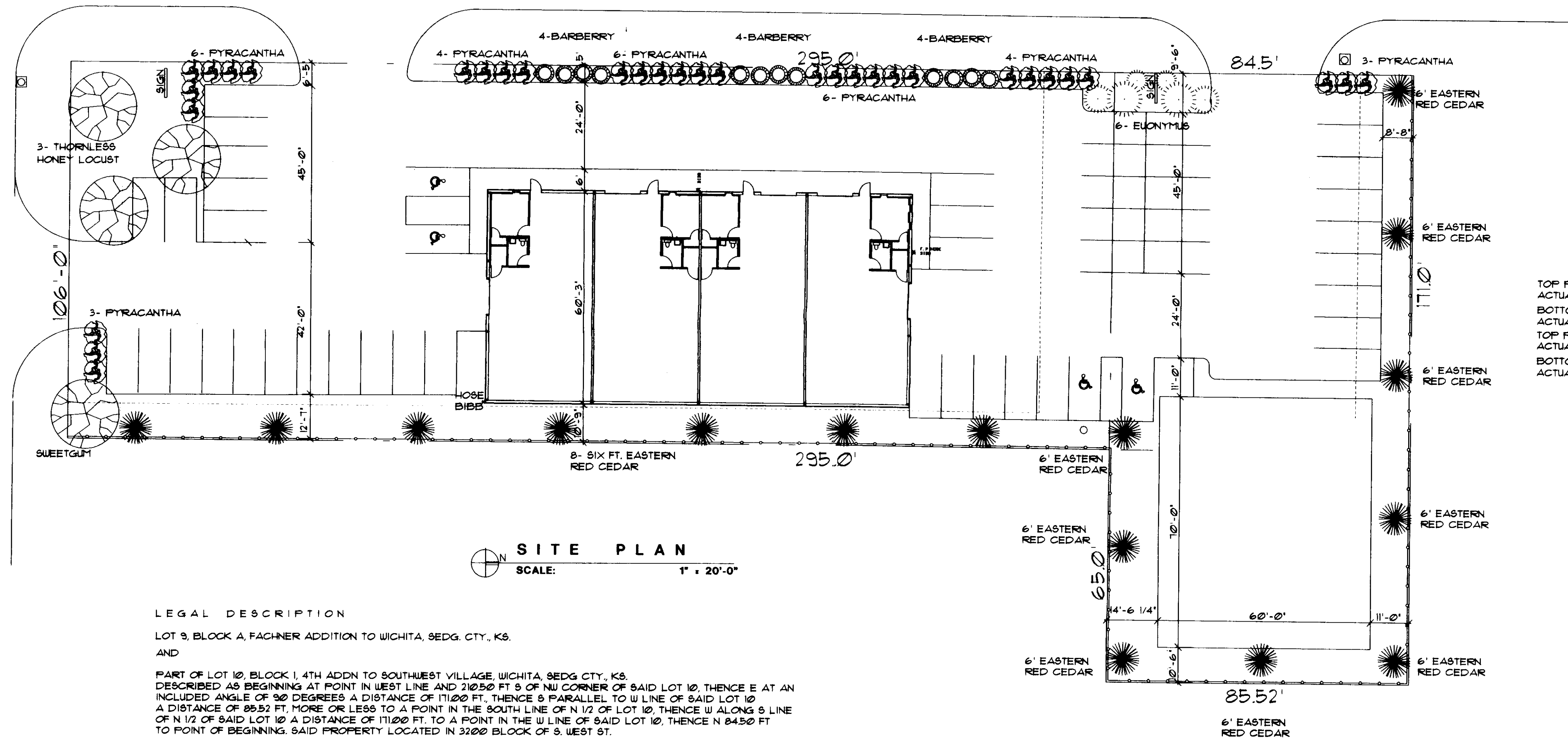


32nd STREET S.

S. WEST STREET



TOP PARCEL LANDSCAPE REQUIREMENT = 684 SQ. FT.
ACTUAL LANDSCAPE AREA = 1041 SQ. FT.
BOTTOM PARCEL LANDSCAPE REQUIREMENT = 4010 SQ. FT.
ACTUAL LANDSCAPE AREA = 4010 SQ. FT.
TOP PARCEL PARKING REQUIREMENT = 11 CARS
ACTUAL PARKING = 11 CARS
BOTTOM PARCEL PARKING REQUIREMENT = 32 CARS
ACTUAL PARKING = 32 CARS

LANDSCAPE YARD = 10 SQ. FT. X 102.0' OF FRONTAGE = 1020 SQ. FT.
1020 SQ. FT. DIVIDED BY 500 = 3 SHADE OR 6 ORNIMENTAL TREES
ACTUAL LANDSCAPE YARD = 1715 SQ. FT.

LANDSCAPING SCHEDULE				
QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
16	E. RED CEDAR	JUNIPERUS VIRGINIANA	6' HIGH	40'
32	FIRETHORN	PYRACANTHIA 'GNOME'	2 GAL.	5'-6'
3	THORNLESS H. LOCUST	ROBINIA PSEUDOACACIA	2' CAL	N/A
1	SWEET GUM	LIQUIDAMBER STYRACIFLUA	2' CAL	N/A
6	EUONYMUS, UPRIGHT	EUONYMUS FORTUNEI RADICANS	2 GAL.	4'
12	BARBERRY MENTOR	BARBERIS MENTORENSIS	2 GAL.	3'
SET SHRUBS IN PLANTING BEDS OF BARK CHIPS HELD IN CHECK W/ PLASTIC LANDSCAPE BORDER ALL WATERING SHALL BE DONE BY HOSE BIBB ALL REMAINING LANDSCAPED AREA SHALL BE SEEDED W/ FESCUE				

B2A 2004-00021
SITE PLAN

APPROVED 4-9-04 BY [Signature]
MAPD Copy

Steve Kelley
32nd So. + West St
393-5254

A NEW FACILITY FOR:
KELLEY-WEST
W 32nd STREET S.

WICHITA, KANSAS

EDWARD A MURABITO
ARCHITECT
PLANNER
WICHITA KANSAS

PHONE: 316 686-9516

DATE: 12 MARCH 04
REVISED:

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OF



FILE COPY

Wichita-Sedgwick County Metropolitan Area Planning Department

February 10, 2005

Stephen R. Kelley
Kelley & Coleman, Inc.
1218 Northshore Ct.
Wichita, KS 67212

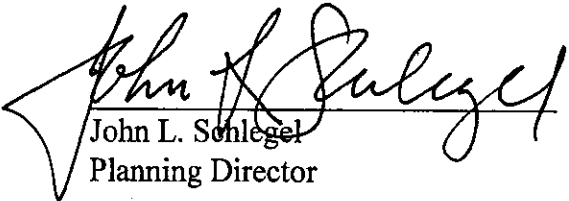
Re: BZA2004-00021: Revision to Condition #4 to permit a building height of 16'-4".

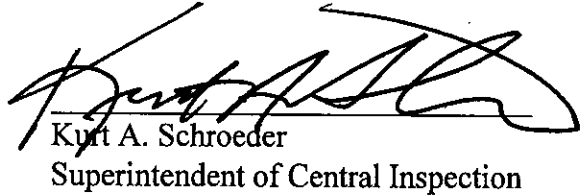
Dear Mr. Kelley:

We have reviewed your request for a revision to Condition #4 for the Zoning Adjustment granted on April 9, 2004 for above-referenced property. We understand that you miscalculated the height of the building and that you have requested that Condition #4 be revised to permit a building height of 16'-4". We find that revising Condition #4 as requested meets the four conditions required by Sec. V-I.6. of the Unified Zoning Code; therefore, our signatures below indicate that Condition #4 for BZA2004-00021 granted on April 9, 2004 is hereby revised as follows:

- 4) Buildings shall be limited to a single story with a maximum height of 16'-4".

All other conditions shall remain in effect as stated in our letter dated April 9, 2004.


John L. Schlegel
Planning Director


Kurt A. Schroeder
Superintendent of Central Inspection

cc: Kurt Schroeder, Office of Central Inspection
Paul Hays, Office of Central Inspection
Randy Sparkman, Office of Central Inspection
J.R. Cox, Office of Central Inspection