

STAFF COMMENTS:

- A. The Health Department has advised that the soils on this site are appropriate for the construction and operation of a sewage lagoon. Additionally, the Health Department is recommending a variance of the minimum 5-acre lot size for lagoons. This variance is being granted on a one-time only basis. The variance is needed because both proposed lots have been prematurely sold to new owners and the obtaining of additional usable land is doubtful because of the drainage characteristics of the plat and surrounding areas.
- B. On the final plat tracing, the dimensioning arrows for the Southwestern Bell Telephone easement on Lot 2, shall be relocated to properly indicate the location of the subject easement.
- C. The plattor's text shall be amended to state that the access controls are being dedicated to the appropriate governing body.
- D. On the final plat tracing, the appropriate year (1988) should be inserted where necessary.
- E. The applicant shall install or guarantee the installation of all utilities and facilities which are applicable and described in Article 8 of the MAPC Subdivision Regulations.
- F. The applicant's engineer is advised that the Register of Deeds is requiring the name(s) of the notary public, who acknowledges the signatures on this plat, to be printed beneath the notary's signature.
- G. Perimeter closure computations shall be submitted with the final plat tracing. Section 5-101(C).
- H. Recording of the plat within 30 days after approval by the City Council.

JANUARY 21, 1988

STAFF REPORT

CASE NUMBER: S/D 87-100 - LAGALY THIRD ADDITION

OWNER/APPLICANT: Cleo Lagaly

SURVEYOR/ENGINEER:

LOCATION: Southeast corner of 199th Street West and 6th Street South.

SITE SIZE: 10 Acres

NUMBER OF LOTS:

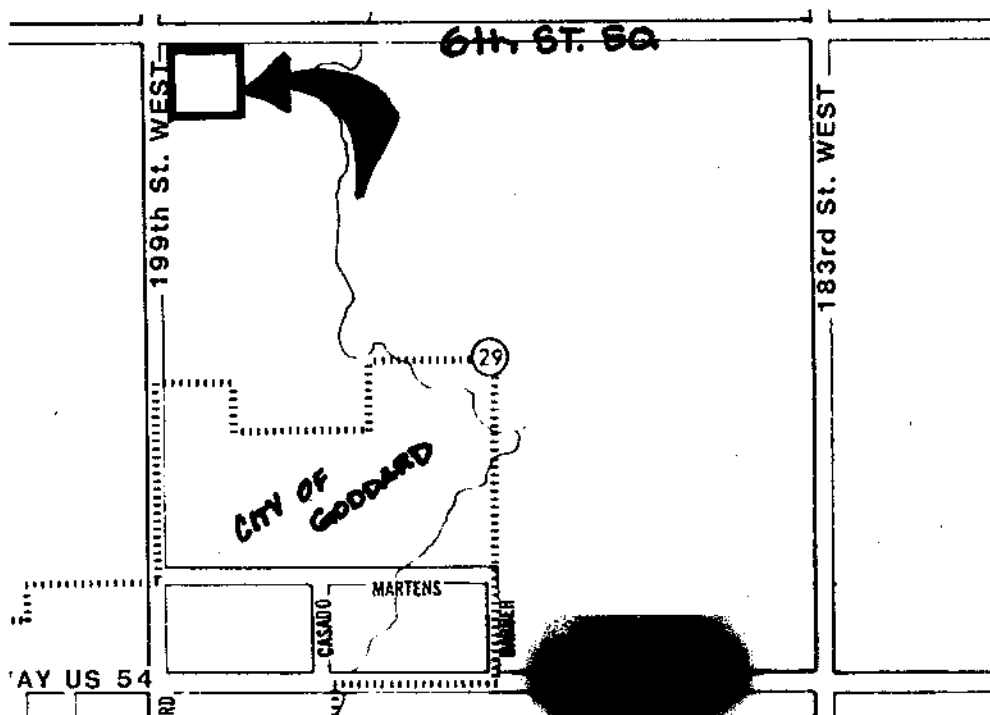
Residential:	2
Office:	
Commercial:	
Industrial:	
Total:	2

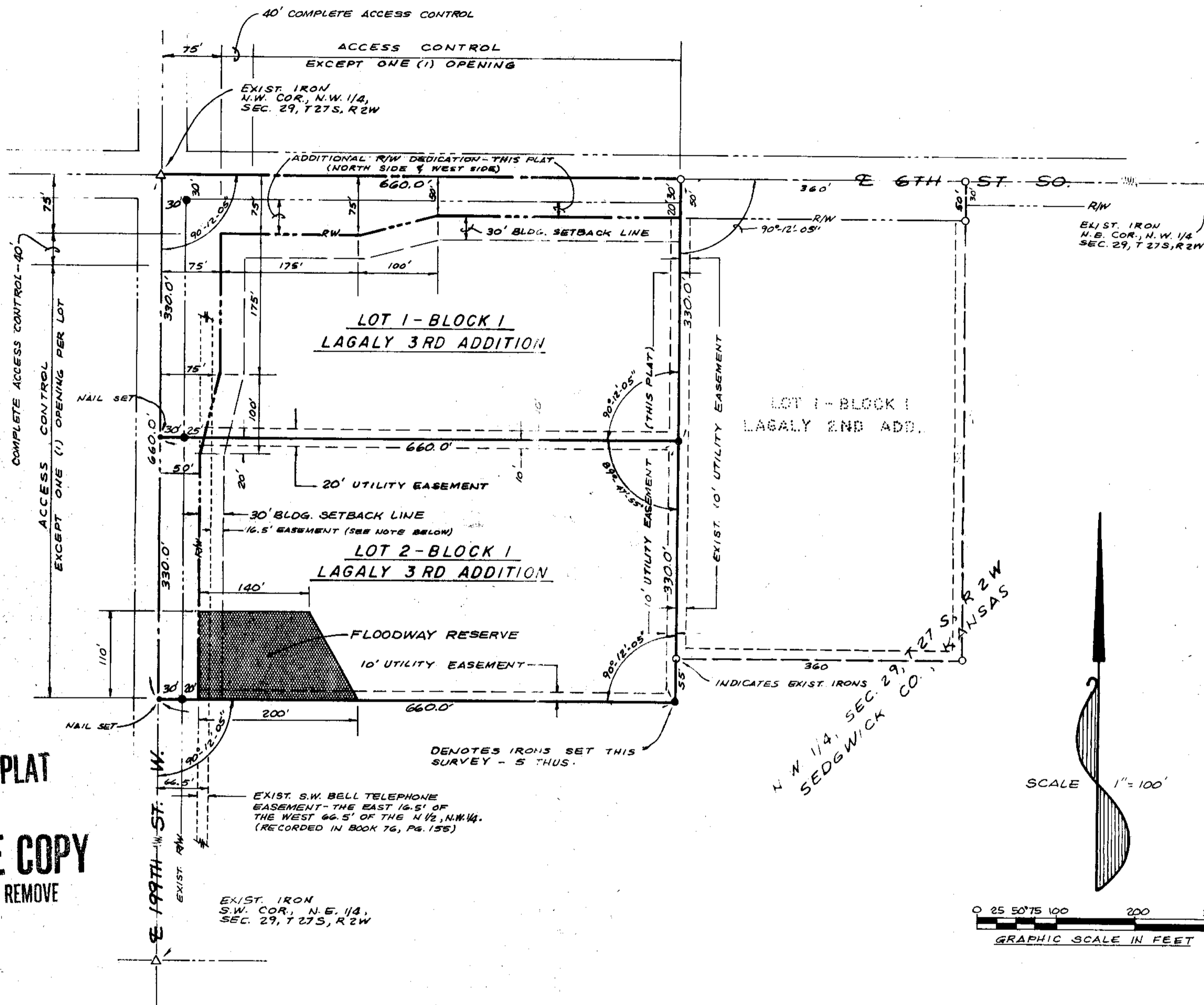
MINIMUM LOT AREA: 3.62 Acres

CURRENT ZONING: "R"

PROPOSED ZONING: "R"

VICINITY MAP:





FINAL PLAT
OFFICE COPY
DO NOT REMOVE

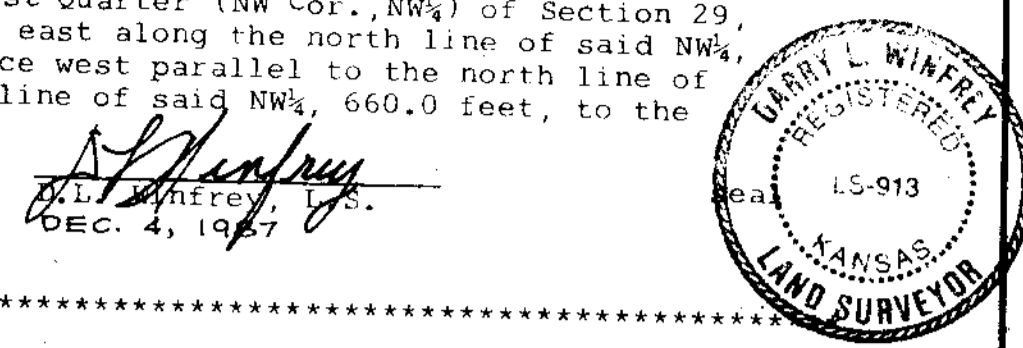
THIS PLAT APPROVED BY THE SUBDIVISION COMMITTEE ON 1/14/88 SUBJECT TO THE CONDITIONS OF APPROVAL OUTLINED IN OUR LETTER DATED 1/14/88

PLAT
LOTS 1 & 2 - BLOCK 1
LAGALY THIRD ADDITION
SEDGWICK COUNTY, KANSAS

OWNERS:
LOT 1 - CLEO & ELIZABETH LAGALY
LOT 2 - LANCE & CINDA SERAFIN
DATE: DEC. 4, 1987

PLATTED BY:
D. L. WINFREY, L.S.
GODDARD, KANSAS

STATE OF KANSAS)
COUNTY OF SEDGWICK) SS.
I, D.L. Winfrey, a licensed land surveyor in the State of Kansas, do hereby certify that I have surveyed and platted Lots 1 and 2, Block 1, Lagaly Third Addition, Sedgwick County, Kansas, the metes and bounds description of the total platted area being described as beginning at the northwest corner of the Northwest Quarter (NW Cor., NW $\frac{1}{4}$) of Section 29, Township 27 South, Range 2 West of the 6th P.M., Sedgwick County, Kansas; thence east along the north line of said NW $\frac{1}{4}$, 660.0 feet; thence south parallel to the west line of said NW $\frac{1}{4}$, 660.0 feet; thence west parallel to the north line of said NW $\frac{1}{4}$, 660.0 feet, to the west line of said NW $\frac{1}{4}$; thence north along the west line of said NW $\frac{1}{4}$, 660.0 feet, to the point of beginning, said described tract containing 10.0 acres, more or less.



OWNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, that the undersigned hereby certify that they are the owners or otherwise have invested interest in, the above described lands and have caused the same to be surveyed and platted into a Block and two lots, the same to be known as "LOTS 1 AND 2, BLOCK 1, LAGALY THIRD ADDITION, SEDGWICK COUNTY, KANSAS".

All utility easements shown thereon are hereby dedicated and granted for the future installation and maintenance of any public utilities. Additional county roadway right-of-way along the north and west sides of the platted tracts, is hereby dedicated to Sedgwick County, at the width, length and locations as shown on the herein plat.

Access control shall be as indicated on the herein plat, providing one point of access on 6th Street South, for Lot 1; one point of access on 199th Street West for Lot 1; and one point of access on 199th Street West, for Lot 2. The location of all access points for both lots shall be determined by the Sedgwick County Engineering Department.

The floodway reserve area as shown on the plat, at the southwest corner of Lot 2, shall be the responsibility of the property owners in the Addition, until such time as the governing body exercising jurisdiction, elects to assume the responsibility for maintenance and improvements for the drainage, provided further that no building shall be constructed on or within said floodway reserve, nor any fill, change in grade, creation of channels, or other works be carried on without the permission of the appropriate engineer.

OWNERS OF LOT 1: CONTRACT OWNERS
Cleo E. Lagaly (Husband & Wife)
Elizabeth A. Lagaly

MORTGAGE HOLDER - ST. BANK OF COLWICH, KS.
BY: John Suellentrop - President

OWNERS OF LOT 2:
Lance V. Serafin (Husband & Wife)
Cinda L. Serafin

ACKNOWLEDGEMENT

STATE OF KANSAS)
COUNTY OF SEDGWICK) SS.
This instrument was acknowledged before me on the _____ day of _____, 1987, by CLEO E. LAGALY AND ELIZABETH A. LAGALY, Husband and Wife; The State Bank of Colwich, Kansas, by its President JOHN SUELLENTROP, and by LANCE V. SERAFIN and CINDA L. SERAFIN, Husband and Wife, all known personally by me to be the same persons who executed the foregoing instrument of writing and duly acknowledged the execution of the same as my notarial act and deed of each of them. In testimony whereof, I have hereunto set my hand and affixed my notarial seal the day and year written above.

My Commission Expires: _____

Notary Public

APPROVALS

This plat has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Planning Commission, this _____ day of _____, 1987.

Elton Parsons - Chairman
Marvin S. Krout - Secretary

This plat has been submitted to and all dedications shown thereon, has been approved by the Board of County Commissioners, Sedgwick County, Kansas, this _____ day of _____, 1987.

Tom Scott - Chairman
Mark F. Shroeder - Pro-tem Chairman
David Bayouth - Commissioner

Bernard A. Hentzen - Commissioner
Billy Q. McCray - Commissioner

WITNESSED:
Don Wright - County Clerk

TRANSFER RECORDS

Entered on transfer records in my office this _____ day of _____, 1987.

Don Wright - County Clerk

REGISTER OF DEEDS

STATE OF KANSAS)
COUNTY OF SEDGWICK) SS.
This is to certify that this instrument was filed for record in the Register of Deeds Office, Sedgwick County, Kansas, at _____ o'clock, on the _____ day of _____, 1987, and duly recorded in _____.

Pat Ketter - Reg. of Deeds
Ed Resa - Deputy



METROPOLITAN AREA PLANNING
DEPARTMENT

CITY HALL — TENTH FLOOR
165 NORTH MAIN STREET
WICHITA, KANSAS 67202-1669
316-268-4501

January 21, 1988

Cleo Lagaly
R.R. #1
2751 N. 21st Street N.
Colwich, KS 67030

Re: Final Plat S/D 87-100 - LAGALY THIRD ADDITION

Dear Mr. Lagaly:

At the regular meeting of the Metropolitan Area Planning Commission on January 21, 1988, the above-captioned plat was considered. The action of the Planning Commission was to recommend that the plat be approved as recommended by the Subdivision Committee subject to the conditions stated in our letter of January 14, 1988.

In addition to complying with those conditions, it is necessary that you meet the following requirements before this plat can be forwarded to the City Council for consideration:

1. Submission of the fully completed and signed tracing of the subdivision to the Metropolitan Area Planning Department.
2. Submission of a title report by an abstract or title insurance company or an attorney's opinion that fee title is vested in the plattor.
3. Certification that all real estate taxes for 1987 and all prior years have been paid.

Please call if you have any questions.

Sincerely,


Forrest L. Nagley
Senior Planner

FLN:dik

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