



**Wichita-Sedgwick County Metropolitan Area Planning Department**

September 10, 2007

Vernail Walker  
2253 S Crestway  
Wichita, KS 67218

David Lee Walker  
528 S Glendale  
Wichita, KS 67218

Re: **BZA2007-47**: Zoning Adjustment to reduce the parking requirement by 25%, from 4 to 3 spaces, in GC zoning, generally located on the northeast corner of Ellis Avenue and Lewis Street (350 S Ellis).

**Legal Description**: Lots 3 and 4, Hatfield's 2nd Addition to Wichita, Sedgwick County, Kansas.

Dear Applicants,

We have reviewed your Zoning Adjustment request to reduce the parking requirement on the above-referenced property. From reviewing your application we understand that you construct a small lawn mower repair building (25' x 30') on this property zoned "GC" General Commercial, and that the mower repair business generates a very low demand for parking spaces. The site has been vacant since 2003 when an abandoned house was removed.

Sec. V-I.2.i. of the Unified Zoning Code allows an adjustment to reduce the parking requirement up to 25 percent for cases of redevelopment of existing site with new construction when the conditions required by Sec. V-I.6. of the Code are met. We find that the reduction of the parking requirement as proposed meets the four conditions required by Sec. V-I.6. of the Code as set out below:

- 1) **Impact on safety and convenience of vehicular and pedestrian circulation**: The proposed reduction in parking requirement should have no detrimental impact on the safety and convenience of vehicular and pedestrian circulation in the vicinity of the application area. Sufficient parking should be available for the anticipated need, and the parking does not interfere with public right-of-way.
- 2) **Impact on existing uses in surrounding areas**: The proposed reduction in parking should not

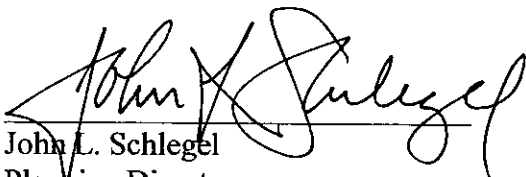
impact existing uses in surrounding areas, as all parking for this project should be adequately provided on the site.

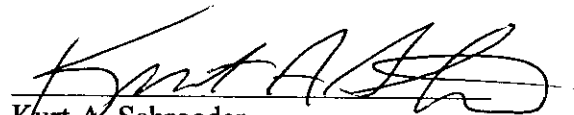
- 3) Compatibility with existing or permitted uses on abutting sites: A reduction of 25% of the parking requirement is only a reduction of one parking space and should not compromise existing or permitted uses on abutting sites.
- 4) Effect on public health, safety or welfare: There will be no encroachment into public right of way or utility easements; therefore there should be no impact on the public's safety, health or welfare.

Our signatures below indicate that an administrative adjustment to reduce parking by 25%, from 4 to 3 spaces is hereby granted for the aforementioned property subject to the following conditions:

- 1) The site shall be developed in general conformance with the approved site plan.
- 2) The parking area shall be paved and marked.
- 3) If the Zoning Administrator finds that there is a violation of any of the conditions of the Zoning Adjustment, the Zoning Administrator, in addition to enforcing the other remedies set forth in the Unified Zoning Code, may, with the concurrence of the Planning Director, declare the Zoning Adjustment null and void.

The "Development Application" sign should now be removed from the property.

  
John L. Schlegel  
Planning Director

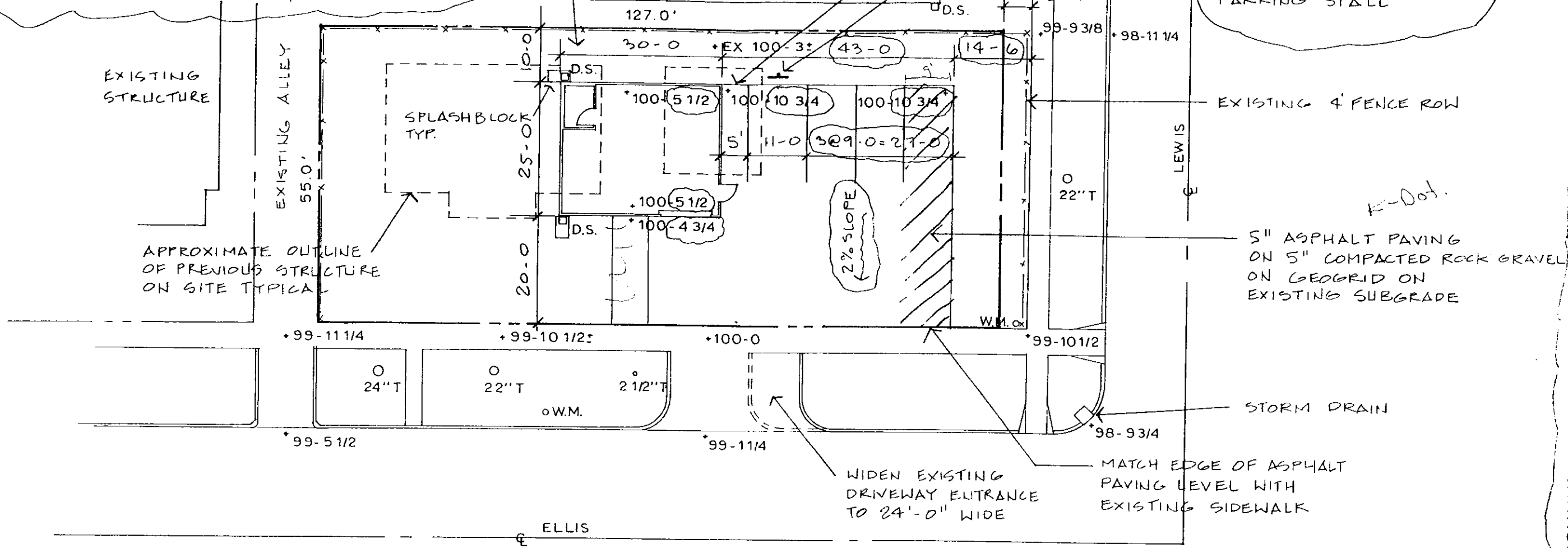
  
Kurt A. Schroeder  
Superintendent of Central Inspection

Enclosure

cc: Kurt Schroeder, Office of Central Inspection  
Paul Hays, Office of Central Inspection  
Randy Sparkman, Office of Central Inspection  
Herb Shaner, Office of Central Inspection  
Rick Stubbs, Office of Central Inspection  
Richard Carl Architect, 254 Laura, Suite 208, Wichita, KS 67211

AFTER INITIAL FOOTING TRENCH HAS BEEN DUG, OWNER TO EMPLOY A SOIL TESTING ENGINEER TO DETERMINE WHETHER NEW FOOTINGS OVER PREVIOUS DEMOLISHED STRUCTURES NEED TO BE EXCAVATED DOWN TO UNDISTURBED SOIL AND HAVE EXCAVATION BE FILLED WITH CONCRETE TO BOTTOM OF THE NEW FOOTINGS TYP.

HANDICAP PARKING ACCESS AISLE  
 ADA COMPLIANT SIGN DESIGNATING HANDICAP PARKING STALL



RICHARD CARL ARCHITECT  
 254 LAURA STE 208  
 WICHITA KS 67211  
 COUNTRY TIME LAWNMOWER SERVICE  
 350 S ELLIS  
 WICHITA KS 67211

BZA 2007-47  
**SITE PLAN**

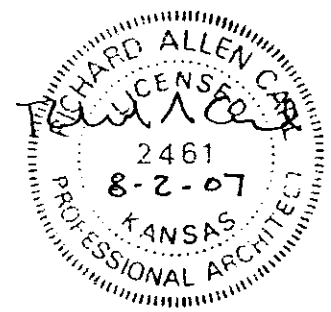
APPROVED 09-10-07 BY DG

1 SITE PLAN  
 1 1: 20-0

NORTH

LEGAL DESCRIPTION: LOTS 3 AND 4 OF HATFIELD'S 2ND ADDITION IN WICHITA.

OCCUPANCY (IBC 2000): S-1  
 CONSTRUCTION TYPE: V-B



SET NO. \_\_\_\_\_  
 PRINT DATE: AUG 27 2007  
 PROJECT DATE: 6-22-07  
 SHEET DATE: 8-2-07  
 REV. DATE: 8-27-07