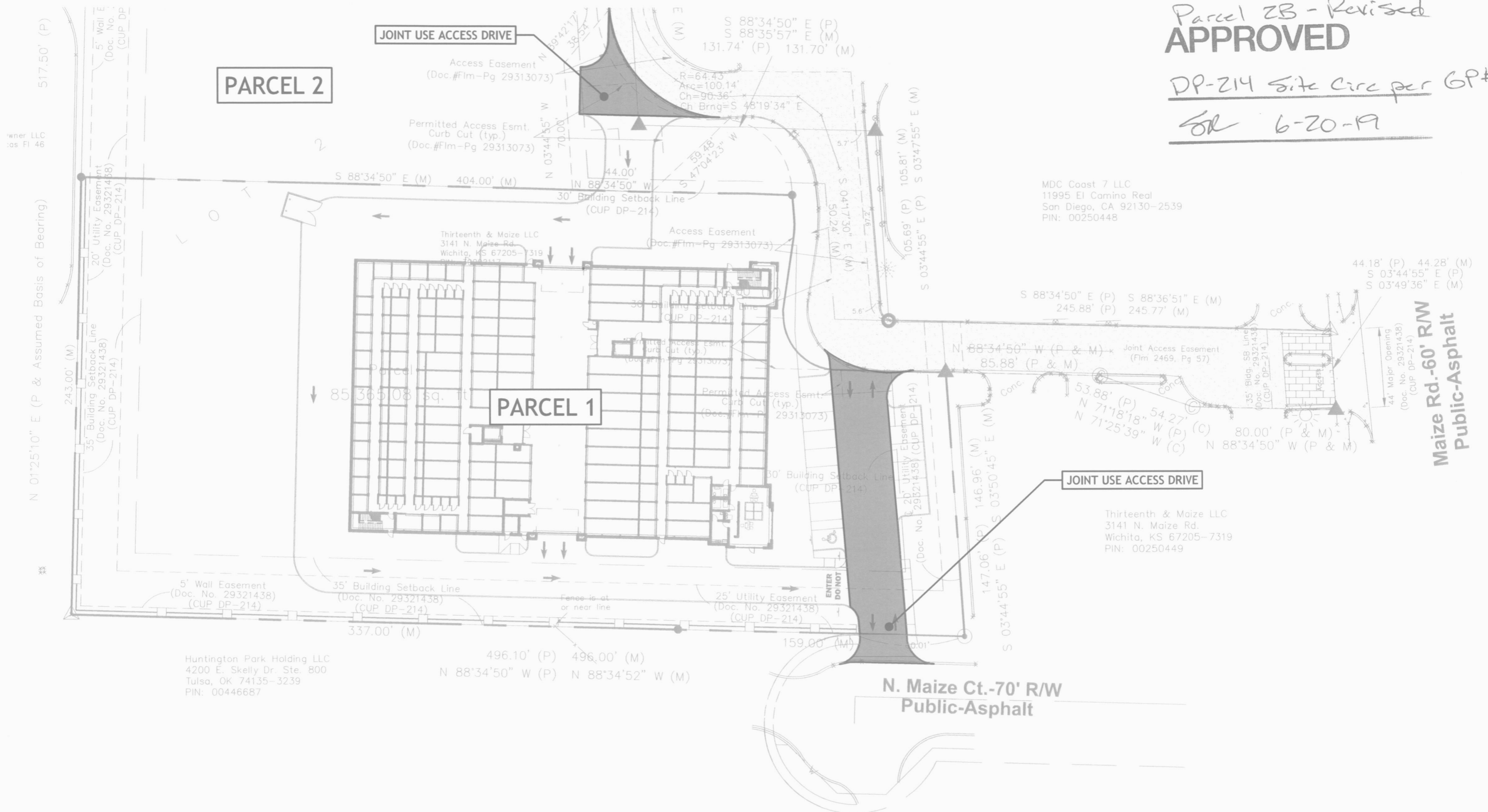
David L. Yearout, AICP
Principal Planner

Copies to: WCC V, Bryan Frye, Mail Stop 1-13
Maddy Campbell, CSR V, Mail Stop 1-135
Paul Hays, OCI, Mailstop 1-72
J. R. Cox, OCI, Mailstop 1-72
Jeff Van Zandt, City Law, Mailstop 1-134
Julianne Kallman, Engineering, Mail Stop 1-71

Parcel 2B - Revised
APPROVED

DP-214 Site Circ per GP#20

SR 6-20-19

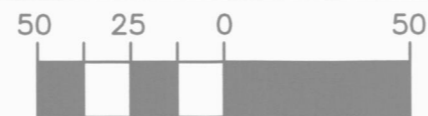


MDC Coast 7 LLC
11995 El Camino Real
San Diego, CA 92130-2539
PIN: 00250448

Thirteenth & Maize LLC
3141 N. Maize Rd.
Wichita, KS 67205-7319
PIN: 00250449

Huntington Park Holding LLC
4200 E. Skelly Dr. Ste. 800
Tulsa, OK 74135-3239
PIN: 00446687

Thirteenth & Maize LLC
3141 N. Maize Rd.
Wichita, KS 67205-7319
PIN: 00250449



scale: 1" = 50'

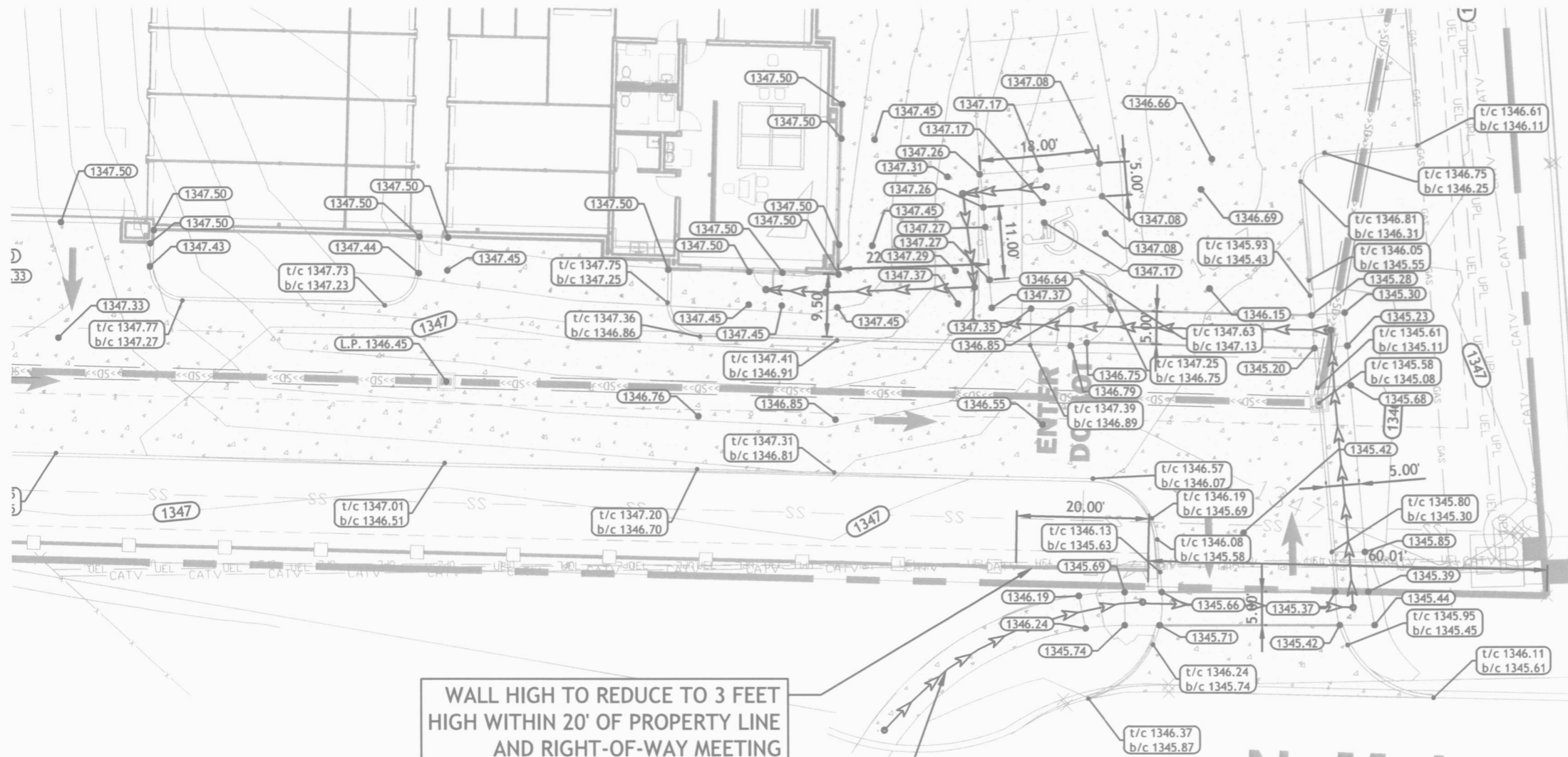
CAP Maize Site Circulation Plan

Exhibit-1

Parcel 2B- Revised
APPROVED

DP-214 Ped Circ per GP#21

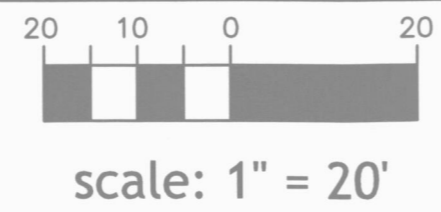
JL 6-20-19



WALL HIGH TO REDUCE TO 3 FEET
HIGH WITHIN 20' OF PROPERTY LINE
AND RIGHT-OF-WAY MEETING

PEDESTRIAN ADA COMPLIANT
CIRCULATION PATCH

**N. Maize Ct.-70' R/W
Public-Asphalt**





BARRY BYRD ARCHITECTURE

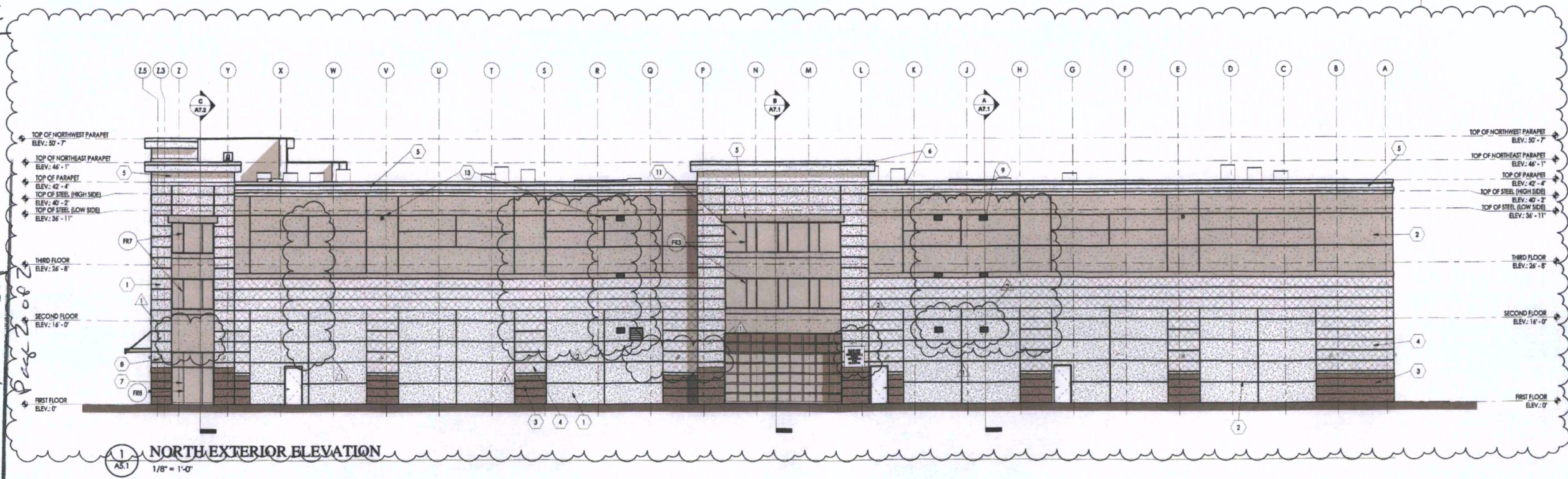
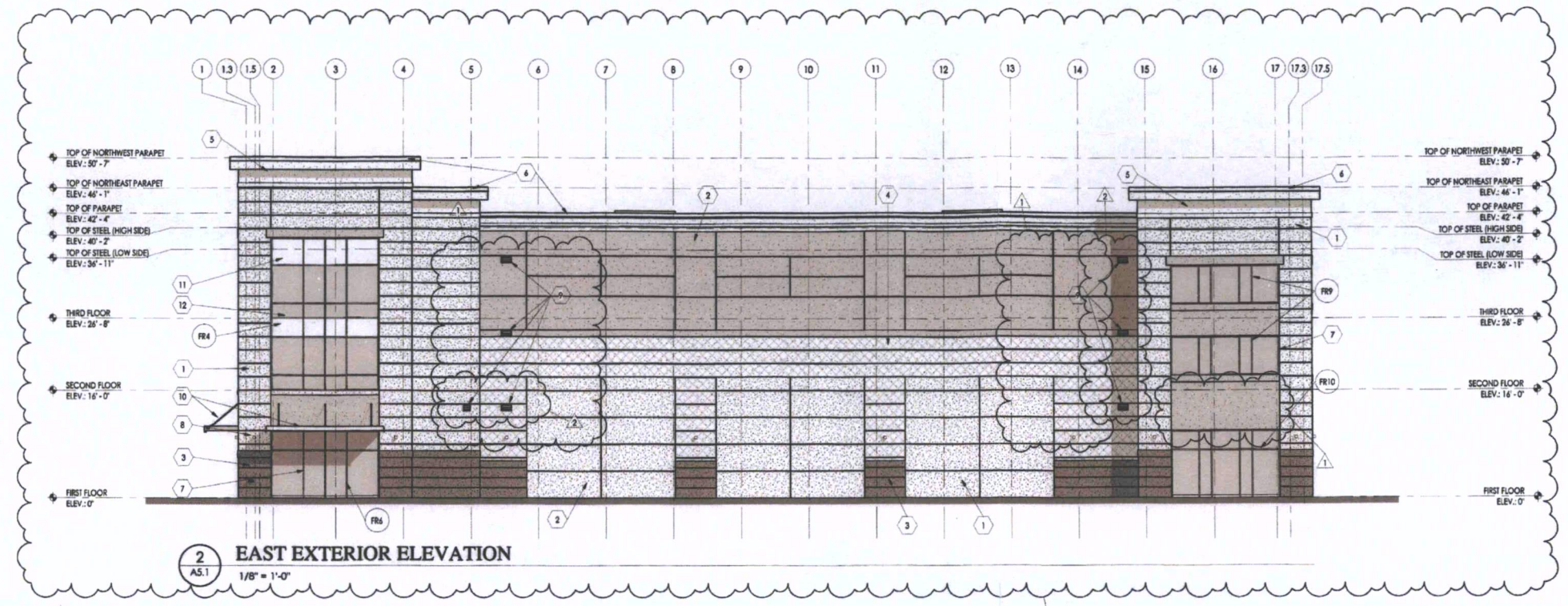
P.O. Box 5482
Knoxville, TN 37928
(865) 687-6500



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KEYED NOTES

- 1 EPS COLOR #1
- 2 EPS COLOR #2
- 3 EPS COLOR #3
- 4 EPS COLOR #4
- 5 EPS CORNICE COLOR #5
- 6 PREFORMED METAL CORNING
- 7 ALUMINUM STOREFRONT SYSTEM, SEE SHEET A10.3 FOR FRAME DIMENSIONS.
- 8 WALL MOUNTED LIGHTING SCENCE. SEE ELECTRICAL.
- 9 OUTSIDE AIR INTAKE LOUVER. SEE MECHANICAL. PAINT TO MATCH ADJACENT MATERIAL COLOR.
- 10 PRE-ENGINEERED METAL ARCHITECTURAL CANOPY
- 11 STANDARD GLAZING
- 12 SPANDREL GLAZING
- 13 ROOF OVERFLOW DOWNSPOUT NOZZLE. SEE PLUMBING.
- 14 POST BUILDING ADDRESS WITH 4" (MIN.) HT. NUMBERS ON CONTRASTING BACKGROUND, VISIBLE FROM STREET.



Project Name: **WICHITA - MAIZE**
 Drawn By: **MKC**

Revisions:

No.	DATE	DESCRIPTION
1	5-3-19	CODE COMMENTS
2	6-12-19	CODE COMMENTS
4	11-27-19	EPS EXTERIOR

Project Title:
CLIMATE CONTROLLED STORAGE FACILITY

Location:
W. 13TH ST. & N. MAIZE RD.

Location:
Wichita, KS
Sheet Contents:
EXTERIOR ELEVATIONS

Date:
FEBRUARY 18, 2019
Sheet Number:
A5.1

Parcel ZB
APPROVED

DP-ZH Arch Rev per GP #14

12-18-19 Supersedes 6-20-19 approval
Page 2 of 2



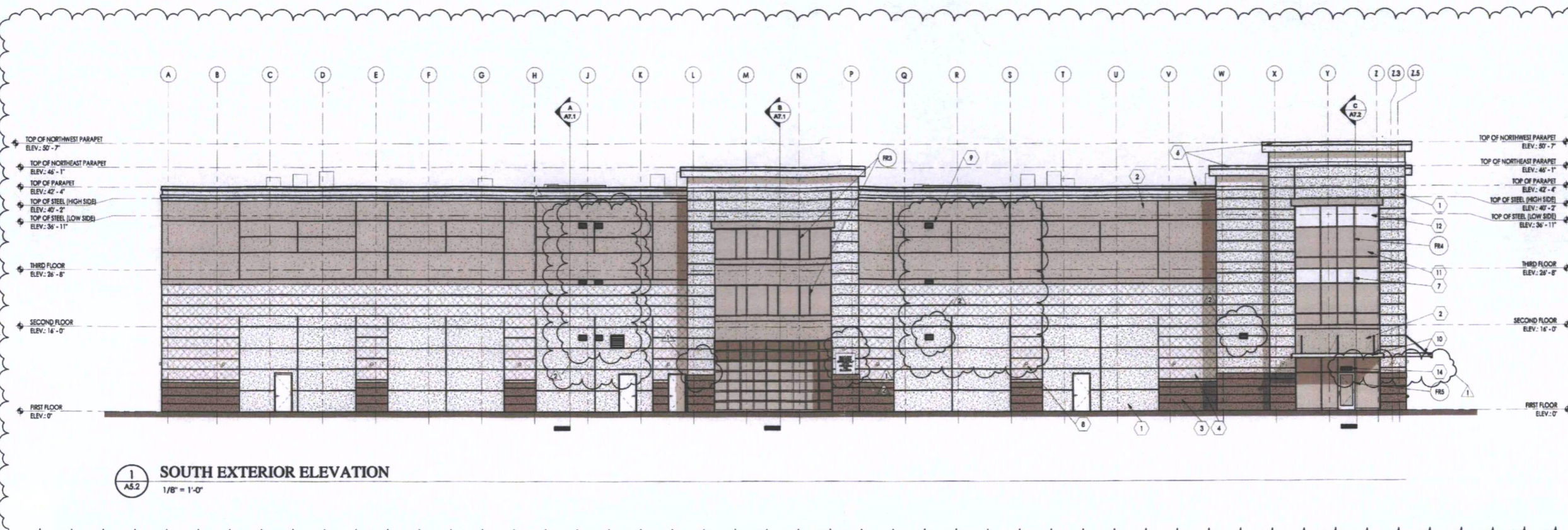
**BARRY BYRD
ARCHITECTURE**

P.O. Box 5482
Knoxville, TN 37928
(865) 687-6500

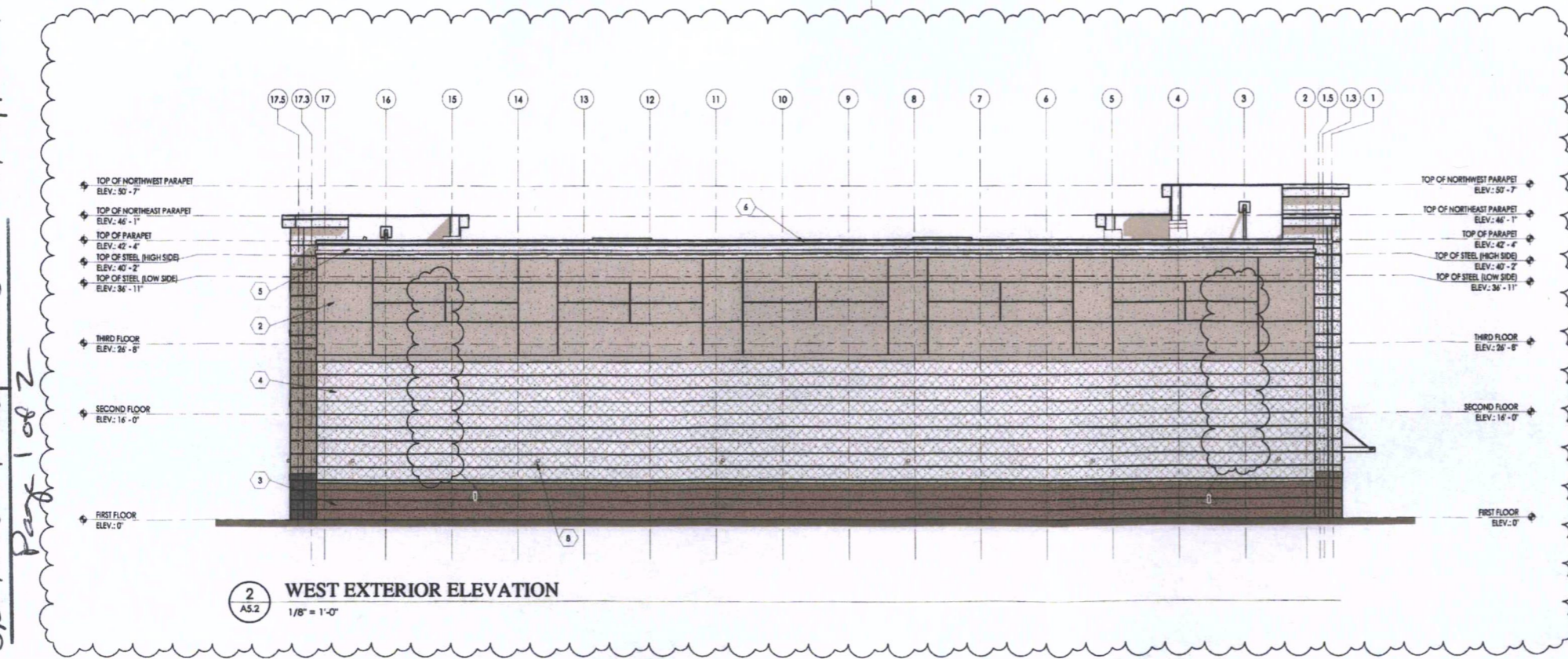
Seal:



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1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION
1/8" = 1'-0"

KEYED NOTES	
1	EIFS COLOR #1
2	EIFS COLOR #2
3	EIFS COLOR #3
4	EIFS COLOR #4
5	EIFS CORNICE COLOR #5
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14	POST BUILDING ADDRESS WITH 4" (MIN.) HT. NUMBERS ON CONTRASTING BACKGROUND, VISIBLE FROM STREET.

Project Name:
WICHITA - MAIZE

Drawn By:
MKC

Revisions:

No.	DATE	DESCRIPTION
1	5-9-19	CODE COMMENTS
2	6-12-19	CODE COMMENTS
4	11-27-19	EIFS EXTERIOR

Project Title:

CLIMATE CONTROLLED STORAGE FACILITY

W. 13TH ST. & N. MAIZE RD.

Location:

Wichita, KS

Sheet Contents:
EXTERIOR ELEVATIONS

Date:
FEBRUARY 18, 2019

Sheet Number:

A5.2

Parcel 2B
APPROVED

DP-214 Arch Rev per GP#14

SK 12-18-19 Supersedes 6-20-19 approval

Page 1 of 2