



METROPOLITAN AREA PLANNING
DEPARTMENT

February 23, 1995

CITY HALL — TENTH FLOOR
455 NORTH MAIN STREET
WICHITA, KANSAS 67202-1688
(316) 268-4421
FAX (316) 268-4390

Baughman Company, P.A.
315 Ellis
Wichita, Ks 67211

Re: S/D 94-55 - ST. MARY'S MISSIONARY BAPTIST CHURCH ADDITION (Final Plat)

Gentlemen:

At the regular meeting of the Metropolitan Area Planning Commission on February 23, 1995, the above captioned plat was considered. The action of the Planning Commission was to recommend that the plat be approved as recommended by the Subdivision Committee subject to the conditions stated in our letter of February 16, 1995.

In addition to complying with those conditions, it is necessary that you meet the following requirements before this plat can be forwarded to the City Council for consideration:

1. Submission of the fully completed and signed tracing of the subdivision to the Metropolitan Area Planning Department.
2. Submission of a check, made out to the Register of Deeds, covering the costs of any documents to be recorded as a requirement of platting.
3. Subdivision regulations now require a detailed Lot Grading Plan be submitted to Engineering prior to the tracing being released. This applies to all multi-lot and residential developments.

Please call if you have any questions.

Sincerely,

Don Losew
Senior Planner

DL:rh

cc: Greater St. Mary's Missionary Baptist Church, Attn: Oscar Jones, 3901 E. 28th
Street North, Wichita, KS 67220
Mike Lindebak, City Engineer

STAFF COMMENTS:

- A. The applicant shall guarantee a turnaround for the proper termination of Pennsylvania.
- B. The applicant shall either submit a separate vacation case for the alley immediately west of Hydraulic and north of this site or provide right-of-way to take this alley out to Hydraulic and a guarantee to pave such alley out to Hydraulic (a vacation case has been submitted and will be reviewed at a subsequent Subdivision meeting).
- C. The applicant shall guarantee the closure of any driveway(s) to Hydraulic located in areas of complete access control or that exceed the allowed number of openings.
- D. Any drainage improvements required by the platting of this property shall be constructed at the time of site redevelopment. However, as requested by City Engineering a revised drainage plan shall be submitted showing any needed private storm sewer improvements.
- E. If improvements are guaranteed by petition, a notarized certificate listing the petitions shall be submitted to the Planning Department for recording.
- F. Based on the transportation plan, 17th Street North at this location is indicated as a four (4) lane arterial and as such 50 feet of half street right-of-way is required. Due to existing improvements within much of the additional required right-of-way, this additional right-of-way may be dedicated contingently. Where there are buildings, the contingency shall be the removal of the buildings; where there are parking lots, sidewalks or landscaped areas, the contingency shall be the City's need for the additional right-of-way for any street related purposes (the final plat has provided such a contingent dedication).
- G. A sidewalk certificate shall be submitted for the installation of sidewalk along Hydraulic adjacent to this site.
- H. For the 54 inch sanitary sewer main in the western third of the site, a 30-foot utility easement shall be granted on the final plat tracing.
- I. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations. (Water service and fire hydrants required by Article 8 for fire protection shall be as per the direction and approval of the Chief of the Fire Department.)
- J. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- K. Perimeter closure computations shall be submitted with the final plat tracing Section 5-101(c).
- L. Recording of the plat within 30 days after approval by the City Council.

METROPOLITAN AREA PLANNING COMMISSION

February 23, 1995

STAFF REPORT

(Final Plat Approved 2/16/95, Preliminary Plat 8/18/94)

CASE NUMBER: SD 94-55 ST. MARY'S MISSIONARY BAPTIST CHURCH ADDITION

OWNER/APPLICANT: Greater St. Mary's Missionary Baptist Church, Attn: Oscar Jones, 3901 E. 28th Street North, Wichita, KS 67220

SURVEYOR/ENGINEER: Baughman Company, P.A., 315 Ellis, Wichita, KS 67211

LOCATION: North of 17th Street North and west of Hydraulic

SITE SIZE: 3.1 Acres

NUMBER OF LOTS

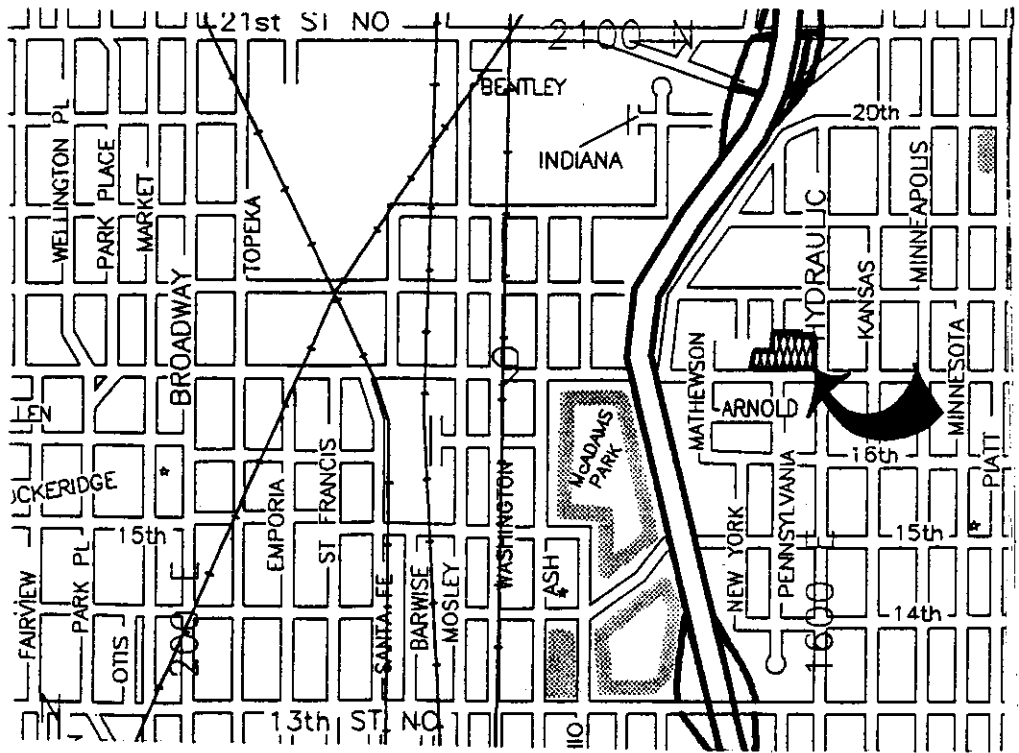
Residential/Commercial:	1
Office:	
Industrial:	
Total:	<u>1</u>

MINIMUM LOT AREA: 3.1 Acres

CURRENT ZONING: "B" and "LC"

PROPOSED ZONING:

VICINITY MAP:



FILE COPY

ST. MARY'S MISSIONARY BAPTIST CHURCH ADDITION

WICHITA, SEDGWICK COUNTY, KANSAS

Copied from Tracing
5/12/95

State of Kansas) SS We, Baughman Company, P.A., Surveyors in
Sedgwick County) and State do hereby certify that we have surveyed
and platted "ST. MARY'S MISSIONARY BAPTIST CHURCH ADDITION", Wichita,
Sedgwick County, Kansas and that the accompanying plat is a true and
correct exhibit of the property surveyed, described as and being a
replat of Lots 9 and 11 on Hydraulic, H. Robinson's Addition to Wichita,
Kansas together with the east half of the alley lying west of and adjacent
to said Lots, and Lots 8, 10, and 12 on Pennsylvania, in said H. Robinson's
Addition together with the west half of the alley lying east of and
adjacent to said Lots, and Lots 14, 16, and 18 on Pennsylvania,
in said H. Robinson's Addition together with all of the alley lying
east of and adjacent to said Lots, and Lot 19 on Pennsylvania, in said
H. Robinson's Addition, together with a tract in the NE 1/4 of Sec. 9, Twp. 27-S,
R-1-E of the 6th P.M., Sedgwick County, Kansas described as beginning
at the S.E. Corner thereof; thence north 194 feet; thence west 30 feet;
thence north 75 feet; thence west 140 feet; thence south 75 feet;
thence west 215 feet; thence south 25 feet; thence west 154.5 feet
more or less to a point in the east line of Lot 1, Block A, Allen-
Kennedy Manor, an addition to Wichita, Sedgwick County, Kansas;
thence S13°53'W along the east line of said Lot 1, Block A, 122.58 feet
to a corner in the east line of said Lot 1, Block A; thence S13°53'W
along the east line of said plat of Allen-Kennedy Manor, 20.60 feet
to the southerlymost S.E. Corner of said plat of Allen-Kennedy Manor;
thence south perpendicular to the south line of said NE 1/4, 30 feet to
a point on the south line of said NE 1/4, said point being 573 feet west
of the S.E. Corner of said NE 1/4; thence east along the south line of
said NE 1/4, 573 feet to the point of beginning.

Existing public easements and dedications being vacated by virtue
of K.S.A. 12-512(b).

Baughman Co., P.A.

Gregory F. Severns
Gregory F. Severns
4-25-95 Surveyor

This plat of "ST. MARY'S MISSIONARY BAPTIST
CHURCH ADDITION", Wichita, Sedgwick County, Kansas has been submitted
to and approved by the Wichita-Sedgwick County Metropolitan Area
Planning Commission, Wichita, Kansas.
Dated this _____ day of _____, 1995.
Wichita-Sedgwick County Metropolitan Area Planning Commission

Chairman

James D. Miner

Secretary

Marvin S. Krout

This plat approved and all dedications
shown hereon accepted by the City Council of the City of Wichita,
Kansas, this _____ day of _____, 1995.

Mayor

Bob Knight

City Clerk

Pat Burnett

Entered on transfer record this _____ day
of _____, 1995.

County Clerk

Susan E. Crockett-Spoon

Know all men by these presents that we, the
undersigned, have caused the land in the surveyors certificate to
be platted into a Lot and Streets to be known as "ST. MARY'S
MISSIONARY BAPTIST CHURCH ADDITION", Wichita, Sedgwick County,
Kansas. The utility easements are hereby granted as indicated
for the construction and maintenance of all public utilities. The
17th Street North contingent street dedication shall become
effective in the event that the City of Wichita determines a need
for the right-of-way for any street related purposes provided,
however, that if the City of Wichita executes this contingent
street dedication, the street dedication shall remain in effect
around the existing building until such time as the existing
building is removed. This contingent street dedication shall be a
covenant running with the land and shall be binding on all heirs
and subsequent owners of all parts of said property covered by said
dedication. The streets are hereby dedicated to and for the use of
the public. All abutters rights of access to or from Hydraulic Avenue
over and across the east line of Lot 1 are hereby granted to the City
of Wichita, Kansas provided, however, that Lot 1 shall have access to
Hydraulic Avenue at one location over all except the south 136 feet
as shall be determined by the City Engineer of the City of Wichita,
Kansas. All abutters rights of access to or from 17th Street North
over and across the south line of Lot 1 are hereby granted to the
City of Wichita, Kansas provided, however, that Lot 1 shall have
access to 17th Street North at two locations over all except the
east 221 feet as shall be determined by the City Engineer of the
City of Wichita, Kansas.

State of Kansas) SS This is to certify that this plat has been
Sedgwick County) filed for record in the office of the Register of Deeds, this _____ day
of _____, 1995, at _____ o'clock _____ M; and is duly
recorded.

Register of Deeds

Pat Kettler

Deputy

Ed Resa

We, the undersigned, holders of a mortgage
on the above described property, do hereby consent to this plat
of "ST. MARY'S MISSIONARY BAPTIST CHURCH ADDITION", Wichita,
Sedgwick County, Kansas.

City of Wichita, Department of Housing and Economic Development

State of Kansas) SS The foregoing instrument acknowledged be-
Sedgwick County) fore me, this _____ day of _____, 1995, by _____
of the City of Wichita, Department of Housing and Economic
Development, on behalf of the City of Wichita.

Notary Public

My App't. Exp. _____

Greater St. Mary's Missionary Baptist Church and Board of Trustees

William D. Hunter
William D. Hunter
Chairman of the Board
of Trustees

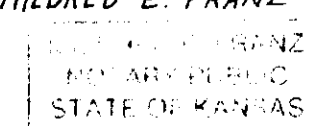
Greater St. Mary's Missionary Baptist Church, Inc.

William D. Hunter
William D. Hunter
Chairman of the Board
of Trustees

State of Kansas) SS The foregoing instrument acknowledged be-
Sedgwick County) fore me, this _____ day of _____, 1995, by William D. Hunter,
Chairman of the Board of Trustees of the Greater St. Mary's Missionary
Baptist Church and Board of Trustees, on behalf of the church.

Mildred E. Franz
MILDRED E. FRANZ
Notary Public

My App't. Exp. 2-13-99



State of Kansas) SS The foregoing instrument acknowledged be-
Sedgwick County) fore me, this _____ day of _____, 1995, by William D. Hunter,
Chairman of the Board of Trustees of the Greater St. Mary's Missionary
Baptist Church, Inc., on behalf of the corporation.

Mildred E. Franz
MILDRED E. FRANZ
Notary Public

My App't. Exp. 2-13-99

