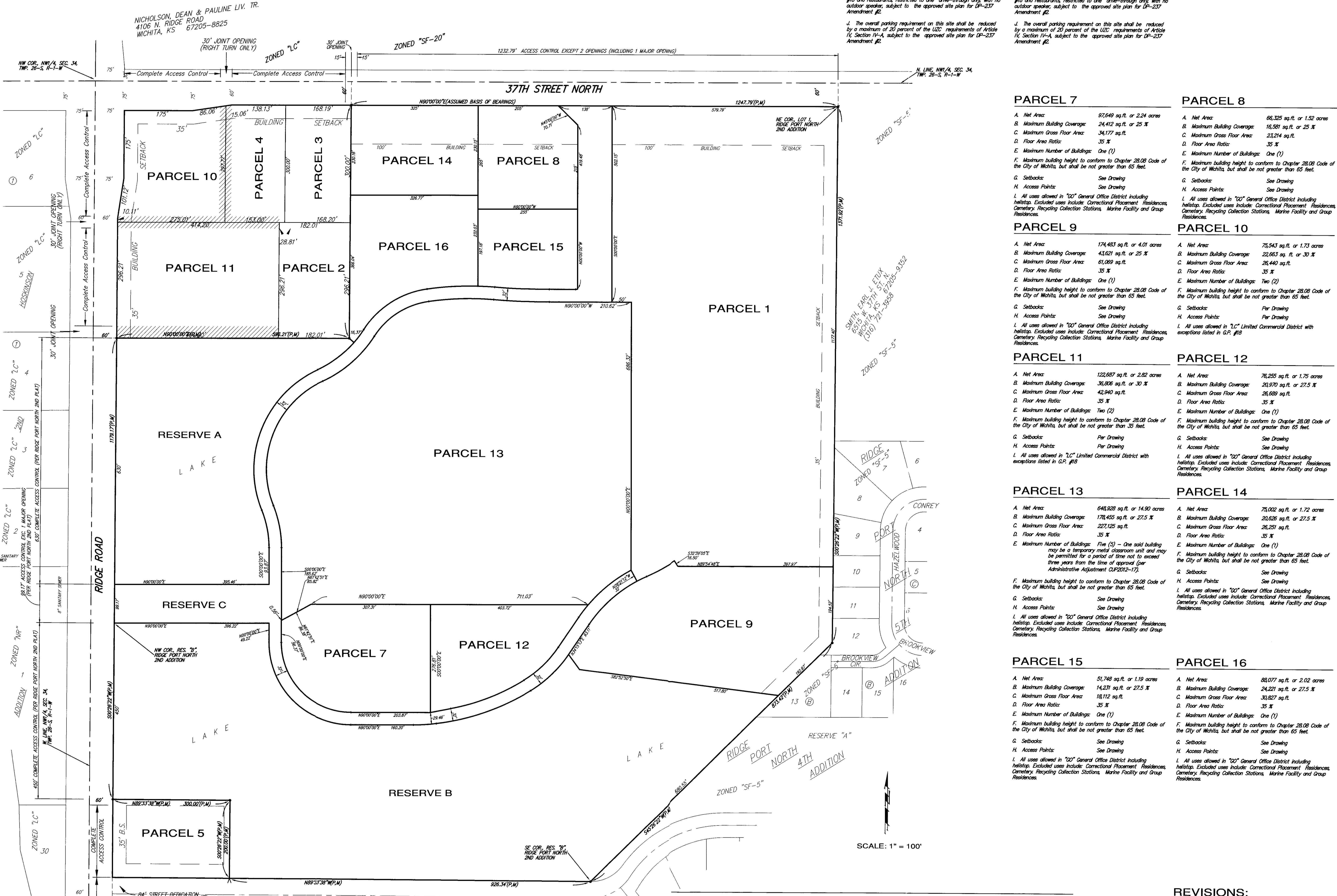


RIDGE PORT NORTH COMMUNITY UNIT PLAN

DP-237

PARCEL 1	PARCEL 2	PARCEL 3	PARCEL 4	PARCEL 5	PARCEL 6A	PARCEL 6B	LEGAL DESCRIPTION:
<p>A. Gross Area: 641,885 sq.ft. or 14.74 acres</p> <p>B. Maximum Building Coverage: 176,518 sq. ft. or 27.5 %</p> <p>C. Maximum Gross Floor Area: 224,680 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: Two (2)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 65 feet.</p> <p>G. Setbacks: Per Drawing</p> <p>H. Access Points: Per Drawing</p> <p>I. All uses allowed in "OO" General Office District including heliport. Excluded uses include: Correctional Placement, Residences, Cemetery, Recycling Collection Stations, Marine Facility and Group Residences. Multi-Family Dwellings are Limited to 294 units.</p>	<p>A. Net Area: 53,910 sq.ft. or 1.24 acres</p> <p>B. Maximum Building Coverage: 16,173 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 8,869 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: Two (2)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: Per Drawing</p> <p>H. Access Points: Per Drawing</p> <p>I. All uses allowed in "LC" Limited Commercial District with exceptions listed in G.P. #18</p>	<p>A. Net Area: 54,457 sq.ft. or 1.16 acres</p> <p>B. Maximum Building Coverage: 15,137 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 17,660 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: Two (2)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: See Drawing</p> <p>H. Access Points: See Drawing</p> <p>I. All uses allowed in "LC" Limited Commercial District with exceptions listed in G.P. #18</p>	<p>A. Net Area: 45,863 sq.ft. or 1.05 acres</p> <p>B. Maximum Building Coverage: 13,765 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 16,059 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: Two (2)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: See Drawing</p> <p>H. Access Points: See Drawing</p> <p>I. All uses allowed in "LC" Limited Commercial District with exceptions listed in G.P. #18</p>	<p>A. Net Area: 60,000 sq.ft. or 1.38 acres</p> <p>B. Maximum Building Coverage: 18,000 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 21,000 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: One (1)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: See Drawing</p> <p>H. Access Points: See Drawing</p> <p>I. Limited to the uses allowed in the "NR" Neighborhood Retail and the following: indoor recreation, restaurants except no drive-in or drive-thru, funeral home and motels/hotels, with the exceptions listed in General Provision #18 and restaurants, restricted to one drive-through only, with no outdoor seating, subject to the approved site plan for DP-237 Amendment #2.</p>	<p>A. Net Area: 101,696 sq.ft. or 2.34 acres</p> <p>B. Maximum Building Coverage: 30,509 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 35,594 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: One (1)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: See Drawing</p> <p>H. Access Points: See Drawing</p> <p>I. Limited to the uses allowed in the "NR" Neighborhood Retail and the following: college & university, indoor recreation, funeral home, motels/hotels, with the exceptions listed in General Provision #18 and restaurants, restricted to one drive-through only, with no outdoor seating, subject to the approved site plan for DP-237 Amendment #2.</p>	<p>A. Gross Area: 36,606 sq.ft. or 0.83 acres</p> <p>B. Maximum Building Coverage: 11,562 sq.ft. or 30 %</p> <p>C. Maximum Gross Floor Area: 13,512 sq.ft.</p> <p>D. Floor Area Ratio: 35 %</p> <p>E. Maximum Number of Buildings: One (1)</p> <p>F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.</p> <p>G. Setbacks: See Drawing</p> <p>H. Access Points: See Drawing</p> <p>I. Limited to the uses allowed in the "NR" Neighborhood Retail and the following: college & university, indoor recreation, funeral home, motels/hotels, with the exceptions listed in General Provision #18 and restaurants, restricted to one drive-through only, with no outdoor seating, subject to the approved site plan for DP-237 Amendment #2.</p>	<p>LEGAL DESCRIPTION: Part of Ridge Port North Addition, Wichita, Sedgewick County, Kansas; Part of Ridge Port North 2nd Addition, Wichita, Sedgewick County, Kansas; and Part of Ridge Port North 6th Addition, Wichita, Sedgewick County, Kansas.</p> <p>RESERVES: Reserve "A" Net Area: 260,153 sq.ft. or 5.97 acres Reserve "B" Net Area: 696,262 sq.ft. or 15.98 acres Reserve "C" Net Area: 172,888 sq.ft. or 3.97 acres</p>



GENERAL PROVISIONS:

- Total Land Area: 1,628,548.0 sq.ft. or 83.30 acres
- Within the area to be rezoned "OO" there will be a minimum 15 acre reserve for drainage detention, sidewalks, etc. The location of this reserve will be determined at the time of platting after all platting requirements concerning drainage are completed. Building coverage and floor-area ratio are based upon 35 acres.
- Parking shall be provided in accordance with Section 28.04.140 et seq. of the Code of the City of Wichita, unless otherwise specified in the parcel description.
- Setbacks are as indicated on the CUP drawing or as specified in the parcel descriptions. If contiguous parcels are to be developed under the same ownership, setbacks between those parcels will not be required. Setbacks not shown on the CUP drawing or as part of contiguous parcels under the same ownership, shall provide building setback per the CUP for the underlying zoning district.
- A Drainage Plan shall be submitted to City Engineering for approval. Required guarantees for drainage shall be provided at the time of platting improvements.
- Guarantees for street improvements for 37th Street North and Ridge Road shall be determined at the time of platting.
- Signs shall be in accordance with the Sign Code of the City of Wichita with the following conditions:
 - As the frontage develops along the arterial roadways, monument type signs shall be spaced a minimum of 150' apart, irrespective of how land is leased or sold.
 - Flashing signs (except for signs showing only time, temperature and other public service messages), rotating or moving signs, signs with moving lights or signs which create illusions of movement are not permitted.
 - Portable and off-site signs are not permitted.
 - Window display signs are limited to 25% of the window area.
 - No signs shall be allowed on the rear of any buildings.
 - All freestanding signs must be monument type and shall have a maximum height of 20 feet. The maximum square footage of sign face allowed in Parcels 2-6A, 8B, 10 and 11, shall not exceed 60% of lot frontage. Signage for Parcels 1, 7-9 & 12-16 shall be defined by the "OO" zoning district. Signs shall be spaced 150 feet apart regardless of parcel lines, with the following exception: The monument sign to be located on Parcel 1 shall be located at least 115 feet east of a monument sign located on Parcel 2. This adjustment shall not be deemed to alter any other provisions of the CUP, except as expressly stated herein, and shall not be deemed to add an additional monument sign to the street allowed by the Sign Code based on 150-foot spacing or to increase the maximum square footage of signage allowed.
 - Access Controls shall be as shown on the final plat.
 - All exterior lighting shall be shielded to direct light downwards in a downward direction.
 - Parcels 1, 7-9 & 12-15 separately; Parcels 2-4, 10 and 11 separately; and Parcels 5 & 6A/8B separately shall share similar or consistent parking lot lighting elements (i.e., fixtures, poles, and areas, and etc.). Light poles within Parcel 13 may be round or square.
 - The height of light poles shall be limited to 24 feet in height. The height of light poles within Parcel 13 shall be limited to 30 feet in height, including the base of the light poles.
 - Extraneous use of bollard columns and neon or fluorescent tube lighting on buildings is not permitted.
 - Utilities shall be installed underground on all parcels.
- Landscaping for this site shall be required as follows:
 - A development of all parcels within the CUP shall comply with the Landscape Ordinance of the City of Wichita.
 - A landscape plan shall be prepared by a Kansas Landscape Architect for the above referenced landscaping, indicating the type, location, and quantities of all plant material. This plan shall be submitted to the Planning Department for their review and approval prior to issuance of a building permit.
 - A financial guarantee for the plant material specified on the landscape plan for that portion of the CUP being developed shall be required prior to issuance of any occupancy permit, if the required landscape has not been planted.
- Screening Walls:
 - A six (6) foot high concrete wall shall be constructed along property lines of the CUP, within a lot easement where nonresidential uses are adjacent to residential uses except where there is the minimum 200 feet of planted reserve area on either side of the property line.
 - This solid screening wall shall be constructed of a pattern and color that is consistent with the building walls.
 - Along south property line of Parcel 9 where access from residential uses a landscape plan can be submitted in lieu of screening wall (See General Provision #12).
- Roof-top mechanical equipment shall be screened from ground level per Unit Permitted Zoning Code.
- Trash receptacles shall be appropriately screened to reasonably hide them from ground view.
- All buildings in Parcels 1, 7-9 & 12-15 separately; Parcels 2-4, 10 and 11 separately and Parcels 5-6A/8B separately shall share uniform architectural character, color, texture and the same promenade exterior building material. Building walls and roofs must have a uniform earth-tone color, with white colors limited to incidental accents, and must employ materials similar to surrounding residential areas. A temporary metal classroom unit may be permitted within Parcel 13 for a period of time not to exceed three years from the time of approval (See Administrative Adjustment CUP2012-17).
- Fire lanes shall be in accordance with the Fire Code of the City of Wichita. No parking shall be allowed in said fire lanes, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. Fire hydrant installation and street access to all of building sites shall be provided for each phase of construction prior to the issuance of building permits.
- Parcels 3-4, 10 and 11 shall be zoned Limited Commercial. (See Parcel Descriptions). No parcel within this CUP shall allow the use of adult entertainment establishments, group residences, Jeffrey houses, correctional placement residences, private clubs, taverns and drinking establishments. Restaurants that serve liquor can be developed and may serve liquor, as long as food is the primary service of the establishment. Parcels 1, 7-9 & 12-15 shall be zoned General Office and may include drainage detention requirements. For uses allowed in Parcels 5 and 6A/8B see parcel descriptions.
- The transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.
- Amendments, adjustments or interpretations to this CUP shall be done in accordance with Article 15, Sections 13-15 of the United Staty Code.
- The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the zoning administrator and the Director of Planning shall constitute a violation of the building permit authorizing construction of the proposed development.
- An overall site traffic circulation plan shall be submitted to the Director or Planning for approval prior to the issuance of building permits. On-street circulation agreements shall be required at the time of platting to assure internal vehicular movement between parcels within the CUP.
- At the time of platting the applicant will be required to guarantee off-site improvements. It is anticipated that these improvements will include a right and left turn deceleration and storage lanes at the two major accesses to Parcel 1. Left turn lanes would be provided for the southbound and westbound left turns at the intersection of 37th Street North and Ridge Road. The owner would also be responsible for a portion of the cost to install traffic signals at the intersection.
- Prior to issuing building permits, a plan for a pedestrian walk system shall be submitted and approved by the Director of Planning. This walk system shall include 37th Street North and Ridge Road with proposed buildings within the subject property as determined in accordance by the Director of Planning.
- Any major change in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.

12. Landscaping for this site shall be required as follows:

13. Screening Walls:

14. Roof-top mechanical equipment shall be screened from ground level per Unit Permitted Zoning Code.

15. Trash receptacles shall be appropriately screened to reasonably hide them from ground view.

16. All buildings in Parcels 1, 7-9 & 12-15 separately; Parcels 2-4, 10 and 11 separately and Parcels 5-6A/8B separately shall share uniform architectural character, color, texture and the same promenade exterior building material. Building walls and roofs must have a uniform earth-tone color, with white colors limited to incidental accents, and must employ materials similar to surrounding residential areas. A temporary metal classroom unit may be permitted within Parcel 13 for a period of time not to exceed three years from the time of approval (See Administrative Adjustment CUP2012-17).

17. Fire lanes shall be in accordance with the Fire Code of the City of Wichita. No parking shall be allowed in said fire lanes, although they may be used for passenger loading and unloading. The Fire Chief or his designated representative shall review and approve the location and design of all fire lanes. Fire hydrant installation and street access to all of building sites shall be provided for each phase of construction prior to the issuance of building permits.

18. Parcels 3-4, 10 and 11 shall be zoned Limited Commercial. (See Parcel Descriptions). No parcel within this CUP shall allow the use of adult entertainment establishments, group residences, Jeffrey houses, correctional placement residences, private clubs, taverns and drinking establishments. Restaurants that serve liquor can be developed and may serve liquor, as long as food is the primary service of the establishment. Parcels 1, 7-9 & 12-15 shall be zoned General Office and may include drainage detention requirements. For uses allowed in Parcels 5 and 6A/8B see parcel descriptions.

19. The transfer of title of all or any portion of land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.

20. Amendments, adjustments or interpretations to this CUP shall be done in accordance with Article 15, Sections 13-15 of the United Staty Code.

21. The development of this property shall proceed in accordance with the development plan as recommended for approval by the Planning Commission and approved by the Governing Body, and any substantial deviation of the plan, as determined by the zoning administrator and the Director of Planning shall constitute a violation of the building permit authorizing construction of the proposed development.

22. An overall site traffic circulation plan shall be submitted to the Director or Planning for approval prior to the issuance of building permits. On-street circulation agreements shall be required at the time of platting to assure internal vehicular movement between parcels within the CUP.

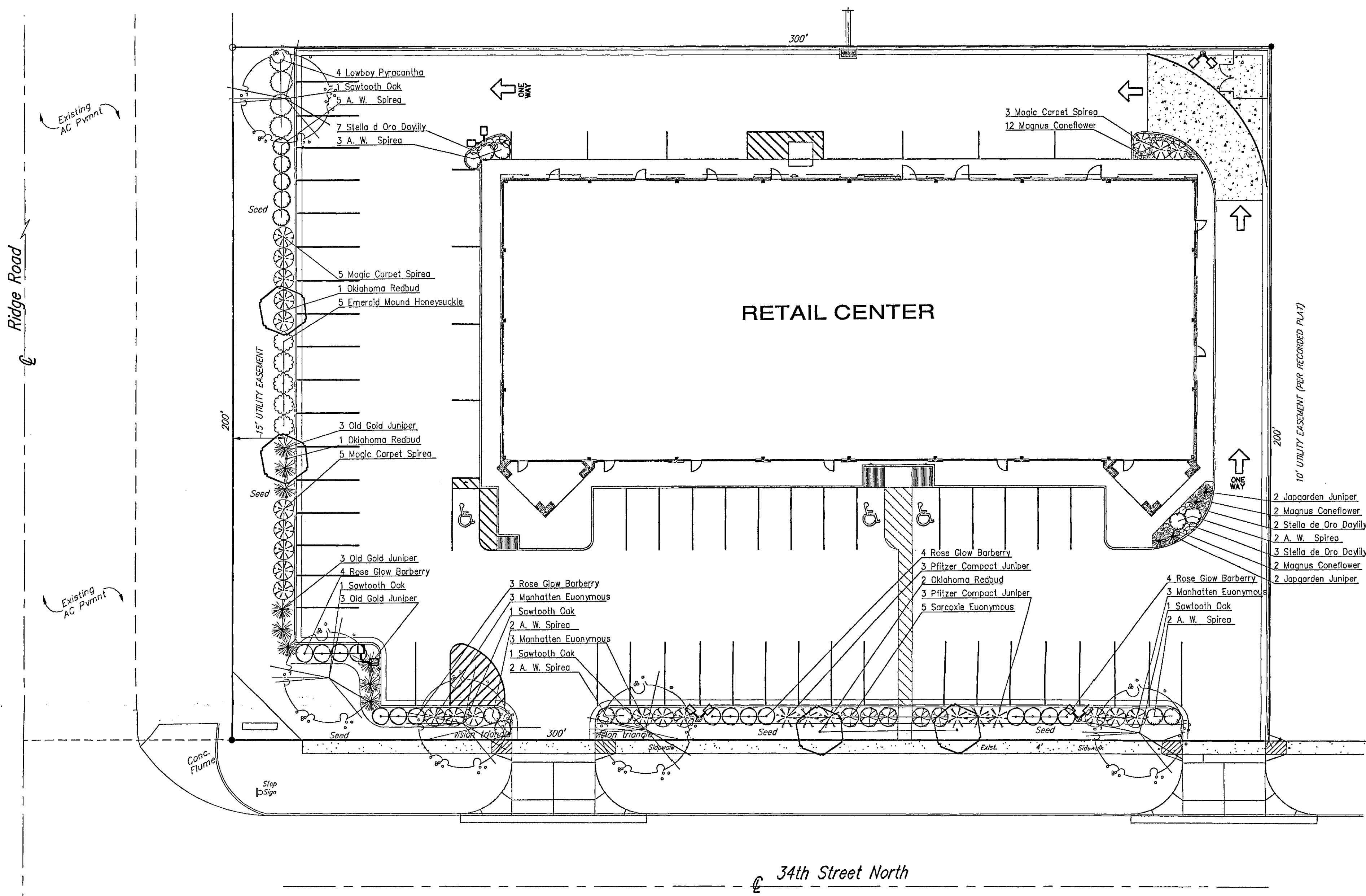
23. At the time of platting the applicant will be required to guarantee off-site improvements. It is anticipated that these improvements will include a right and left turn deceleration and storage lanes at the two major accesses to Parcel 1. Left turn lanes would be provided for the southbound and westbound left turns at the intersection of 37th Street North and Ridge Road. The owner would also be responsible for a portion of the cost to install traffic signals at the intersection.

24. Prior to issuing building permits, a plan for a pedestrian walk system shall be submitted and approved by the Director of Planning. This walk system shall include 37th Street North and Ridge Road with proposed buildings within the subject property as determined in accordance by the Director of Planning.

25. Any major change in this development plan shall be submitted to the Planning Commission and to the Governing Body for their consideration.

APPROVED CUP
MAP 1-18-2007
MAP 1-18-2007
DP-237
RIDGE PORT NORTH COMMUNITY UNIT PLAN

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-282-7271 • 315 ELLIS • WICHITA, KANSAS 67211



IRRIGATION NOTES:

- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so that turf heads are on separate zones from shrub spray heads.
- The Irrigation Contractor SHALL NOT START irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which:
Use Rainbird products or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City of Wichita Codes.
- Irrigation Contractor to verify location of well(s) with GC prior to installation of system. Irrigation Contractor shall verify static pressure and volume of well water supply prior to installation of system. Alternate bid cost with city water with meter installation included.
- Prior to construction, the Irrigation Contractor shall determine locations of all existing and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using spray heads.
- Heads will be adjusted to NOT spray on buildings, walks, and drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray heads to be located and sized so as not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor is responsible to coordinate with the Paving Contractor to locate and install required sleeving for irrigation lines prior to any paving. Combine piping whenever possible to save on sleeving material. Sleeves shall be a min. of 20" below finish grade. Verify final depth with paving contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Controller is to be located per Owner/G.C. requested location.

LANDSCAPE NOTES:

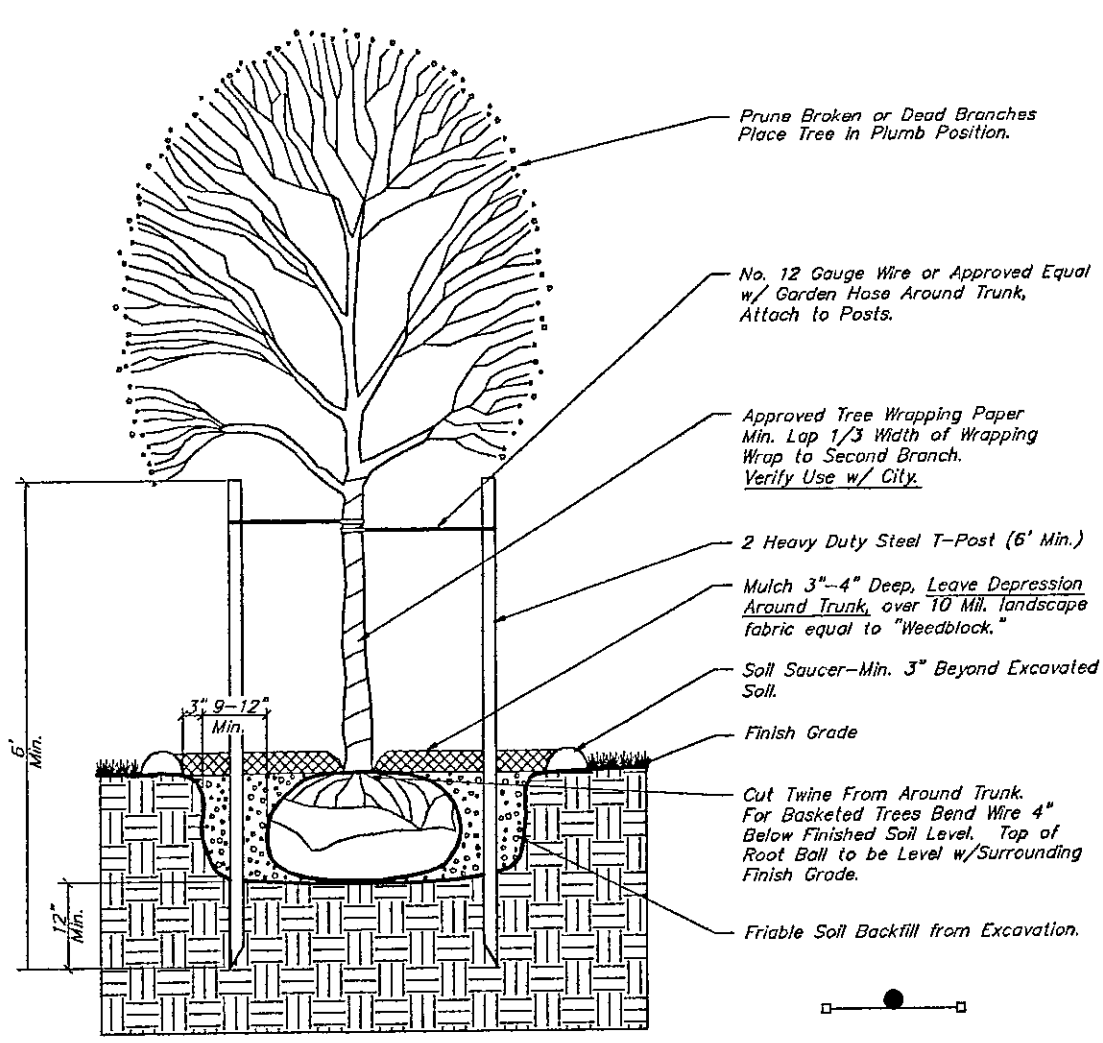
- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "SEED" shall be seeded and fertilized as follows:
SEED-- Kansas Premium Fescue Seed @ 6 lbs/1,000 sq. ft.
FERTILIZER-- 16-20-6 ratio 4#/1000 sq. ft.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Trifluralin (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled to a depth of 10-12".
- Mulch all planting beds with 3" of mulch using 1/4"-1/2" Pea Gravel. Over 10 Mil. landscape fabric equal to "Weedblock." Mulch all tree saucer wells with shredded Cypress mulch of uniform consistency.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be from Pro-Steel Company, using 10 gauge thickness, commercial grade, or approved equal.
- Topsail hauled onto site shall be fertile, friable, natural loam topsail, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free trash, or other matter toxic to plant growth.
- Topsail shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect prior to starting construction.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- The landscape contractor is responsible to coordinate with the G.C. to install the plants and maintain the grounds, until final acceptance from the owner.
- The landscape contractor shall submit bid with unit prices for all plants, which include mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The landscape contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- General Contractor to supply all topsail to site. Landscape contractor to supply necessary topsail for planting areas. A 4" depth of topsail to finish grade in all planting beds.
- Fall planting season shall be September 1 thru end of October. Spring planting season shall be April 1 thru end of June. For grass seeding, fall season shall be September 1 thru mid of October. Spring season for seeding shall be from March 15 thru mid May.
- Automatic Irrigation will be provided with a rain shut off device.

PLANT SCHEDULE

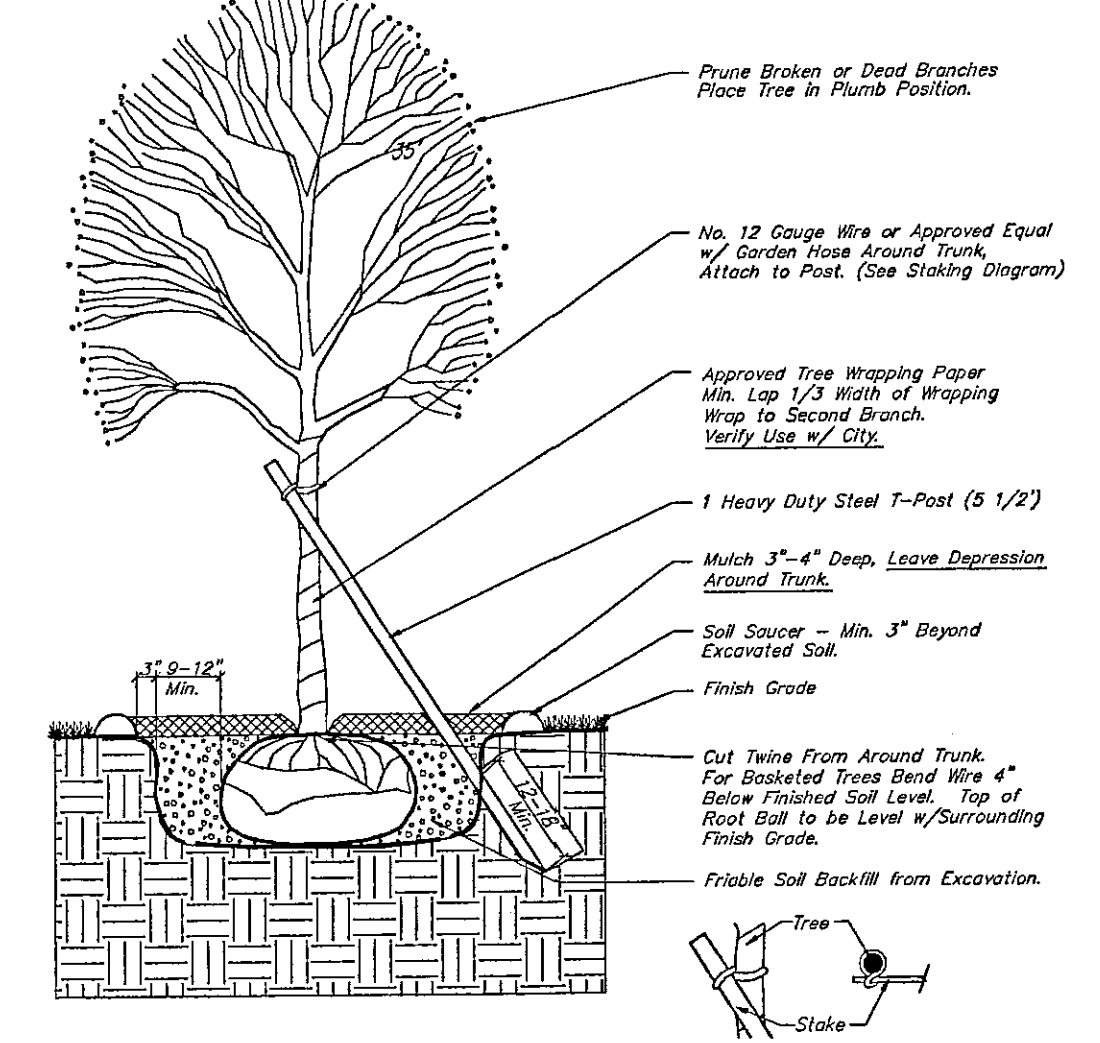
QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
5	<i>Quercus acutissima</i>	Sawtooth Oak	3" Cal.	B&B	Single Stem Only
4	<i>Cercis ranifolia</i> "Oklahoma"	Oklahoma Redbud	2" Cal.	B&B	Single Stem Only
14	<i>Berberis thunbergii</i> "Rose Glow"	Rose Glow Barberry	5 Gal.	Cont.	Full & Healthy
9	<i>Euonymus alatus</i> "Manhattan"	Manhattan Euonymous	5 Gal.	Cont.	Full & Healthy
5	<i>Euonymus radicans</i> "Sarcocoe"	Sarcocoe Euonymous	5 Gal.	Cont.	Full & Healthy
9	<i>Juniperus chinensis</i> "Armstrong Aurea"	Old Gold Juniper	5 Gal.	Cont.	Full & Healthy
6	<i>Juniperus chinensis</i> "Pfizeriana compacta"	Pfizer Compact Juniper	5 Gal.	Cont.	Full & Healthy
4	<i>Juniperus procumbens</i> "Nana"	Dwarf Jaggarden Juniper	5 Gal.	Cont.	Full & Healthy
5	<i>Lonicera xylosteum</i> "Emerald Mound"	Emerald Mound Honeysuckle	5 Gal.	Cont.	Full & Healthy
4	<i>Pyracantha coccinea</i> "Lowboy"	Lowboy Pyracantha	5 Gal.	Cont.	Full & Healthy
16	<i>Spiraea bumalda</i> "Anthony Waterer"	Anthony Waterer Spirea	5 Gal.	Cont.	Full & Healthy
13	<i>Spiraea japonica</i> "Magic Carpet"	Magic Carpet Spirea	5 Gal.	Cont.	Full & Healthy
16	<i>Echinacea purpurea</i> "Magnus"	Magnus Coneflower	1 Gal.	Cont.	Full & Healthy
12	<i>Hemerocallis</i> "Stella de Oro"	Stella de Oro Daylily	1 Gal.	Cont.	Full & Healthy

LANDSCAPE ORDINANCE CALCULATIONS

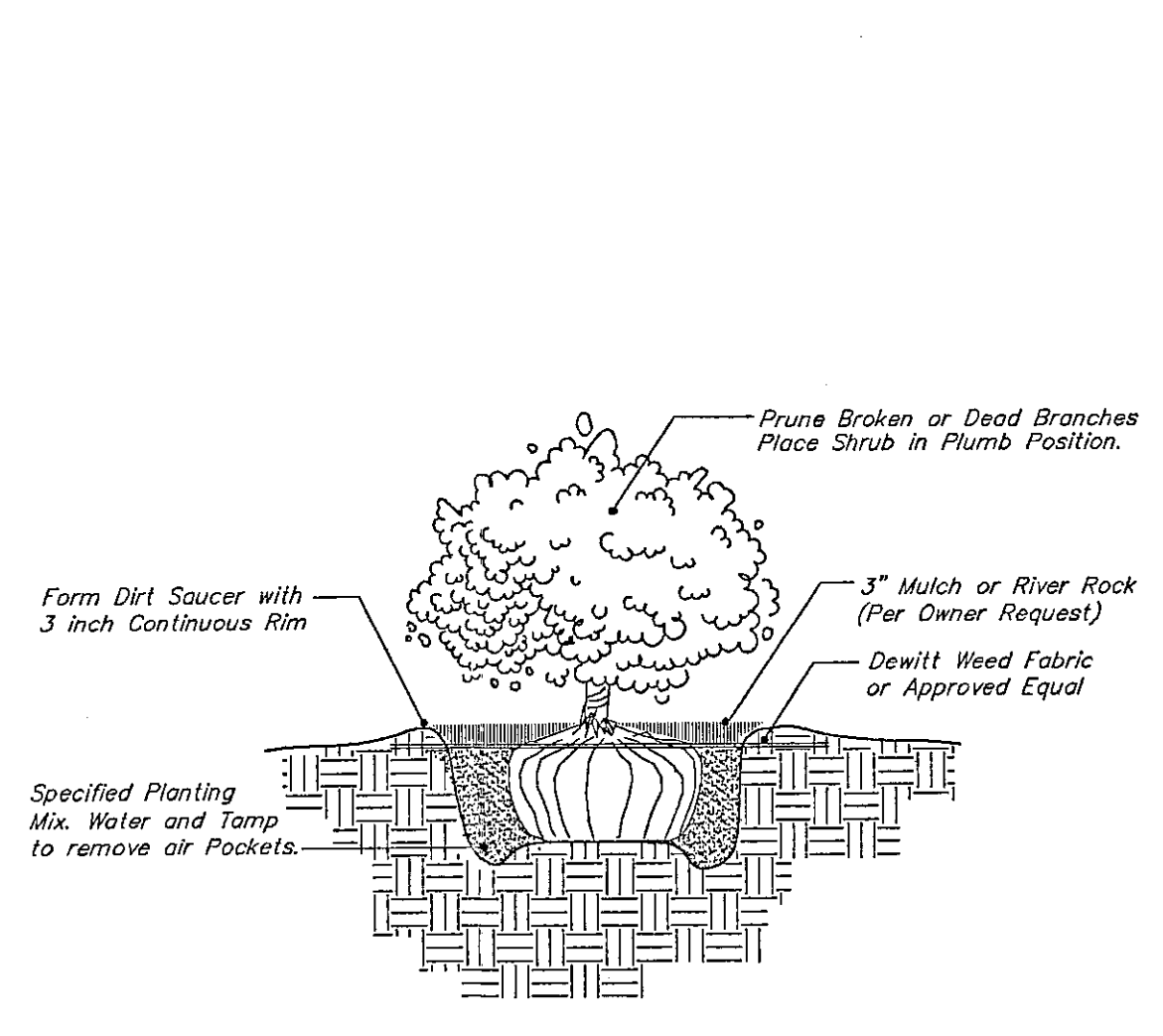
Streetyard requirement: 250.00' x 10 (Sq. Footage Factor) = 2,500 Sq. Ft.
Streetyard shown: = 5,333 sq.ft.
Streetyard Trees Required: 2,500 / 500 = 5 Shade Trees
Streetyard Trees shown: 5 shade
Parking Lot Trees Required: 4 shade
Parking Lot Trees shown: 5 shade



TREE PLANTING AND STAKING DETAIL
Deciduous Trees 2" Cal. and Smaller
Evergreen Trees 6" Height and Smaller
No Scale



TREE PLANTING AND STAKING DETAIL
Deciduous Trees 2" Cal. and Smaller
Evergreen Trees 6" Height and Smaller
No Scale



TYPICAL SHRUB PLANTING DETAIL
5 Gallon and Smaller
No Scale

REVISED SEPTEMBER 23, 2002

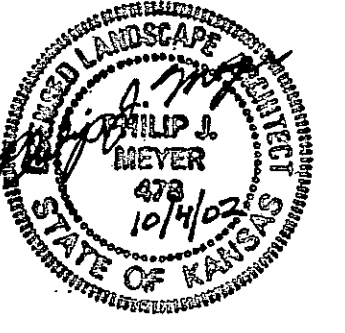
RIDGE PORT NORTH ADDITION, LOT 5
LANDSCAPE PLAN
CITY OF WICHITA

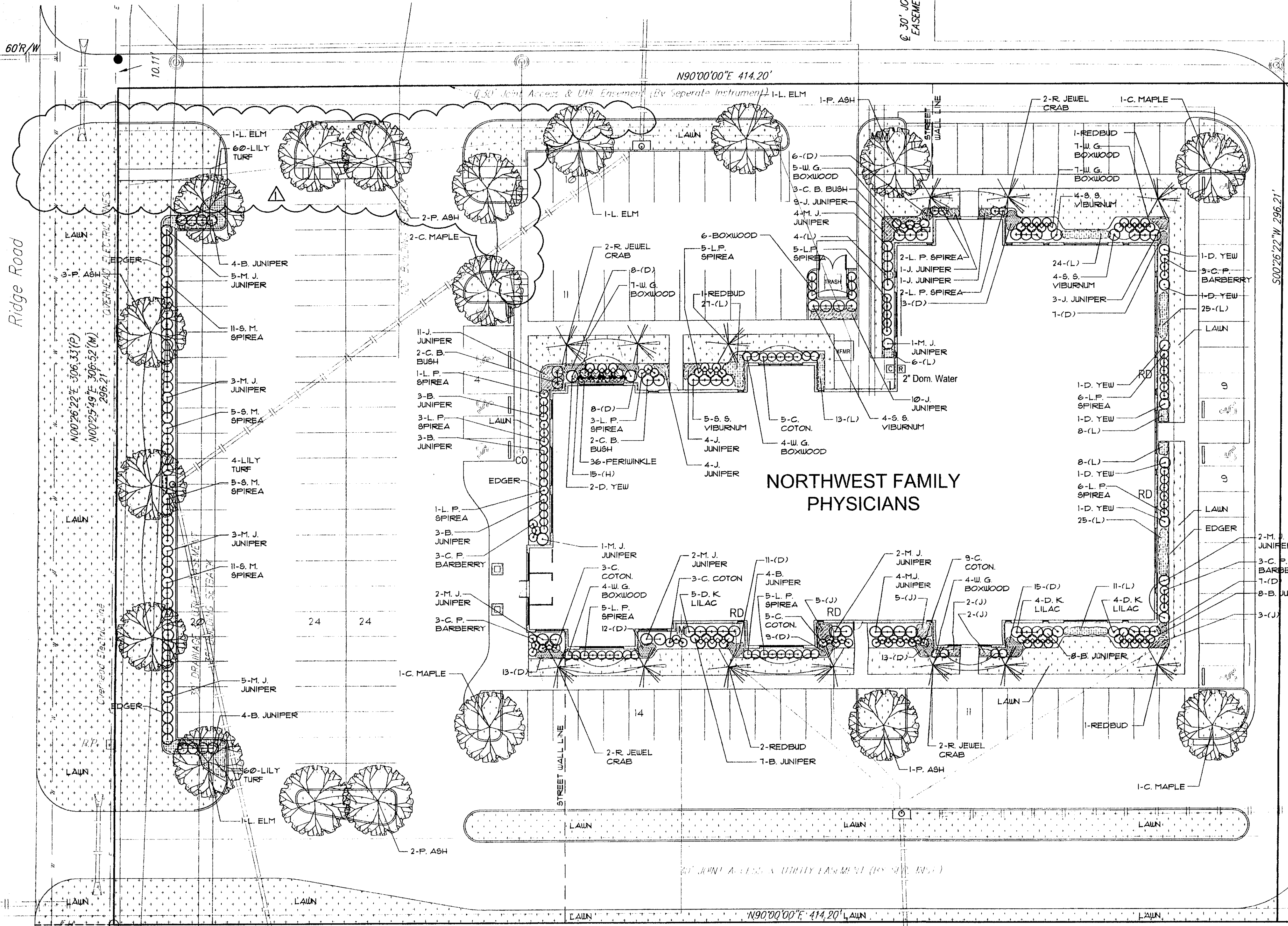
BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: _____ SHEET: **4**

DESIGN: SCH DRAWN: SCH APPROVED: PJM DATE: 08/27/02 SCALE: 1"=20' OF: **4**

DR-237 PHASES
LANDSCAPE PLAN
APPROVED 12/16/02 BY: JDB
MARTY CHAMBERS 10/1/02





NORTHWEST FAMILY PHYSICIANS

PLANTING PLAN

1" = 20'-0"

PLANT SCHEDULE

COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
TREES				
CADDIS MAPLE	ACER SACCHARUM 'CADDIS'	2 - 2 1/2'	B # B	
LACEBARK ELM	ULMUS PARVIFOLIA	2 - 2 1/2'	B # B	
PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2 - 2 1/2'	B # B	
ORNAMENTAL TREE				
EASTERN REDBUD	CERCIS CANADENSIS	1 1/2 - 2'	B # B	
RED JEWEL CRABAPPLE	MALUS X 'RED JEWEL'	1 1/2 - 2'	B # B	
DECIDUOUS SHRUBS				
COMPACT BURNING BUSH	EUONYMUS ALATUS COMPACTA	5' GAL.	CONT.	
CRANBERRY COTONEASTER	COTONEASTER APICULATA	3 GAL.	CONT.	
CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	3 GAL.	CONT.	
DWARF KOREAN LILAC	SYRINGA PATULA	3 GAL.	CONT.	
LITTLE PRINCESS SPIREA	SPIREA JAPONICA 'LITTLE PRINCESS'	3 GAL.	CONT.	
SUMMER SNOWFLAKE VIBURNUM	VIBURNUM PLICATUM	3 GAL.	CONT.	
SNOWMOUND SPIREA	SPIREA NIPPONICA 'SNOWMOUND'	3 GAL.	CONT.	

COMMON NAME	BOTANICAL NAME	SIZE	COND.	REMARKS
EVERGREEN SHRUBS				
BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	3 GAL.	CONT.	
DENSIFORMIS YEW	TAXUS X MEDIA 'DENSIFORMIS'	5 GAL.	CONT.	
MINT JULEP JUNIPER	JUNIPERUS CHINENSIS 'MINT JULEP'	5 GAL.	CONT.	
WINTER GEM BOXWOOD	BUXUS MICROPHYLLA 'KOREANA'	3 GAL.	CONT.	
GROUNDCOVERS				
(J) JAPGARDEN JUNIPER	JUNIPERUS PROCUMBENS 'NANA'	3 GAL.	CONT.	SPACE 30" O.C.
(L) LILY TURF	LIRIOPE MUSCARI	1 GAL.	CONT.	SPACE 18" O.C.
(P) PERIWINKLE	VIOLA MINOR	1 GAL.	CONT.	SPACE 15" O.C.
PERENNIALS				
(D) DAY LILY	HEMEROCALLIS 'STELLA D'ORO'	1 GAL.	CONT.	SPACE 18" O.C.
(H) HOSTA	HOSTA FORTUNEI 'ALBO MARGINATA'	1 GAL.	CONT.	SPACE AS SHOWN
LAWN				
FESCUE				

GENERAL PLANTING NOTES

- PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCHITECT/LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
- CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. VERIFY EXACT UTILITY LOCATIONS BY CONTACTING THE LOCAL ONE-CALL CENTER. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
- GENERAL CONTRACTOR SHALL PROVIDE 4" OF TOPSOIL AT ALL BOD AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR BOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
- SOD FOR LAWN AREAS TO BE TOP QUALITY FINE BLADE FESCUE BLEND LOCALLY GROWN.
- BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL. EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
- FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
- AFTER PLANTING IS COMPLETED, REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE NATURAL HABIT OR SHAPE OF PLANT. MAKE CUTS FLUSH, LEAVING NO STUBS. CUTS OF ONE INCH (1").
- ALL LANDSCAPE EDGING IS TO BE RYERSON STEEL EDGING (COLOR GREEN). INSTALL EDGING WITH STAKES AND AT ELEVATION SPECIFIED BY MANUFACTURER.
- INSTALL SHREDDED HARDWOOD MULCH. PLACE 3"-4" OF MULCH IN ALL PLANT BEDS AND TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- SOD AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

LEGAL DESCRIPTION

PARCEL A:
A PORTION OF LOT 2, RIDGE FORT NORTH ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS DESCRIBED AS BEGINNING AT THE SE CORNER OF SAID LOT 2, THENCE 590'00"00"W, ALONG THE SOUTH LINE OF SAID LOT 2, 182.01 FEET, THENCE N80°26'22"E, PARALLEL WITH THE EAST LINE OF SAID LOT 2, 236.21 FEET, THENCE N80°00'00"E, PARALLEL WITH THE SOUTH LINE OF SAID LOT 2, 182.01 FEET TO A POINT ON THE EAST LINE OF SAID LOT 2, THENCE 800'26'22"W, ALONG THE EAST LINE OF SAID LOT 2, 236.21 FEET TO THE POINT OF BEGINNING.

PARCEL B:
ALL OF LOT 4, RIDGE FORT NORTH ADDITION, WICHITA, SEDGWICK COUNTY, KANSAS TOGETHER WITH A PORTION OF LOT 2 IN SAID RIDGE FORT NORTH ADDITION DESCRIBED AS BEGINNING AT THE SW CORNER OF SAID LOT 4, THENCE N00°26'22"E, ALONG THE WEST LINE OF SAID LOT 4, 236.21 FEET, THENCE N80°00'00"E, PARALLEL WITH THE SOUTH LINE OF SAID LOTS 2 AND 4, 414.20 FEET, THENCE 800'26'22"W, PARALLEL WITH THE EAST LINE OF SAID LOT 2, 236.21 FEET, THENCE 590'00'00"W, ALONG THE SOUTH LINE OF SAID LOTS 2 AND 4, 414.20 FEET TO THE POINT OF BEGINNING.

LANDSCAPE ORDINANCE CALC.

LANDSCAPE STREET YARD
236 (TOTAL LINEAL FEET OF STREET YARD FRONTAGE) X 20 8' F. FACTOR
= 4720 TOTAL S. F. OF LANDSCAPE STREET YARD REQ'D.
= 500 (1 TREE PER 500 SF.)
1184 OR SAY 12 TREES REQ'D.

182 TREES PROVIDED (15 SHADE + 6 ORNAMENTAL)
14233 SF. OF LANDSCAPE STREET YARD PROVIDED

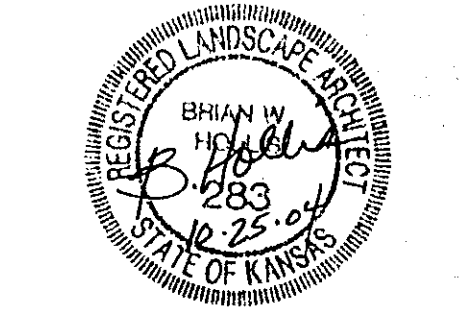
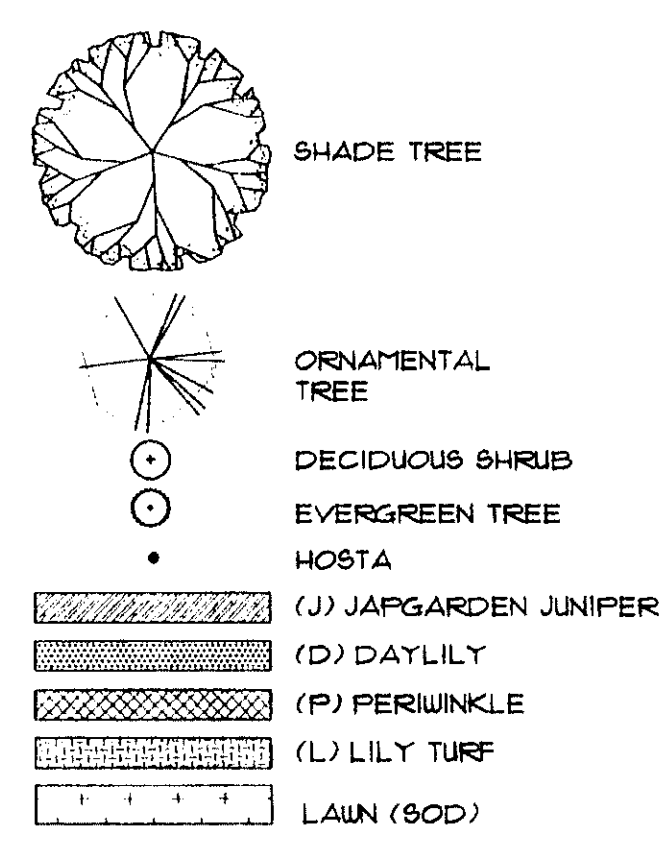
SIDE AND REAR YARD BUFFERS
NO BUFFERS REQUIRED

PARKING LOT SCREENING AND LANDSCAPING
PARKING LOT IS SCREENED W/ SHRUBS

PARKING LOT TREES
147 PARKING STALLS
= 20 (ONE TREE PER 20 STALLS)
135 OR SAY 8 TREES REQ'D. (1/2 MUST BE INTERIOR)
18 TREES PROVIDED (16 INTERIOR)

(ONE-HALF OF THE STREET YARD TREES MAY BE USED TO FULFILL PARKING LOT TREE REQUIREMENT)

PLANTING LEGEND



Wilson Darnell Mann P.A.
105 N. Washington Wichita, Kansas 67202
ph 316.262.4700 fx 316.262.0002
www.wdmdesign.com

NORTH WEST FAMILY PHYSICIANS

LANDSCAPE PLAN
APPROVED 10/23/04 BY DDM
SHEET 1 OF 2
MARD CAPP 10/22

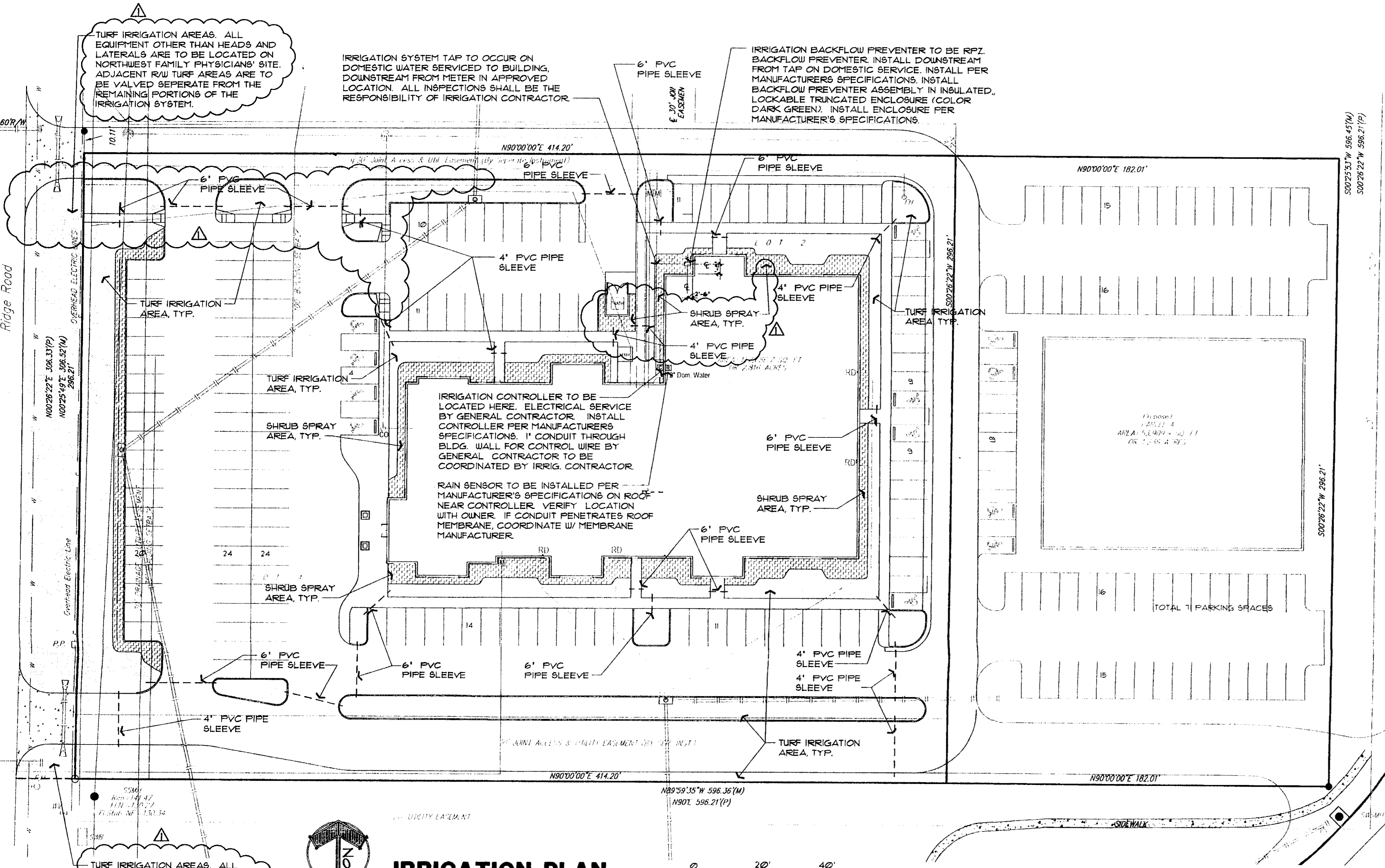
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05/24/04 - FOR REVIEW ONLY
06/18/04 - O.C.I.
7/07/04 - FOR REVIEW
08/03/04 WITH O.C.I. COMMENTS INCORPORATED FOR CONSTRUCTION
10/25/04 REV.

WDM No. 04022
drawn: TA
checked: BH

PLANTING PLAN

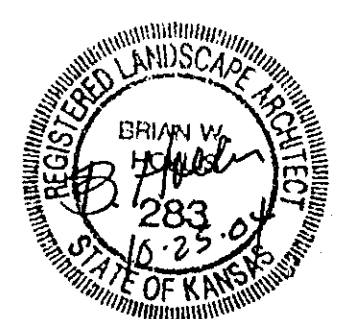
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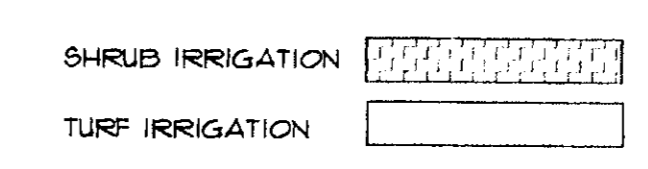
GENERAL IRRIGATION NOTES

1. THE DESIRED WATER COVERAGE OF THE IRRIGATION SYSTEM IS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS TO INSTALL EQUIPMENT NECESSARY TO PROVIDE A COMPLETE, FUNCTIONAL SYSTEM THAT IS IN COMPLIANCE WITH THE SPECIFICATIONS, APPLICABLE CODES, AND REGULATIONS.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION WHICH WILL ILLUSTRATE TYPE OF HEADS, VALVES, CONTROLLER, PIPING AND ACCESSORIES. IRRIGATION HEADS, VALVES AND CONTROLLER ARE TO BE FROM A SINGLE MANUFACTURER. ALL EQUIPMENT MUST HAVE A MANUFACTURER'S FIVE YEAR WARRANTY. VERIFY AVAILABLE STATIC PRESSURE AND SUPPLY VOLUME.
3. CONTRACTOR WILL VERIFY STATIC PRESSURE AND VOLUME OF SITE WATER SUPPLY AND DESIGN ENTIRE IRRIGATION SYSTEM ACCORDINGLY. EACH ZONE OF IRRIGATION SYSTEM IS TO BE DESIGNED WITH A MAXIMUM OF 50 GALLONS PER MINUTE.
4. IRRIGATION PLAN IS A SCHEMATIC DRAWING TO REPRESENT DESIRED WATER COVERAGE. FIELD ADJUSTMENTS MAY BE NECESSARY TO AVOID UNFORESEEN OBSTACLES AND SIMPLIFY INSTALLATION.
5. SYSTEM IS TO CONSIST OF SEPARATE SHRUB SPRAY HEAD ZONES AND TURF SPRAY HEAD ZONES EACH WITH SEPARATE VALVES AND STATIONS ON THE CONTROLLER.
6. IRRIGATION CONTROLLER IS TO BE A HYBRID SOLID STATE TYPE WITH PLASTIC LOCKABLE CABINET. CONTROLLER MUST HAVE DUAL PROGRAMMING FOR SPRAY AND SHRUB SPRAY STATIONS AND BE CAPABLE OF MULTIPLE VALVES PER STATION. IRRIGATION CONTROLLER TO BE LOCATED AS SHOWN ON IRRIGATION PLAN.
7. MANUAL DRAIN VALVES ARE TO BE LOCATED AT THE ENDS AND LOW POINTS OF THE OF THE IRRIGATION MAINLINE. PLACE MANUAL VALVES IN LATCHABLE VALVE BOX FOR EASY ACCESS. PLACE ONE CUBIC FOOT OF GRAVEL BELOW VALVE.
8. AUTOMATIC DRAIN VALVES ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE LOW POINT IS AT END OF LINE LOCATE VALVE A MINIMUM OF 12" FROM END SPRINKLER HEAD. PLACE VALVES ON TOP OF ONE CUBIC FOOT OF FILL GRAVEL.
9. PROVIDE PVC SLEEVES FOR IRRIGATION PIPES AND WIRING THAT CROSSES UNDER WALKS, STREETS AND CONCRETE PADS. COMBINE PIPING WHENEVER POSSIBLE TO REDUCE QUANTITY OF SLEEVING MATERIALS.
10. WHEN INSTALLING IRRIGATION PIPE ALONG CURBS OR IN ISLANDS, PLACE PIPE AS CLOSE TO CURB AS POSSIBLE TO ALLOW FOR PLANTING TREES AND SHRUBS.
11. ADJUST ALL IRRIGATION EQUIPMENT SO SIDEWALKS, PAVING AND BUILDING REMAIN DRY OF DIRECT SPRAY OR EXCESS WATER RUN-OFF.
12. RAIN SENSOR NOTE: SHALL BE LOCATED NEAR CONTROLLER ON ROOF OF BUILDING. WIRE SO RAIN SWITCH INTERRUPTS VALVE COMMON AND 14. LEAVES CLOCK ACTIVATED.



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IRRIGATION LEGEND



DP-237 PARCEL 2 & 11
LANDSCAPE PLAN
 APPROVED BY O.C.L. BY D.S.
 SHEET 2 of 2 1 of 2
 M. App. Chry

**NORTH WEST
 FAMILY PHYSICIANS**
 NORTH RIDGE ROAD
 WICHITA, KANSAS

PRINTS ISSUED
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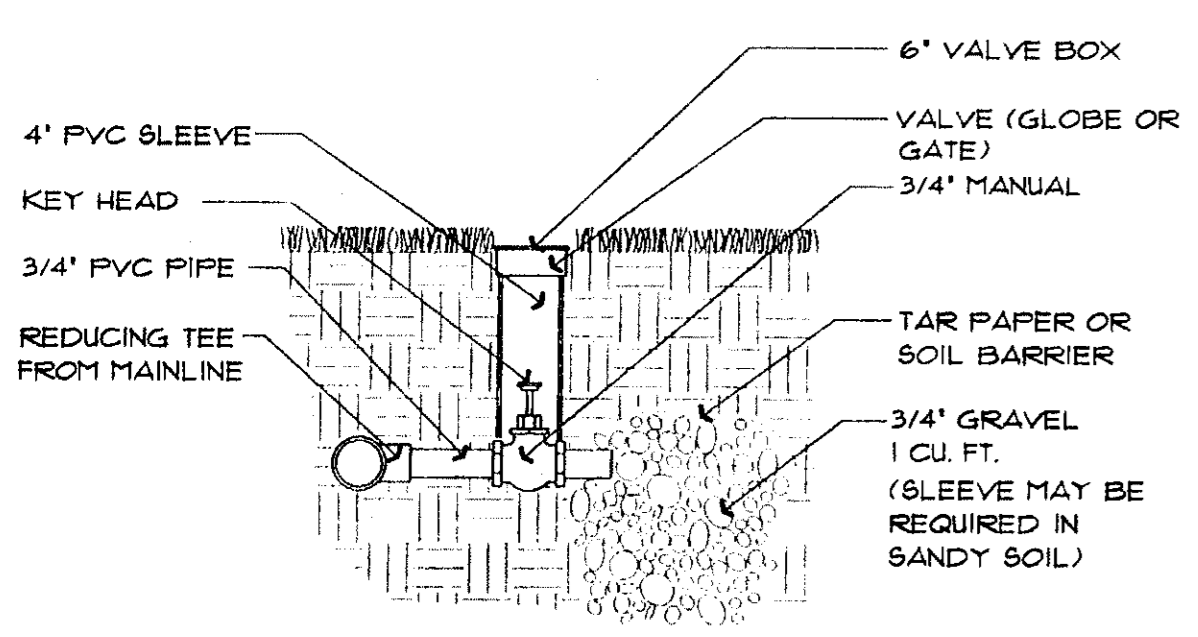
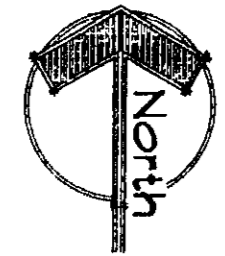
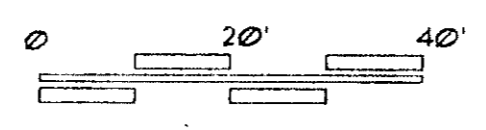
WDH No. 04022
 drawn: TA
 checked: BH

IRRIGATION PLAN

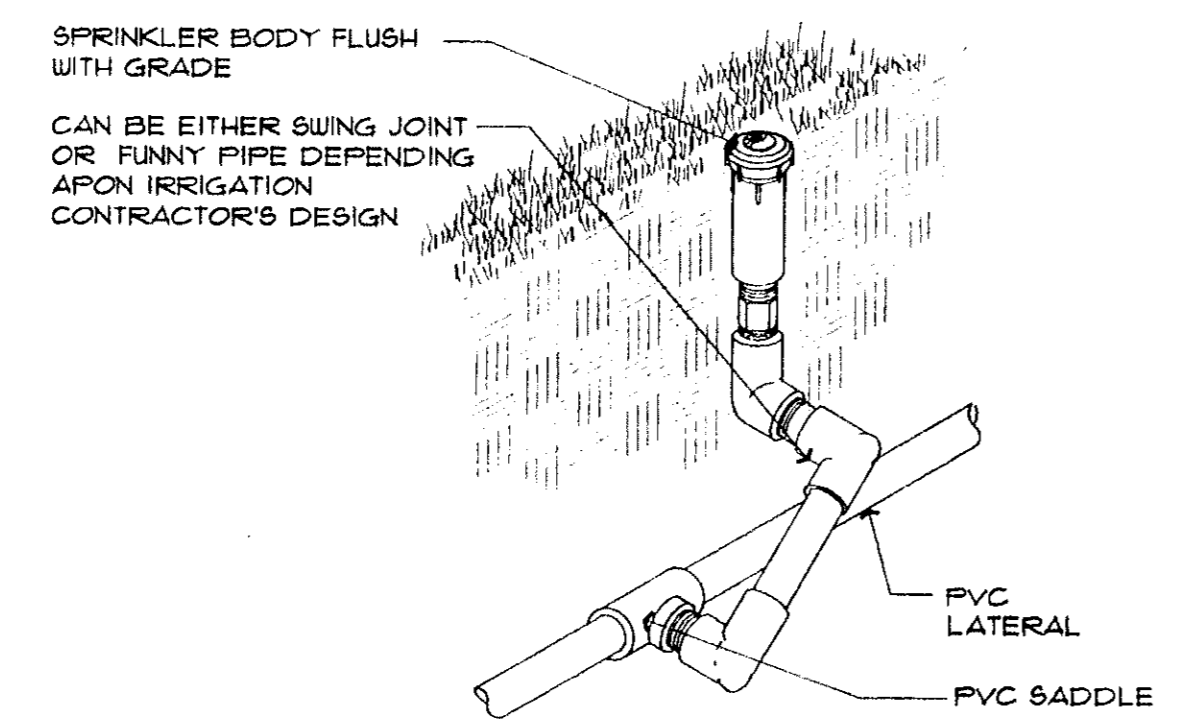
TURF IRRIGATION AREAS. ALL EQUIPMENT OTHER THAN HEADS AND LATERALS ARE TO BE LOCATED ON NORTHWEST FAMILY PHYSICIANS' SITE. ADJACENT R/W TURF AREAS ARE TO BE VALVED SEPARATE FROM THE REMAINING PORTIONS OF THE IRRIGATION SYSTEM.

IRRIGATION PLAN

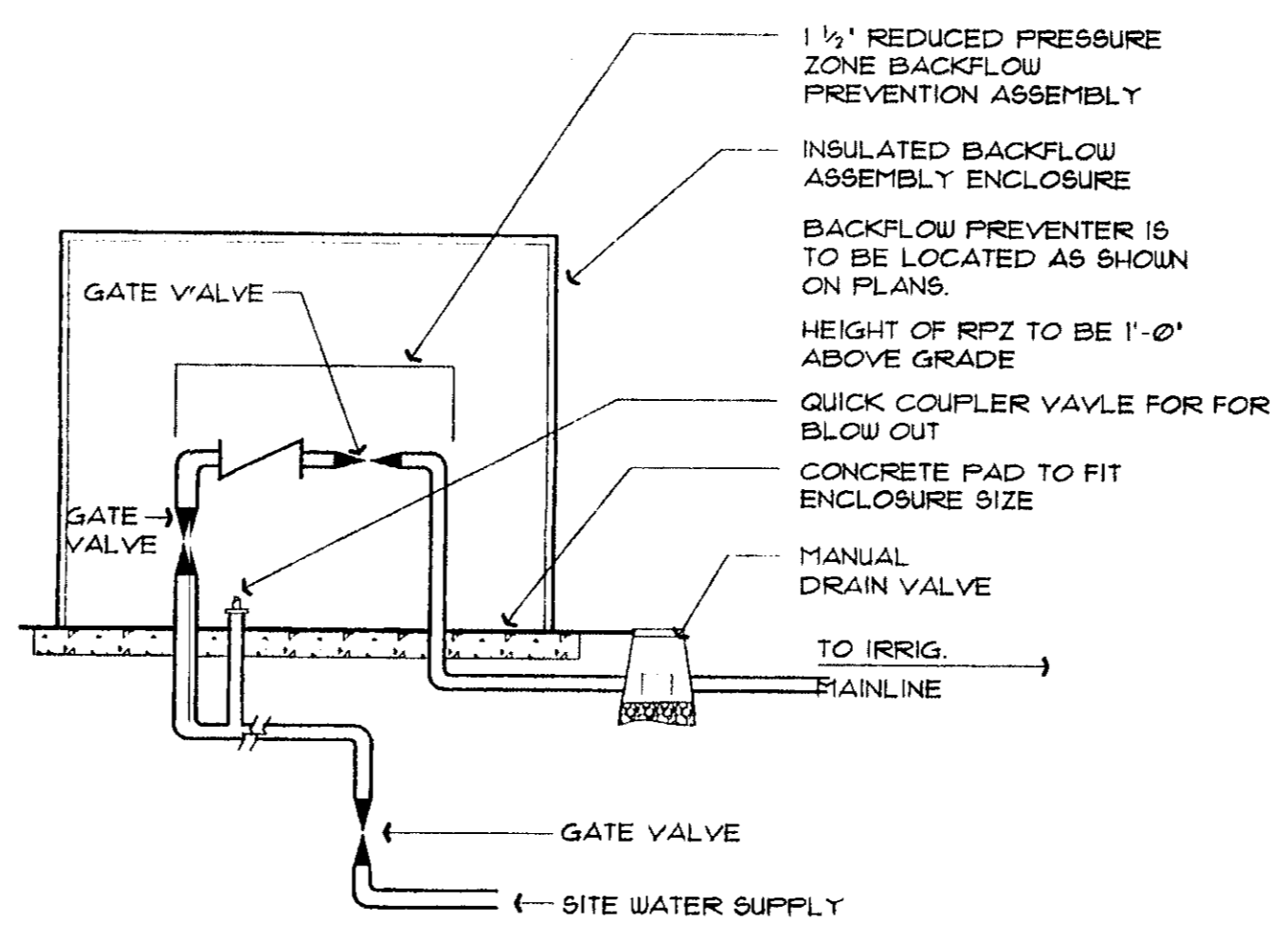
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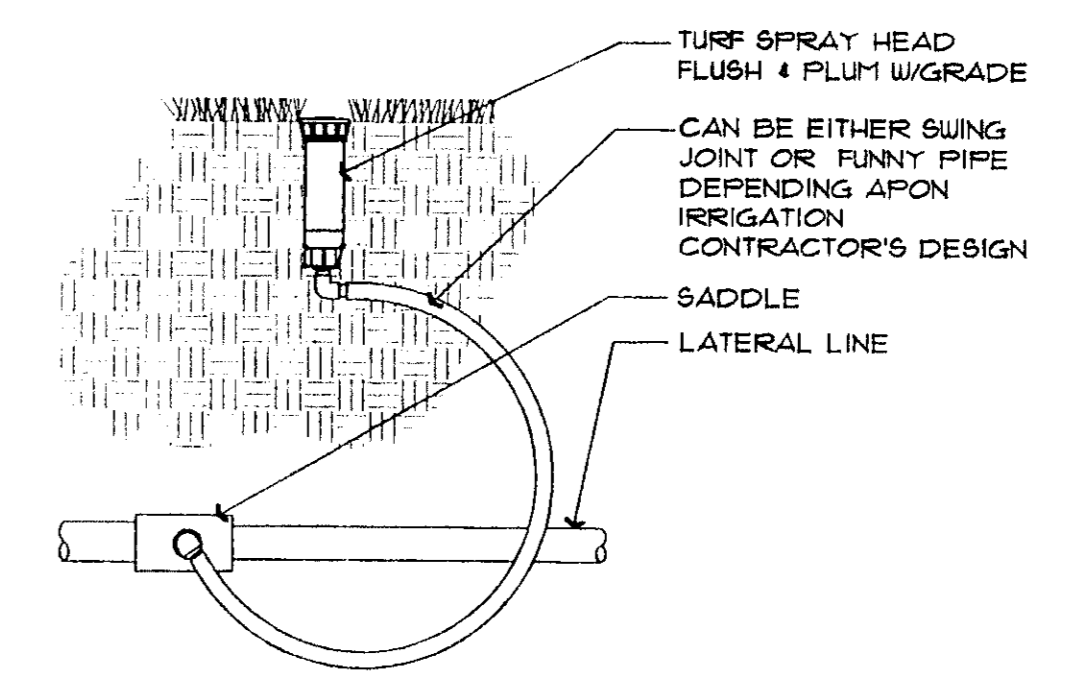
1 MANUAL VALVE DETAIL
NO SCALE



2 ROTOR DETAIL
NO SCALE

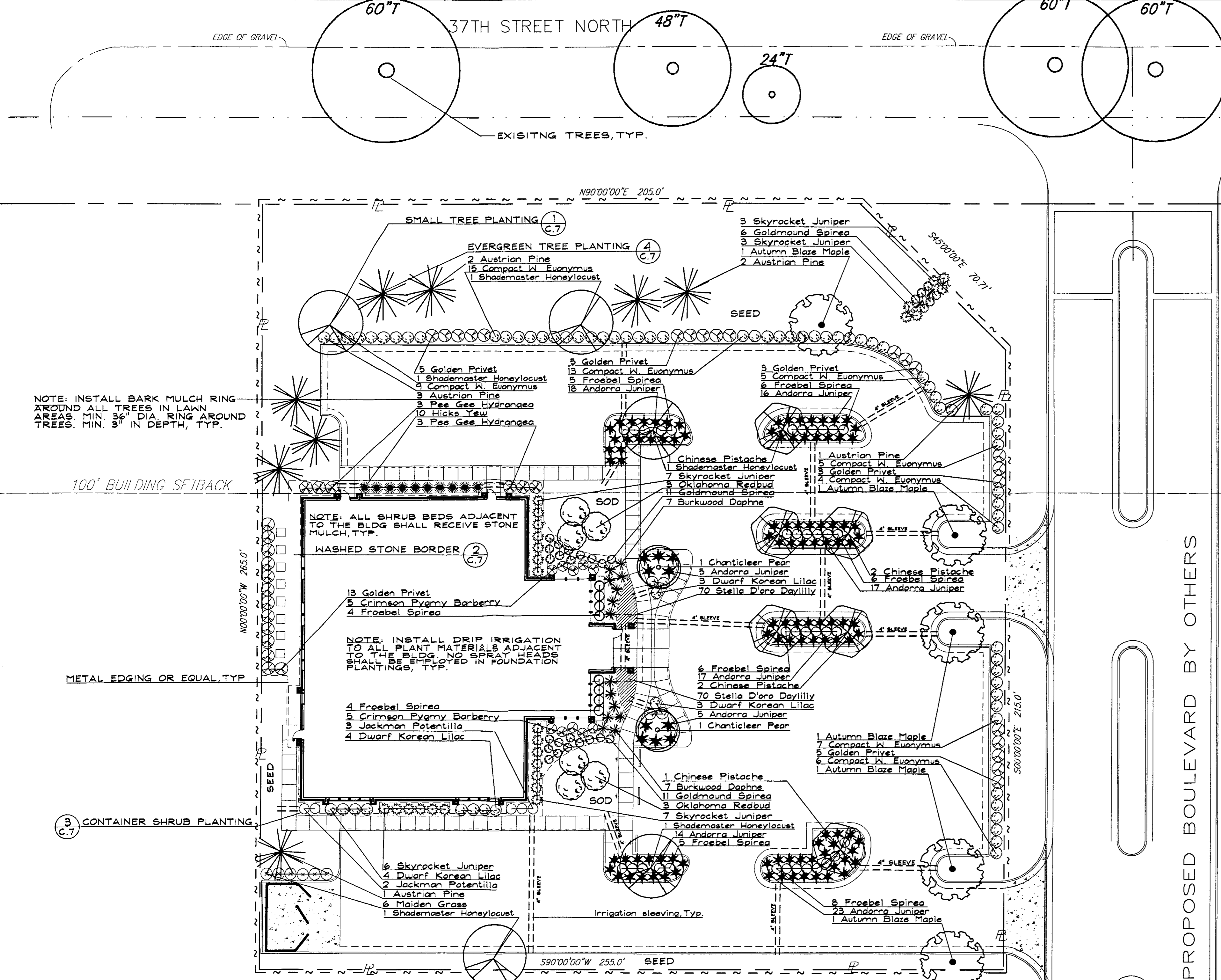


3 RPZ DETAIL
NO SCALE



4 TURF SPRAY DETAIL
NO SCALE





NOTE: INSTALL BARK MULCH RING AROUND ALL TREES IN LAWN AREAS. MIN. 36" DIA. RING AROUND TREES. MIN. 3" IN DEPTH, TYP.

NOTE: ALL SHRUB BEDS ADJACENT TO THE BLDG SHALL RECEIVE STONE MULCH, TYP.

NOTE: INSTALL DRIP IRRIGATION TO ALL PLANT MATERIALS ADJACENT TO THE BLDG. SPRAY HEADS SHALL BE EMPLOYED IN FOUNDATION PLANTINGS, TYP.

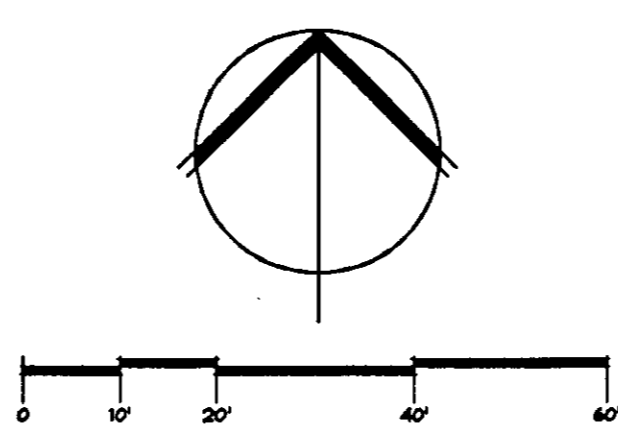
NOTE: ENTIRE SITE SHALL BE WATERED BY MEANS OF AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM, TYP. SYSTEM SHALL BE CONTROLLED WITH AN AUTOMATIC MOISTURE SENSITIVE CONTROLLER, PER CITY CODE.

NOTE: LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING ANY WORK.

LANDSCAPE ORDINANCE CALCULATIONS

LANDSCAPED STREET YARD REQUIRED	565 TOTAL FEET STREET FRONTAGE -141 GREATEST PERPENDICULAR DISTANCE =424 ADJUSTED STREET FRONTAGE x10 AREA FACTOR (AVE. DEPTH OF 256 FEET) =4240 SQ. FT. LANDSCAPED YARD REQUIRED
LANDSCAPED STREET YARD PROVIDED	=16,670 SQ FT
STREET YARD TREES REQUIRED	9 TREES (4240/500 (1 TREE PER 500 SQ FT.))
STREET YARD TREES PROVIDED	11 TREES (SHADE AND CONIFERS)
PARKING LOT TREES REQUIRED	3 TREES (60 STALLS/20 = 3 TREES)
PARKING LOT TREES PROVIDED	10 TREES (SHADE AND ORNAMENTAL)
PARKING LOT SCREENING IS PROVIDED WITH SHRUBS AND TREES	
60 PARKING STALLS PROVIDED	
NOTE: ENTIRE SITE TO BE WATERED BY MEANS OF AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL BE CONTROLLED WITH AN AUTOMATIC MOISTURE SENSITIVE CONTROLLER.	

Note:
All pedestrian walks required under General Provision No. 25 of the Community Unit Plan No. DP-237 will be provided by the developer.



PLANT LIST - OVERALL PLAN

Code	Scientific Name	Common Name	Quantity	Size	Root Cond.	Remarks
TREES						
As	Acer saccharum 'Autumn Blaze'	Autumn Blaze Maple	5	2-1/2" Cal.	BB	Single Trunk
Cr	Cercis reniformis 'Oklahoma'	Oklahoma Redbud	6	6'-7'Hgt.	BB	Clump form
Gt	Gleditsia triacanthos var. 'nervis' 'Shademaster'	Shademaster Honeylocust	5	2-1/2" Cal.	BB	Single Trunk
PC	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2	6'-7'Hgt.	BB	Specimen
Pc	Pistacia chinensis	Chinese Pistache	6	2-1/2" Cal.	BB	Single Trunk
Pn	Pinus nigra	Austrian Pine	9	5'-6'Hgt.	BB	Branches to ground
SHRUBS						
Bt	Barberis thunbergii var. 'Crimson Pygmy'	Crimson Pygmy Barberry	10	3 Gal.	Cont.	Healthy & full
Db	Daphne x burkwoodii	Burkwood Daphne	14	5 Gal.	Cont.	Healthy & full
Ea	Euonymus alata 'Compactus'	Compact Winged Euonymus	64	3 Gal.	Cont.	Healthy & full
Ha	Hydrangea arborescens 'Grandiflora'	Pee Gee Hydrangea	6	5 Gal.	Cont.	Healthy & full
JA	Juniperus chinensis 'Andorra'	Andorra Juniper	115	3 Gal.	Cont.	Healthy & full
Jc	Juniperus chinensis 'Skyrocket'	Skyrocket Juniper	27	6'-7'Hgt.	BB	Uniform plants per bed
Lv	Ligustrum x vicaryi	Golden Privet	34	3 Gal.	Cont.	Healthy & full
Sb	Spiraea x bumalda 'Freabellii'	Freabel Spirea	8	5 Gal.	Cont.	Specimen
Sj	Spiraea japonica 'Goldmound'	Goldmound Spirea	28	3 Gal.	Cont.	Healthy & full
Sp	Syringa meyeri 'Paliban'	Dwarf Korean Lilac	14	5 Gal.	Cont.	Healthy & full
Pf	Potentilla fruticosa 'Jackman's Variety'	Jackman Potentilla	5	3 Gal.	Cont.	Healthy & full
Tm	Taxus x media 'Hicksii'	Hicks Yew	10	5'-6'Hgt.	Cont.	Upright, uniform plants
PERENNIALS / GROUNDCOVERS / GRASSES / VINES / ANNUAL FLOWERS, BULBS						
H	Hemerocallis varieties	Stella D'oro Daylily and others	140	6" pot	Cont.	Yellow, white & pink. Plant 1" OC
Ms	Miscanthus sinensis	Maiden Grass	6	3 Gal.	Cont.	Healthy & full

LANDSCAPE NOTES

- The Contractor shall locate and verify the existence of all utilities prior to starting work.
- Fine grade areas as indicated in the Grading Plan. Mound all islands in parking lots 6" higher in center from curb elevation. Preserve existing trees and plants as indicated.
- Coordinate landscape work with other contractors of utility and irrigation work and irrigation slewing.
- Refer to separate manual for the Landscape Specifications Sections: 02810 - Underground Irrigation, 02930 - Finish Grading, Seeding & Sodding and 02950 - Trees, Shrubs, Vines, Groundcovers & Florals.
- Prepare soil test as called for in the specifications and submit soil test and recommendations to the Project Landscape Architect or Marshall Erdman & Associates' representative. Apply soil amendments for lawn areas to correct acid or alkaline soils that adjust pH between 6.0 to 6.8. Evenly distribute ground limestone or sulfur and incorporate thoroughly into soil.
- Refer to specification Section 02930, Part 2, Materials for seed & sod types and installation.
- Install premixed planting mixtures as indicated in the specification Section 02950, Part 3, Execution.
- Refer to specification Section 02950, Part 3, Execution for Hot-weather Planting Procedures when temperatures exceed 85 degrees F.
- Install 1/8" x 4" metal edging (10 gauge) or equivalent where indicated with a dashed line in anodized black color.
- The Contractor shall provide maintenance for the plantings and lawn areas as indicated in the specifications: Lawns - 30 Days
Trees, shrubs, vines, groundcovers & perennials - 60 Days
Bulbs - 30 Days
Annuals - 30 Days
- Upon completion of the maintenance and approval for final acceptance, the Contractor shall supply the Owner and the Project Landscape Architect or Marshall Erdman & Associates' representative written maintenance instructions, for maintenance during and after the guarantee period.
- Warranty periods as indicated in the specification are: Lawns - 90 Days
Trees, shrubs, vines, groundcovers & perennials - 1 year
Bulbs - 90 Days
Annuals - 30 Days
- Provide BASE BID of all lawns, plants, mulches and edgings. Include separate irrigation cost for irrigation of lawns and plants. Submit UNIT COSTS for all plant materials. (Unit costs include all labor).
- Refer to Landscape Details & Entry Details. Plant List quantities include plants from all sheets and detail plans.
- Provide Add Alternate Bid for deleting lawn areas and installing plant beds, trees and mulches as indicated on the plan for plant labels in a dashed boxes.

IRRIGATION GENERAL NOTES

- It is the responsibility of the Irrigation Contractor to familiarize themselves with all grade differences, location of walls, retaining walls, structures, and utilities. The Irrigation Contractor shall repair and/or replace all items damaged by his/her work. He/she shall coordinate work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways, and paving, etc.
- All mainline pipe shall be located within landscape areas (unless sleeved under paving). Locate a min. of 12" from back of curb, sidewalks, or any hardscape edge.
- All pipe and wire sleeves to be Sch 40 PVC and sized per plan.
- All non-pressure lateral line shall be installed in sleeve in trench. Sleeve shall be installed at time of trench placement. All non-pressure lateral line shall extend a min. of 6" beyond edge of sleeve and 12" beyond edge of hardscape and shall be capped in place, at each end. Minimum depth of 20"-24" below finish grade.
- All pressure supply line shall be installed in a sleeve in trench. Sleeve shall be installed at time of trench placement. All pressure supply lines shall extend a min. of 6" beyond edge of sleeve and 12" beyond edge of hardscape and shall be capped in place, at each end. Minimum depth of 20"-24" below finish grade.
- All control wire sleeves shall be sized as required for number of wires at sleeve location. Sleeve shall extend 6" beyond edge of all hardscape surfaces into planter area at each end and shall be capped in place, at each end. Minimum depth of 20"-24" below finish grade.
- All mainline piping, lateral piping, and control wires shall each be installed in separate sleeves.
- Pipe sizes shall conform to nationally accepted standards. No substitutions of larger pipe sizes shall be permitted, but substitutions of smaller sizes may be approved. All damaged and rejected pipe shall be removed from the site at time of said rejection.
- Irrigation Contractor shall pressure test mainline prior to installation of valves, lateral, heads, or emitters. Pressure test line at 150 p.s.i. for a min. of two (2) hours to check for leaks or any cause of pressure drop. Repair as necessary until pressure is maintained.
- Irrigation Contractor shall make final adjustments to all spray heads and emitter tubing. Spray heads shall be adjusted to eliminate any overspray onto surrounding walks and hardscape surfaces. Spray heads shall be adjusted to provide head-to-head coverage in lawn areas. Adjust drip emitter tubing to provide one tube per shrub and three tubes per tree, spaced equidistant around root ball. Secure tubing in place with tubing stake. Any excess tubing shall be used to double up on tubing counts to adjacent shrubs. All openings on all emitters shall be used for the shrubs. Additional openings on the tree emitters shall be capped and saved for use as the tree matures.
- Irrigation Contractor shall contact owner's representative to coordinate final location and installation of the irrigation controller.

NOTE: IRRIGATION CONTROLLER SHALL BE SET TO RUN THE IRRIGATION SYSTEM AT NON-PEAK BUSINESS HOURS.

LANDSCAPE PLAN DP-237

MID-KANSAS PEDIATRIC ASSOCIATES BUILDING
VIA CHRISTI PROPERTY SERVICES, INC
WICHITA, KANSAS

APPROVED AS SHOWN BY DS
WAPD COPY TO FZ

Baughman Company P.A.
ENGINEERING, SURVEYING, & PLANNING
1125 S. W. 10TH ST., SUITE 100
WICHITA, KANSAS 67202

Marshall Erdman & Associates, Inc.
Architecture • Engineering • Manufacturing • Construction
Medison Hartford Washington, DC Atlanta Dallas Denver San Jose

Project Number
D4945

Scale:
1" = 20'

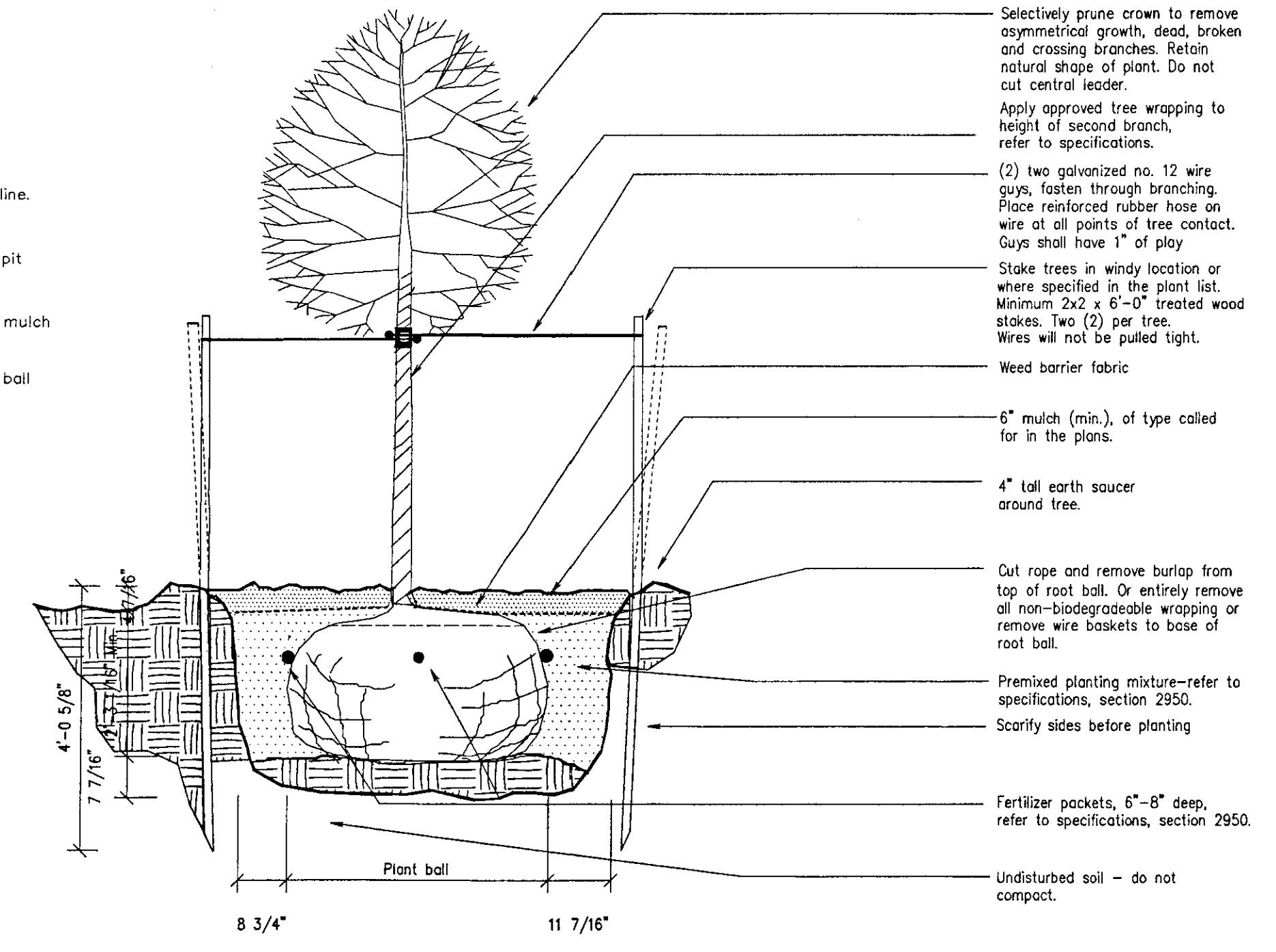
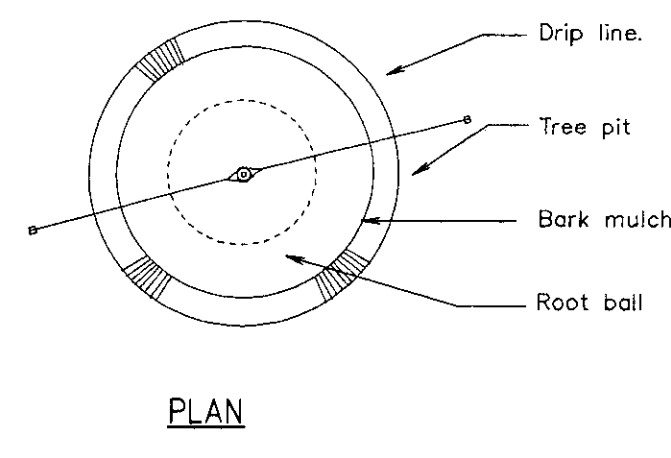
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Checked: JAL

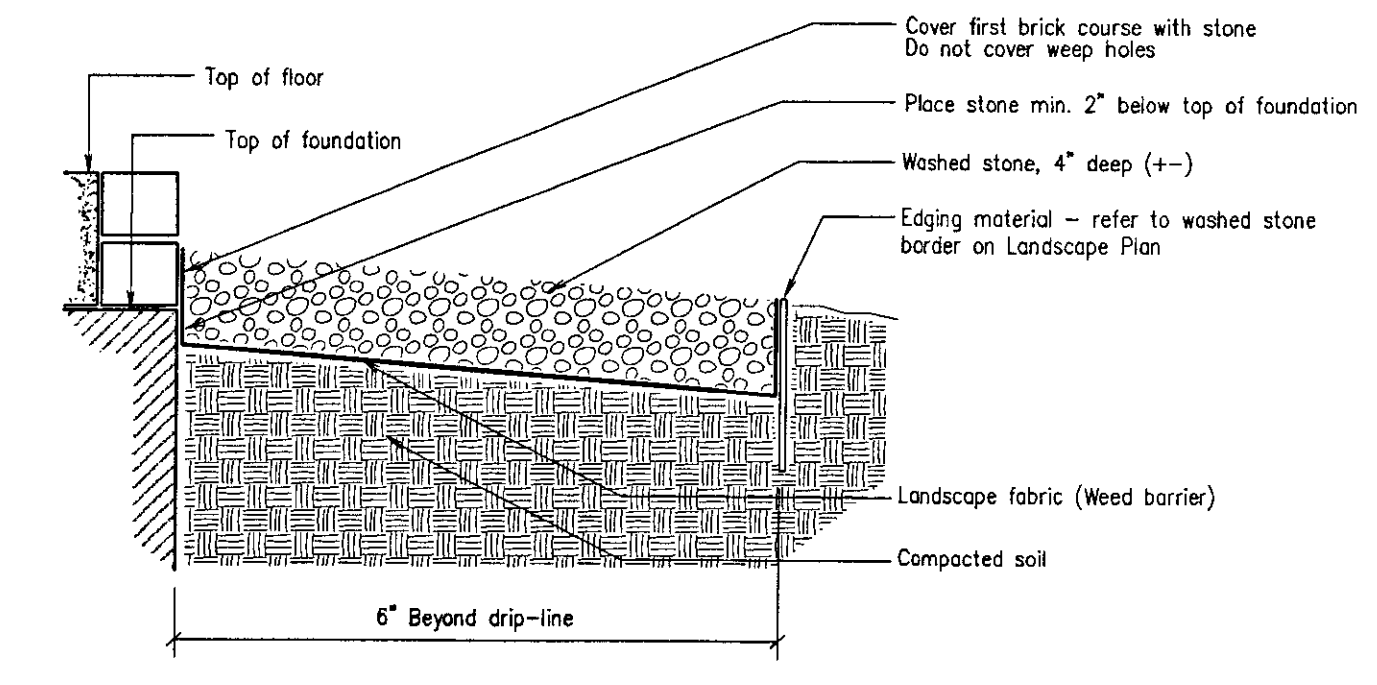
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4-20-07 FIRST PRINTING
5-17-07 PROGRESS
5-23-07 REVISED FOR PERMIT

Sheet Number
C-6

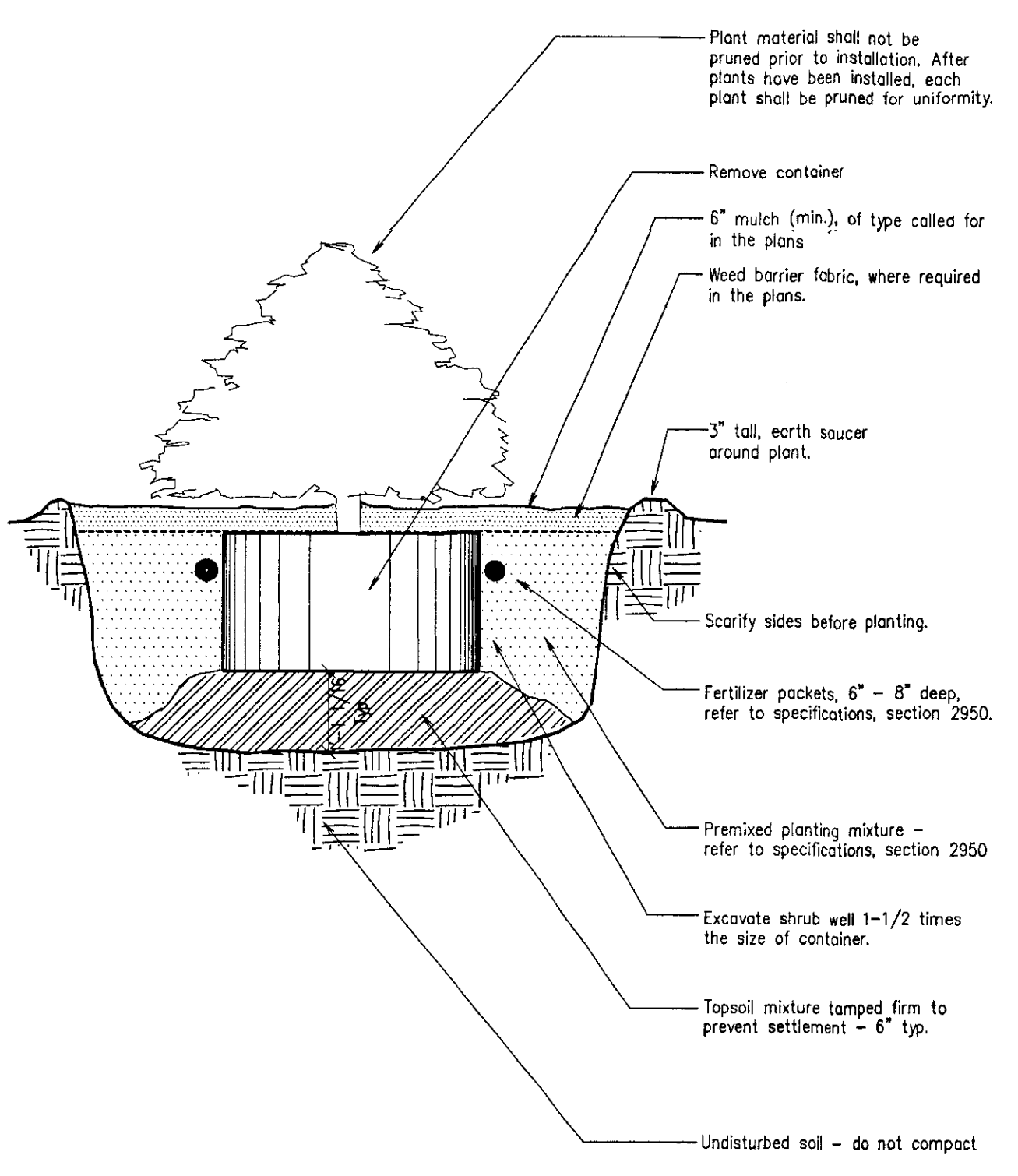
SITE LANDSCAPE PLAN



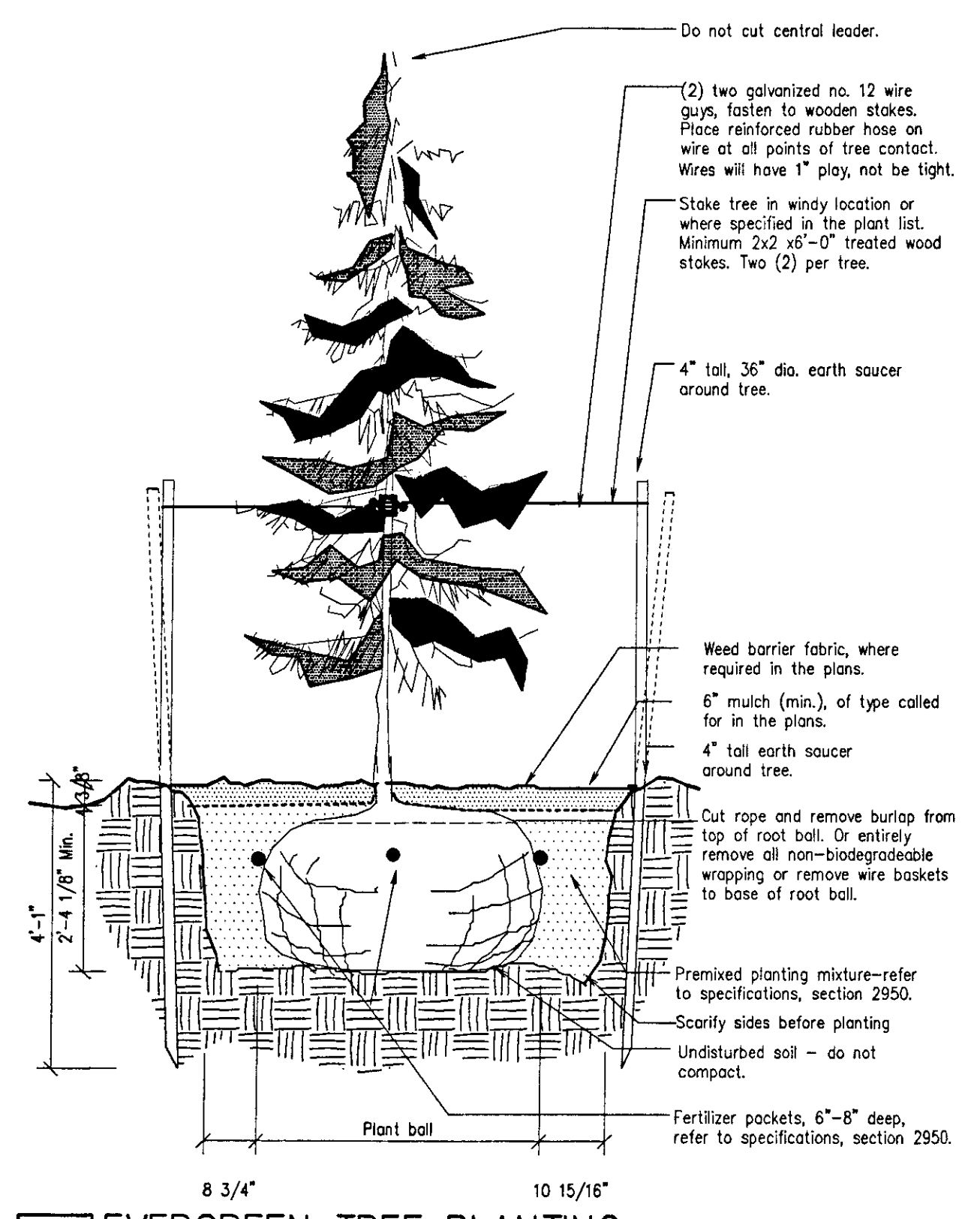
1 SMALL TREE PLANTING (UP TO 2-1/2" CAL.)
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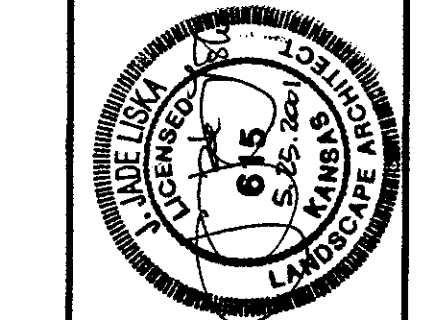
2 WASHED STONE BORDER
Scale : 1-1/2" = 1'-0" 02950.020



3 CONTAINER SHRUB PLANTING
Scale : 1/2" = 1'-0" 02950.200



4 EVERGREEN TREE PLANTING
Scale : 1/2" = 1'-0" 02950.330



BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
314-262-2211 • 314-262-2212 • 314-262-2213

MID-KANSAS PEDIATRIC ASSOCIATES BUILDING
VIA CHRISTI PROPERTY SERVICES, INC
WICHITA, KANSAS

Marshall Erdman & Associates, Inc.
Architecture • Engineering • Manufacturing • Construction
Medison Hartford Washington, DC Atlanta Denver San Jose

DETAIL SHEET

Project Number
D4945

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4-20-01 FIRST PRINTING
5-23-01 FOR PERMIT

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Checked:

Sheet Number
C-7

LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "Sod" shall be sodded and fertilized as follows:
SOD--
Kansas Premium Fescue Sod
(equal parts of the top fescue brands for 1999)
FERTILIZER--
16-20-6 ratio 4#/1000 sq. ft.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Trellan (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled in to a depth of 10-12".
- Mulch all planting beds with 3" of mulch using 1/4"-1/2" Pea gravel. Mulch all tree saucer wells with 3" shredded mulch, of uniform consistency, Use 10 Mil. landscape fabric or equal to "Weedblock" in all planting beds.
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be from Pro-Steel Company, using 10 gauge thickness, commercial grade, or approved equal.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- The landscape contractor is responsible for construction and final grading of earth berms (See note #7). Construct earth berms so as not to collect and/or dam water.
- The landscape contractor is responsible to coordinate with the G.C. to install the plants and maintain the grounds, until final acceptance from the owner.
- The landscape contractor shall submit bid with unit prices for all plants, which include mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The landscape contractor is responsible for any damage done to the exterior of the building or any other part of the building when installing or maintaining the plantings before final acceptance.
- General Contractor to supply all topsoil to site. Landscape contractor to supply topsoil for earth berms and finish grade all areas prior to seeding.

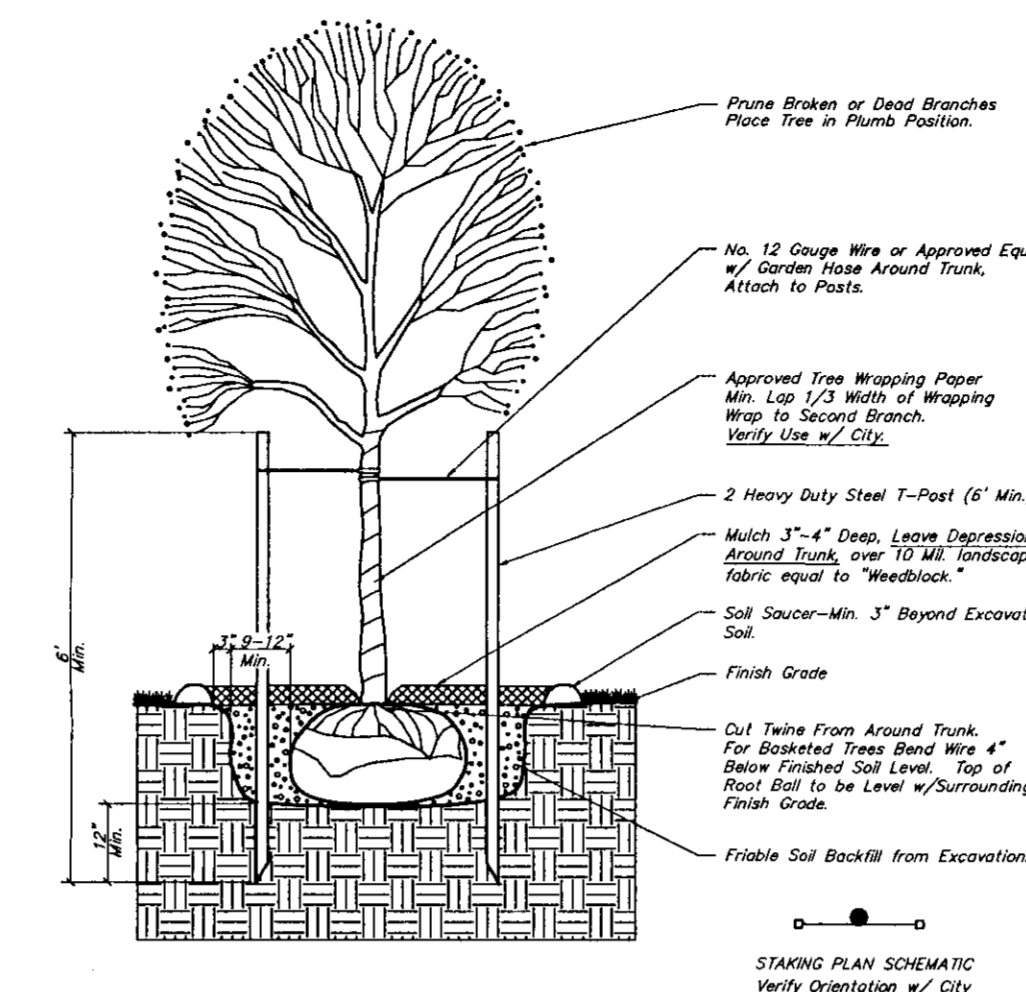
SITE INFORMATION:

- Landscape Contractor shall be responsible for minimal disturbance to COMMONS AREA seeding and erosion control matting. If any disruption occurs due to landscaping or irrigation improvements, landscape contractor shall replace or fix all areas at his own expense.
- If extra seeding or earthwork is necessary when landscaping and irrigation improvements are completed, landscape contractor shall inform the Owner and/or Landscape Architect to request the necessary improvements to complete the areas in question. OWNER approval is mandatory before any extra work is to begin beyond the landscape contractors original scope of work.

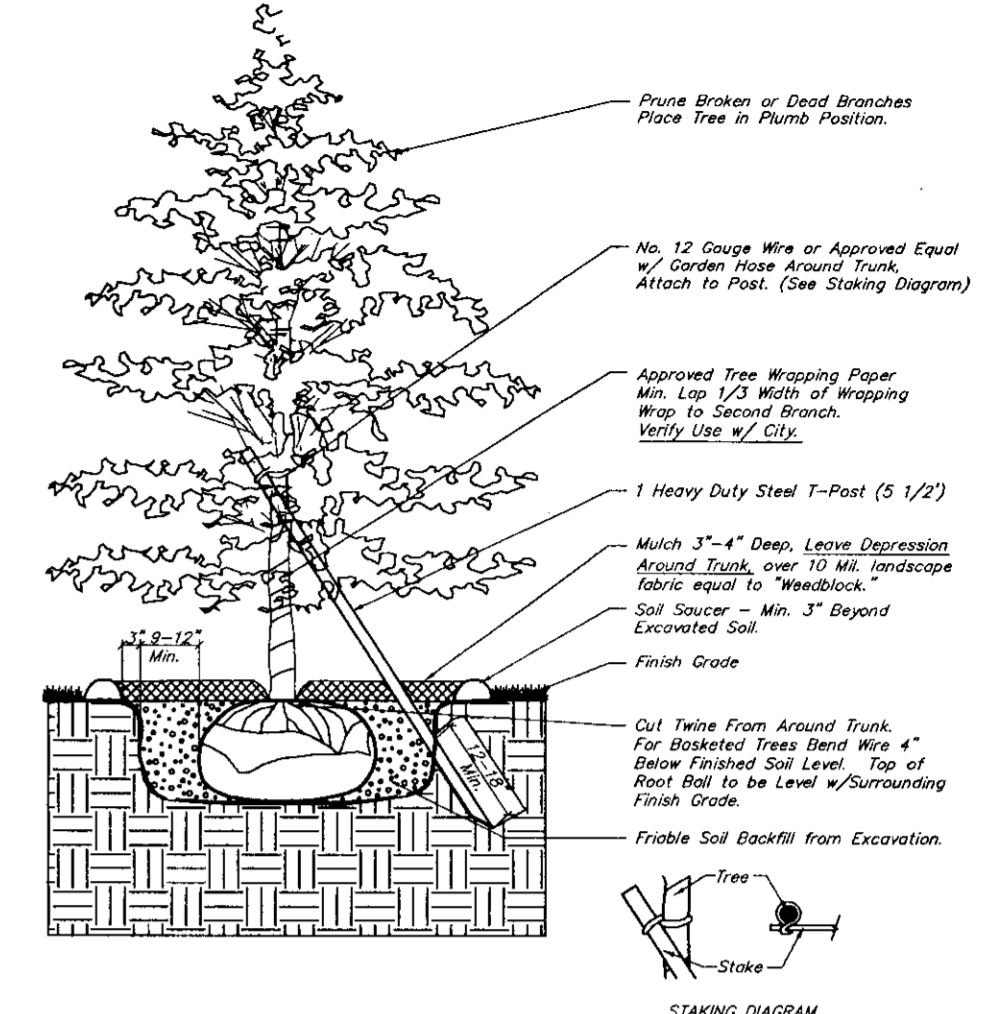
IRRIGATION NOTES:

- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so that turf heads are on separate zones from shrub spray heads.
- The Irrigation Contractor DOES NOT START irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which:

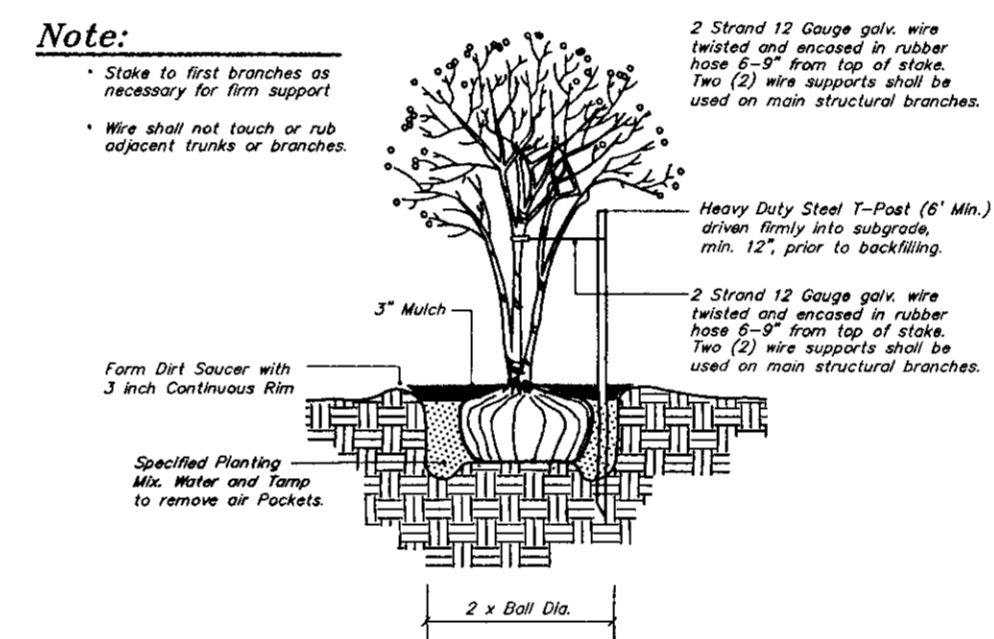
Use Toro products or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City of Wichita Codes.
- Prior to construction, the Irrigation Contractor shall determine locations of all existing and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using drip system and/or spray heads.
- Heads will be adjusted to NOT spray on buildings, walks, and drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and sized so as not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor is responsible to coordinate with the Paving Contractor (Ritchie Paving) to locate installed sleeving provided by Ritchie under their paving contract. Combine piping whenever possible to save on sleeving material. Irrigation Contractor to use sleeving provided by Ritchie Paving. Contact Naamen Ritchie at 462-0200.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Contractor to verify location of well(s) with GC prior to installation of system. Irrigation Contractor shall verify static pressure and volume of well water supply prior to installation of system. Alternate Bid cost with city water with meter installation included.
- Irrigation Controller is to be located per Owner/Architect requested location. Call Dan Dakken (Arch.) with Law-Kingdon Architects at 316-268-0230.



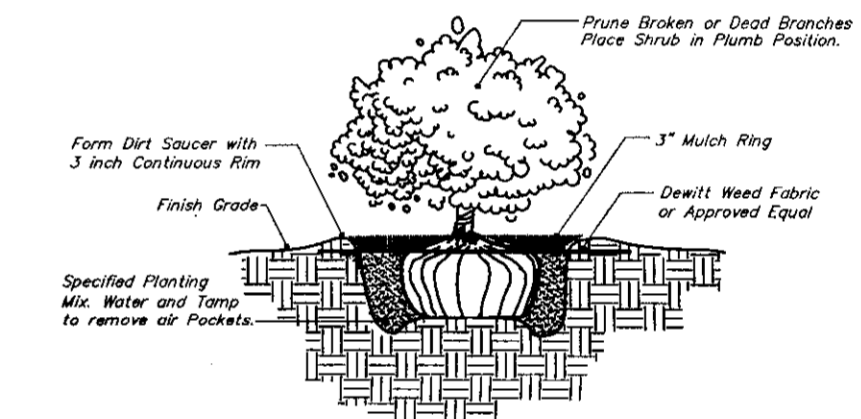
TREE PLANTING & STAKING DETAIL
Deciduous Trees Larger than 2" Cal.
Evergreen Trees Larger than 6' Height
No Scale



TREE PLANTING & STAKING DETAIL
Deciduous Trees 2" Cal. and Smaller
Evergreen Trees 6' Height and Smaller
No Scale



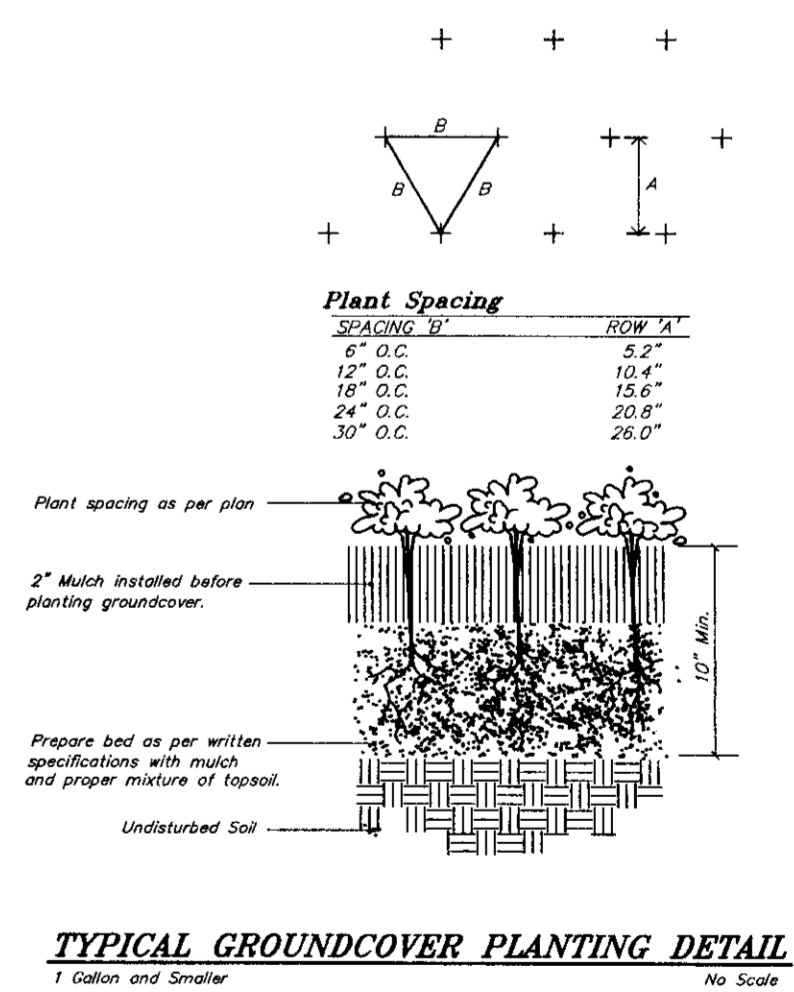
TYPICAL MULTI-TRUNK TREE PLANTING DETAIL
5 Gallon and Larger
No Scale



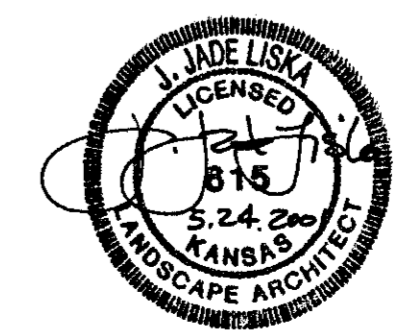
TYPICAL SHRUB PLANTING DETAIL
3 Gallon and Smaller
No Scale

PLANT SCHEDULE:

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
	See Individual Sheets for Planting Schedules				



TYPICAL GROUNDCOVER PLANTING DETAIL
1 Gallon and Smaller
No Scale



CORNERSTONE ASSISTED LIVING CARE
LANDSCAPE DETAILS
3636 N. RIDGE ROAD

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

PROJECT NUMBER: _____ SHEET: **2** OF **2**

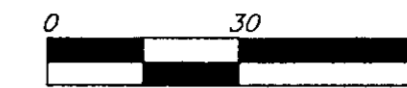
DESIGN: JUL DRAWN: JUL APPROVED: JUL DATE: 5-2001 SCALE: _____

BENCHMARK:

CITY DISC - SW Corner Ridge Road & 29th Street North, 80.8' S. & 63.7' W. of Both Centerlines.
Elev.=139.15 City Datum

SITE INFORMATION:

Total Site Area: 3.41± acres
148,685.37 sq.ft.
Impervious Area: 1.82± acres
78,320.26 sq.ft.
New Parking stalls shown:
101 Stalls with 4 Handicap
(4 Van Accessible)

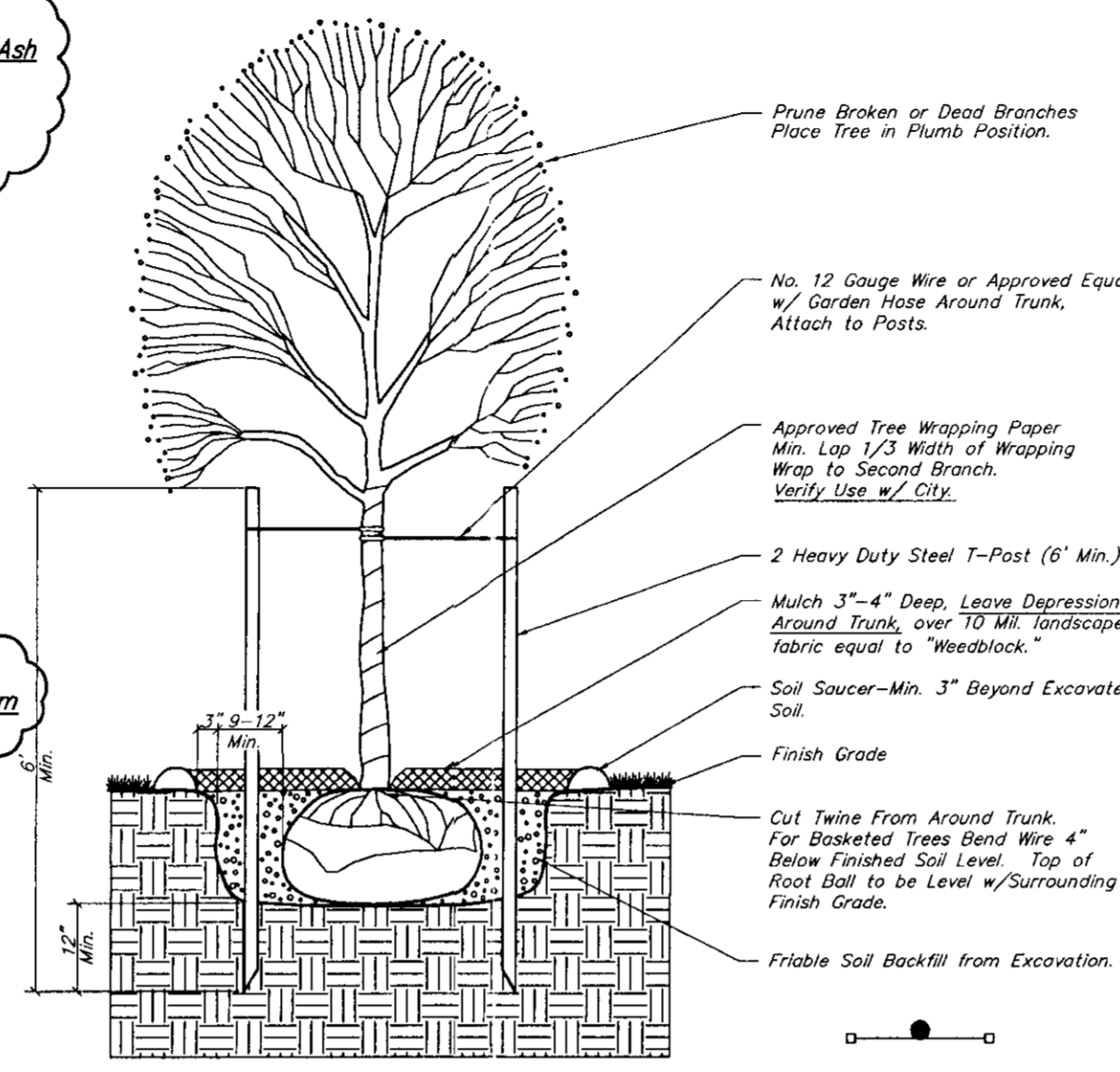


LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "SOD" shall be sodded and fertilized as follows:
SEED—
Kansas Premium Fescue Sod
FERTILIZER—
16-20-6 ratio 4#/1000 sq. ft.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Trellon (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be retolled in to a depth of 10-12".
- Mulch all planting beds with 3" of mulch using 1/4"-1/2" Pea Gravel. Mulch all tree saucer wells with shredded Cypress mulch of uniform consistency, over 10 Mil. landscape fabric equal to "Weedblock."
- Metal edging shall be used to separate all turf areas from planting beds. Edging shall be from Pro-Steel Company, using 10 gauge thickness, commercial grade, or approved equal.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The landscape contractor is to be responsible for all permits required and is to see that all work is performed in accordance with state and local codes.
- The landscape contractor is responsible to coordinate with the G.C. to install the plants and maintain the grounds, until final acceptance from the owner.
- The landscape contractor shall submit bid with unit prices for all plants, which include mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The landscape contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- General Contractor to supply all topsoil to site. Landscape contractor to supply necessary topsoil for planting areas. A 4" depth of topsoil to finish grade in all planting beds.
- Fall planting season shall be September 1 thru end of October. Spring planting season shall be April 1 thru end of June. For grass seeding, fall season shall be September 1 thru mid of October. Spring season for seeding shall be from March 15 thru mid May.

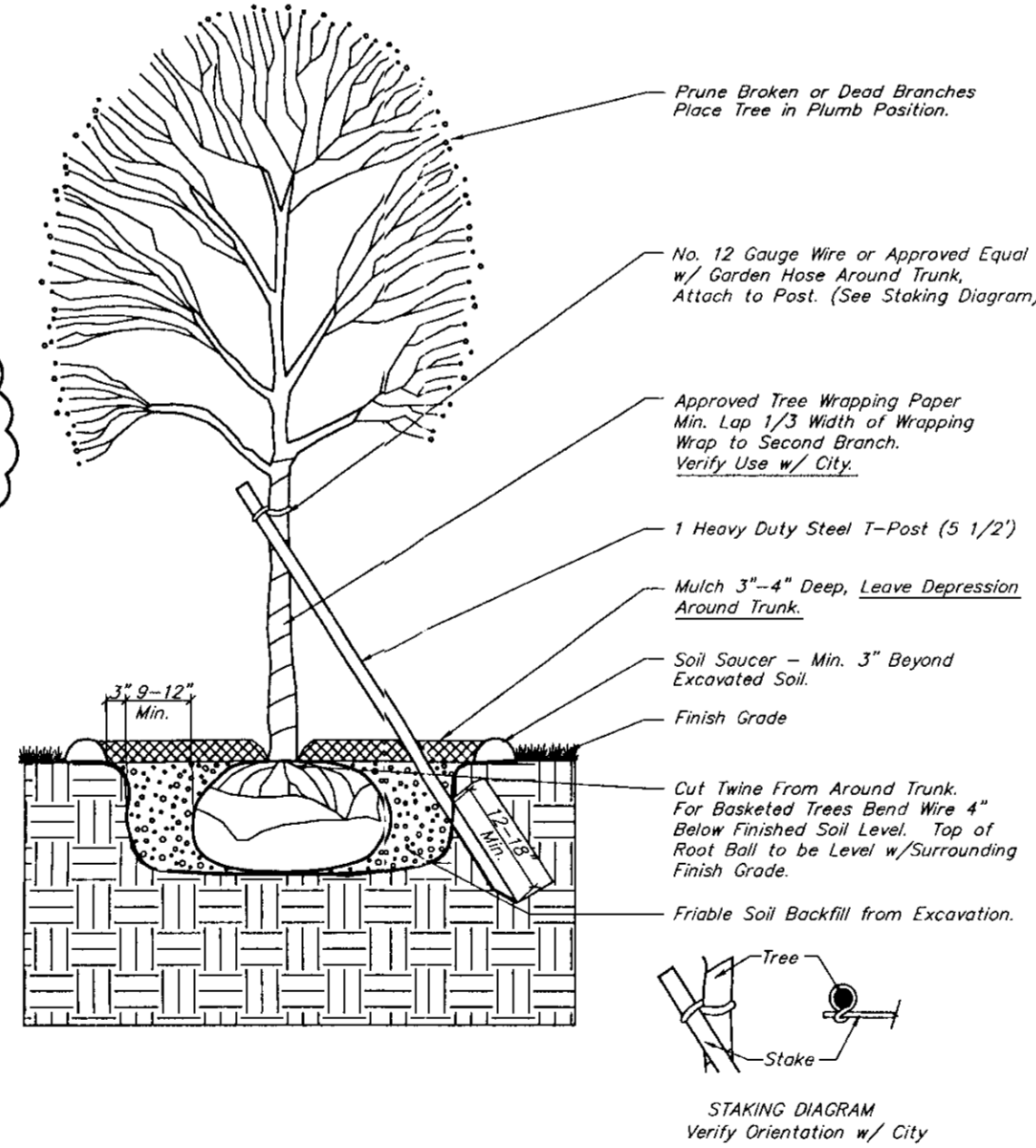
IRRIGATION NOTES:

- All irrigation work is to be installed in compliance with all local codes and regulations.
- Irrigation Contractor shall design system so that turf heads are on separate zones from shrub spray heads.
- The Irrigation Contractor DOES NOT START irrigation construction until final shop drawings are submitted and approved to the Landscape Architect and/or Owner prior to construction for final approval which:
Use Rainbird products or approved equal, which will illustrate type of head, head coverage, valve location, piping and accessories, and main line location. Included in shop drawings show zone pressure, valve size, GPM requirements and pipe sizing. Also specify a rain switch or moisture sensing device per City of Wichita Codes.
- Prior to construction, the Irrigation Contractor shall determine locations of all existing and proposed utilities and electrical wiring.
- Contractor shall not install irrigation system when any obstructions in the field exist. Contact the Landscape Architect for clarification before proceeding around obstructions.
- All turf areas shall be head-to-head coverage with triangle spacing where possible. Contractor is responsible for adequate coverage in shrub bed zones using drip system and/or spray heads.
- Heads will be adjusted to NOT spray on buildings, walks, and drives. Spray Heads will be located nearest to planting bed edge using funny pipe and fittings. Spray Heads to be located and sized so as not to be susceptible to damage by automobile overhangs.
- Irrigation Contractor is responsible to coordinate with the Paving Contractor to locate and install required sleeving for irrigation lines prior to any paving. Combine piping whenever possible to save on sleeving material. Sleeves shall be a min. of 20" below finish grade. Verify final depth with paving contractor for adequate coverage.
- Automatic drainage valves to be located at the ends of lines and at the lowest points on the lines.
- Irrigation Contractor to verify location of well(s) with GC prior to installation of system. Irrigation Contractor shall verify static pressure and volume of well water supply prior to installation of system. Alternate Bid cost with city water with meter installation included.
- Irrigation Controller is to be located per Owner/G.C requested location. Call Don Berntsen (G.C) with Triple B Construction at 641-2152 (mobile).



TREE PLANTING & STAKING DETAIL

Deciduous Trees Longer than 2" Cal.
Evergreen Trees Longer than 6' Height



TREE PLANTING & STAKING DETAIL

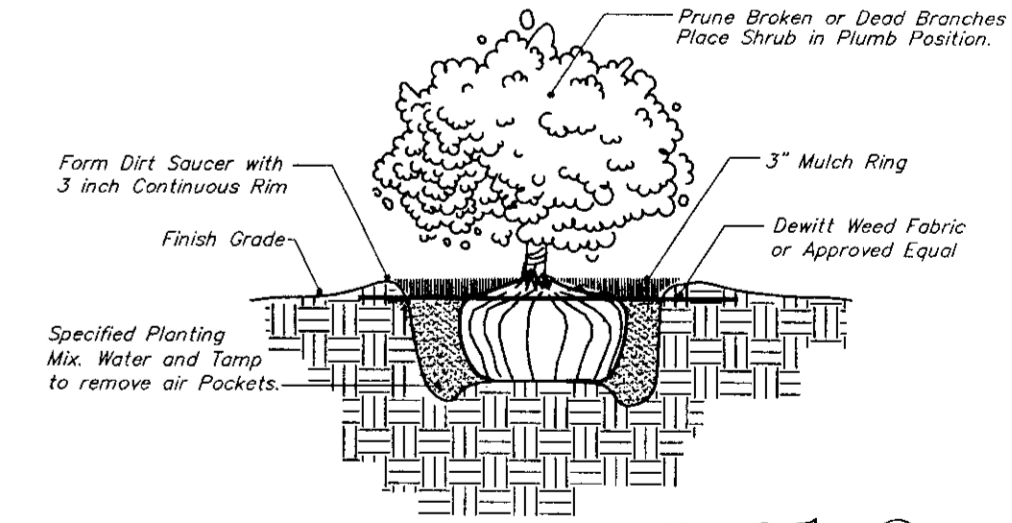
Deciduous Trees 2" Cal and Smaller
Evergreen Trees 6' Height and Smaller

LANDSCAPE ORDINANCE CALCULATIONS:

Two Streetyard requirements: 540.10' (total str. front.)
- 145' (perp. distance)
= 395.10 x 15'
= 5,927 sq.ft.
Streetyard Required = 5,927 sq.ft.
2 Streetyards shown = 8,307 sq.ft.
Streetyard Trees Required: 12 Shade Trees
Streetyard Trees shown: 7 Shade, 4 Orn., 40 shrubs
Parking Lot Trees Required: Met by Streetyard requirement
Buffer Requirements (Non-Residential to Residential, 400')
Shown Buffer: Existing 6' Conc. Screening Wall & 400' L.F. (1 per 40') = 10 Trees

PLANT SCHEDULE:

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
11	<i>Fraxinus pennsylvanica</i> 'Urbanite'	Urbanite Ash	2 1/2" Cal.	B & B	Single Stem Only
6	<i>Liquidambar styraciflua</i>	American Sweet Gum	2 1/2" Cal.	B & B	Single Stem Only
1	<i>Acer ginnala</i> 'Flame'	Amur Flame Maple	1 1/2" Cal.	B & B	Single-Stem Only
3	<i>Pyrus Calleryana</i> 'Capital'	Capital Pear	1 1/2" Cal.	B & B	Single Stem Only
24	<i>Berberis thunbergii</i> atro. 'Crimson pygmy'	Crimson Pygmy Barberry	1 gal.	Cont.	Full & Healthy
32	<i>Berberis thunbergii</i> atro. 'Red Leaf'	Red Leaf Barberry	2 gal.	Cont.	Full & Healthy
78	<i>Juniperus chinensis</i> 'Kalley Pfitzer'	Kalley Pfitzer Juniper	2 gal.	Cont.	Full & Healthy
56	<i>Juniperus horizontalis</i> 'Blue Rug'	Blue Rug Juniper	2 gal.	Cont.	Full & Healthy
26	<i>Ligustrum x vicaryi</i>	Golden Vicary Privet	2 gal.	Cont.	Full & Healthy
48	<i>Spiraea x bumalda</i> 'Gold Flame'	Gold Flame Spirea	2 gal.	Cont.	Full & Healthy



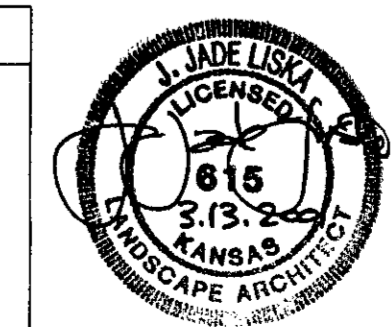
TYPICAL SHRUB PLANTING DETAIL

5 Gallon and Smaller

LANDSCAPE PLAN

APPROVED 3/21/01 BY DS

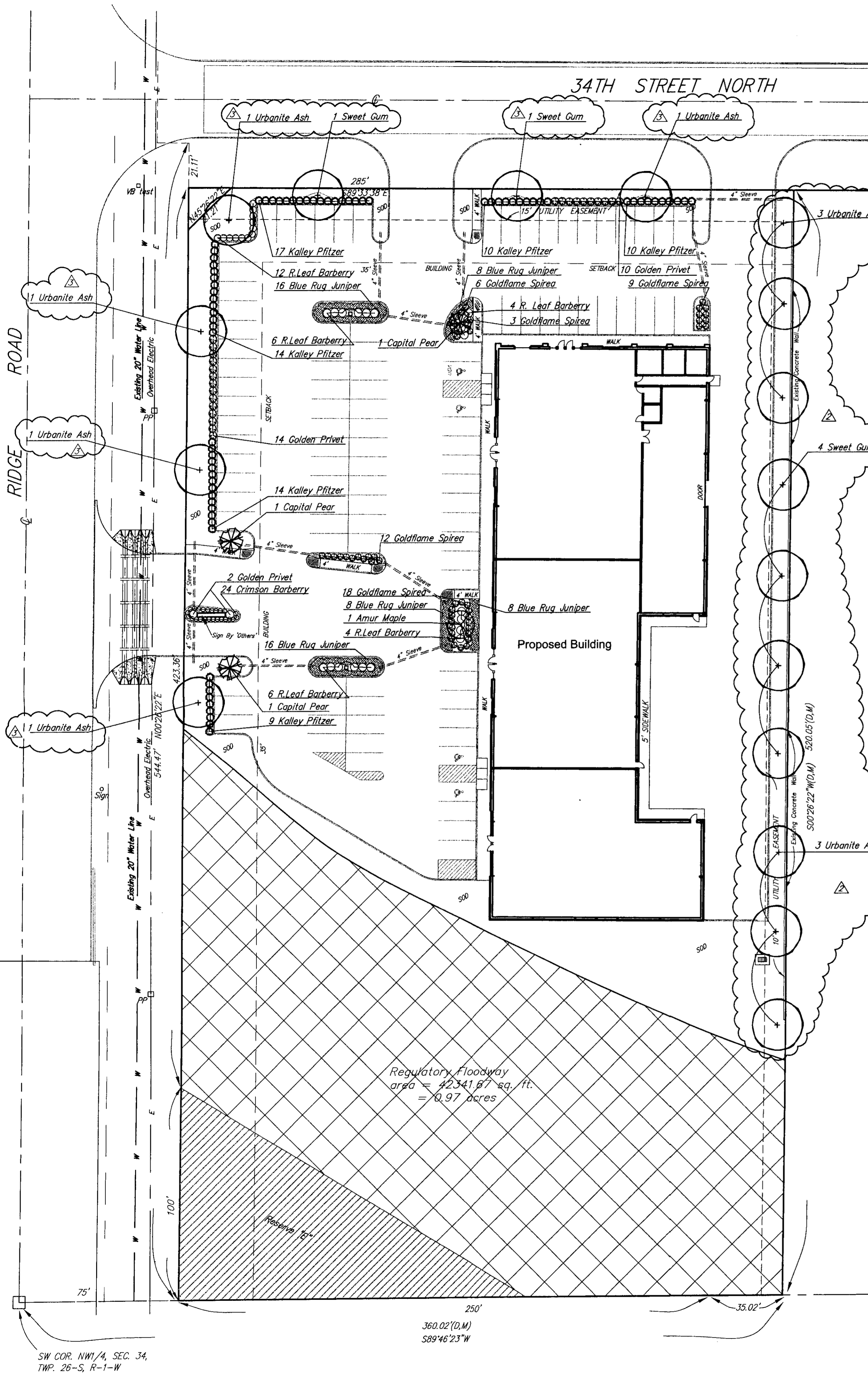
REVISION: West Buffer Change Per Planning Dept. 3-12-01 JLL
REVISION: East Buffer Requirement Per Planning Dept. 2-2-01 JLL



RETAIL CENTER FOR HEARTH AND HOME
LANDSCAPE PLAN
RIDGE ROAD AND 34th STREET NORTH

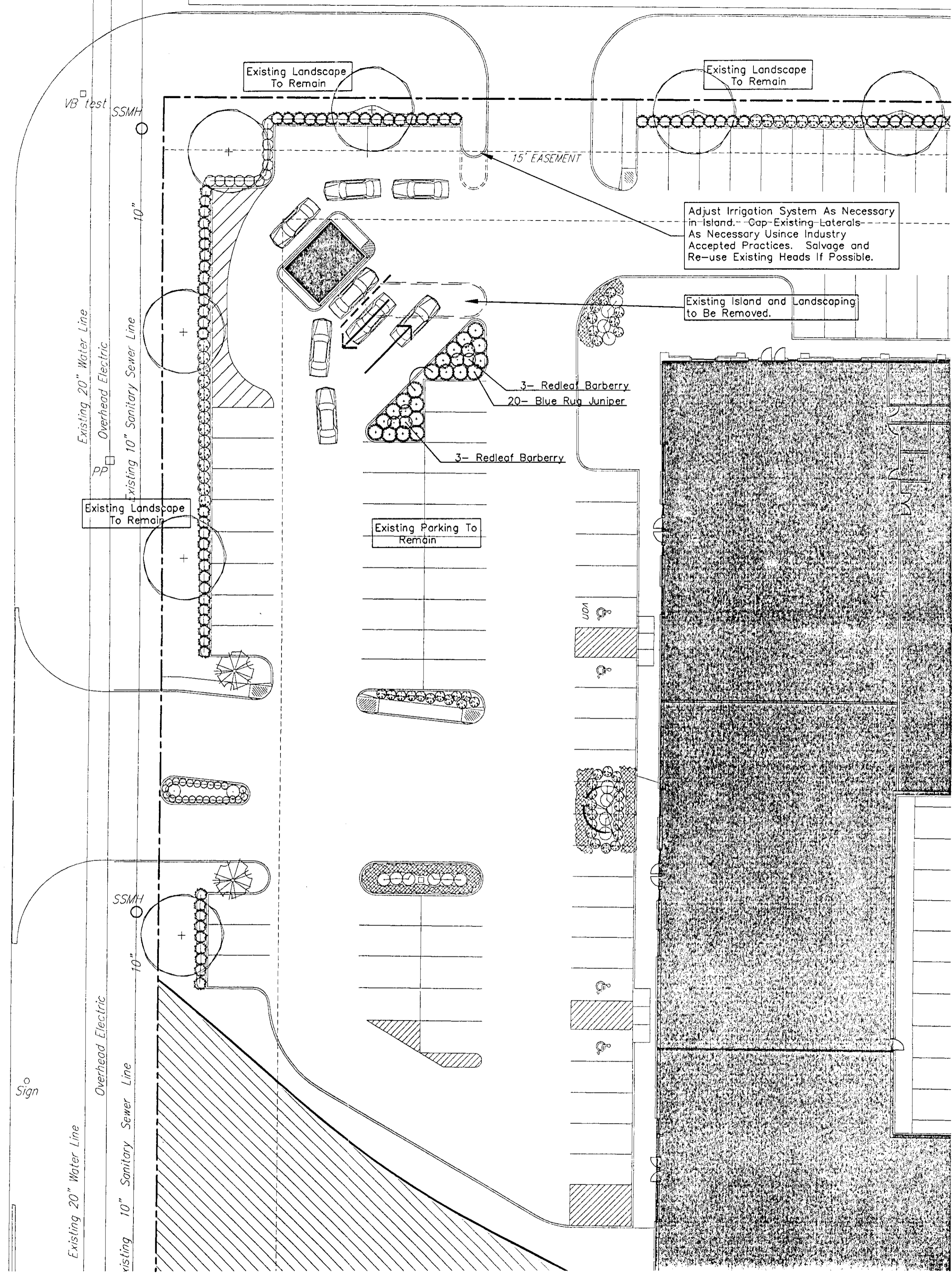
BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING
316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

DESIGN	JLL	DRAWN	JW/JLL	APPROVED	JLL	DATE	01-2001	SCALE	1" = 30'
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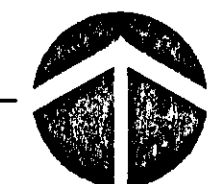
RIDGE ROAD

34TH STREET NORTH



SITE LANDSCAPE PLAN

Scale 1" = 20'-0"



SCOPE OF WORK

Site work shall consist of the construction of a drive-thru coffee kiosk and related utility connections. One existing island and the landscaping contained within will be removed and a parking lot area light relocated. A new island will be constructed, which will contain landscaping to replace what was removed, as well as the relocated area light. No other on-site landscaping will be removed or modified.

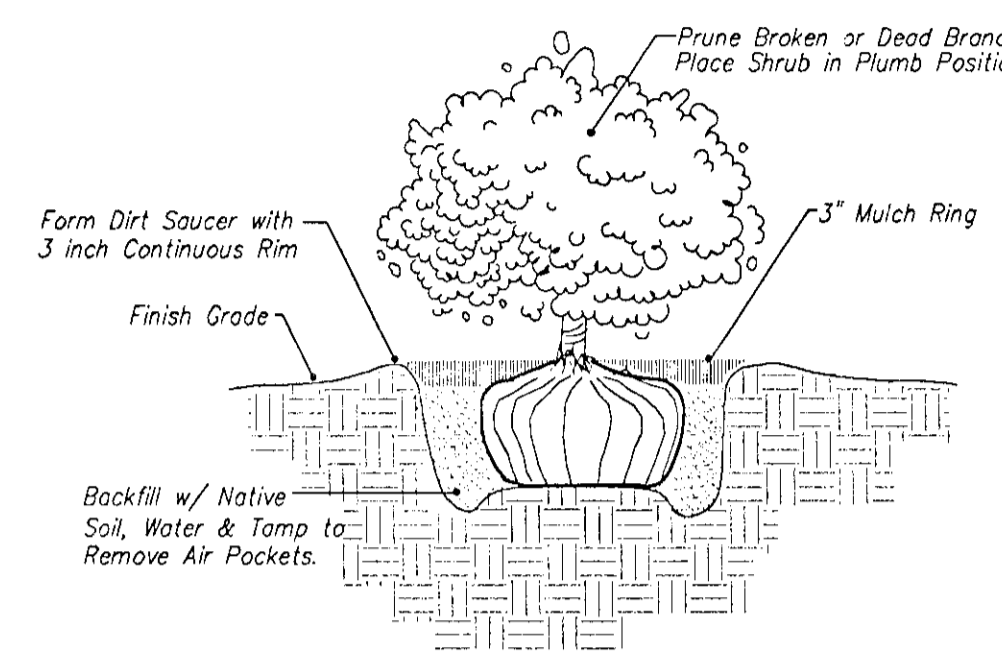
The landscape ordinance calculations from the landscape plan approved in 2000 is included for information only and is intended to demonstrate compliance with the landscape ordinance.

LEGAL DESCRIPTION

Lot 6, Ridgeport North Addition to Wichita, Sedgwick County, Kansas.

LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- Trees with broken leaders or no central leader will not be accepted.
- All planting beds shall be prepared by killing all existing vegetation with Round-Up (or equal) according to label directions. A Pre-emergent herbicide such as Treflan (5%) (or equal) shall be applied per label directions. All planting beds to receive 2" organic matter (such as cotton bur mulch, compost, or humus) and shall be rototilled in to a depth of 10-12".
- Mulch all planting beds with min. 3" of mulch. Mulch all tree saucer wells with min. 3" of mulch. Mulch material to be shredded cypress mulch of uniform consistency.
- General Contractor to supply and place at a depth of 4", in both islands to be disturbed.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- The Landscape Contractor shall coordinate with the G.C. to install the plants and maintain grounds, until final acceptance from owner.
- The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- General Contractor to coordinate with appropriate Local City Official to Remove/Transplant exist trees.
- Final planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. Landscape Contractor shall provide maintenance until final project acceptance including landscape maintenance and watering.



1 SHRUB PLANTING DETAIL

5 Gallon and Smaller No Scale

ORIGINAL LANDSCAPE ORDINANCE CALCULATIONS:

Two Streetyard requirements: 540.10' (total str. front) - 145' (perp. distance) = 395.10 x 15' = 5,927 sq.ft.

2 Streetyards shown: = 8,307 sq.ft.

Streetyard Trees Required: 12 Shade Trees
Streetyard Trees shown: 7 Shade, 4 Orn., 40 shrubs

Parking Lot Trees Required: Met by Streetyard requirem't

Buffer Requirements (Non-Residential to Residential, 400')
Shown Buffer: Existing 6' Conc. Screening Wall & 400' L.F. (1 per 40') = 10 Trees

PLANT SCHEDULE:

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
6	<i>Berberis thunbergii</i> atro. 'Red Leaf'	Red Leaf Barberry	2 gal.	Cont.	Full & Healthy
20	<i>Juniperus horizontalis</i> 'Blue Rug'	Blue Rug Juniper	2 gal.	Cont.	Full & Healthy

SITE INFORMATION:

Total Site Area: Site Area: 3.41± acres
148,685.37 sq.ft.

Impervious Area: 1.82± acres
79,320.26 sq.ft.

Existing Parking: 101 Stalls with 4 Handicap (4 Van Accessible)

Parking Provided after New Construction: 84 Stalls with 4 Handicap (4 Van Accessible)

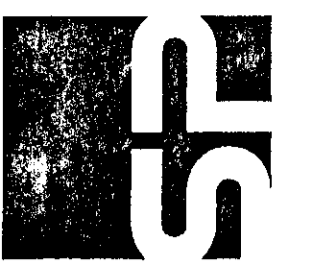
DP-237 PARCEL 6
ADDENDUM TO PLAD APPROVED 03-21-01 JT

LANDSCAPE PLAN

APPROVED 02/12/07 BY DS
MAPD Copy 1 of 2



Baughman Company, P.A.
315 Billie Wichita, KS 67211
316-262-7271 316-262-0149



SPANGENBERG PHILLIPS
ARCHITECTURE
121 N. Mead, Suite 201, Wichita, KS 67202
TEL: 316.267.4002 FAX: 316.267.1509
www.spangenbergphillips.com

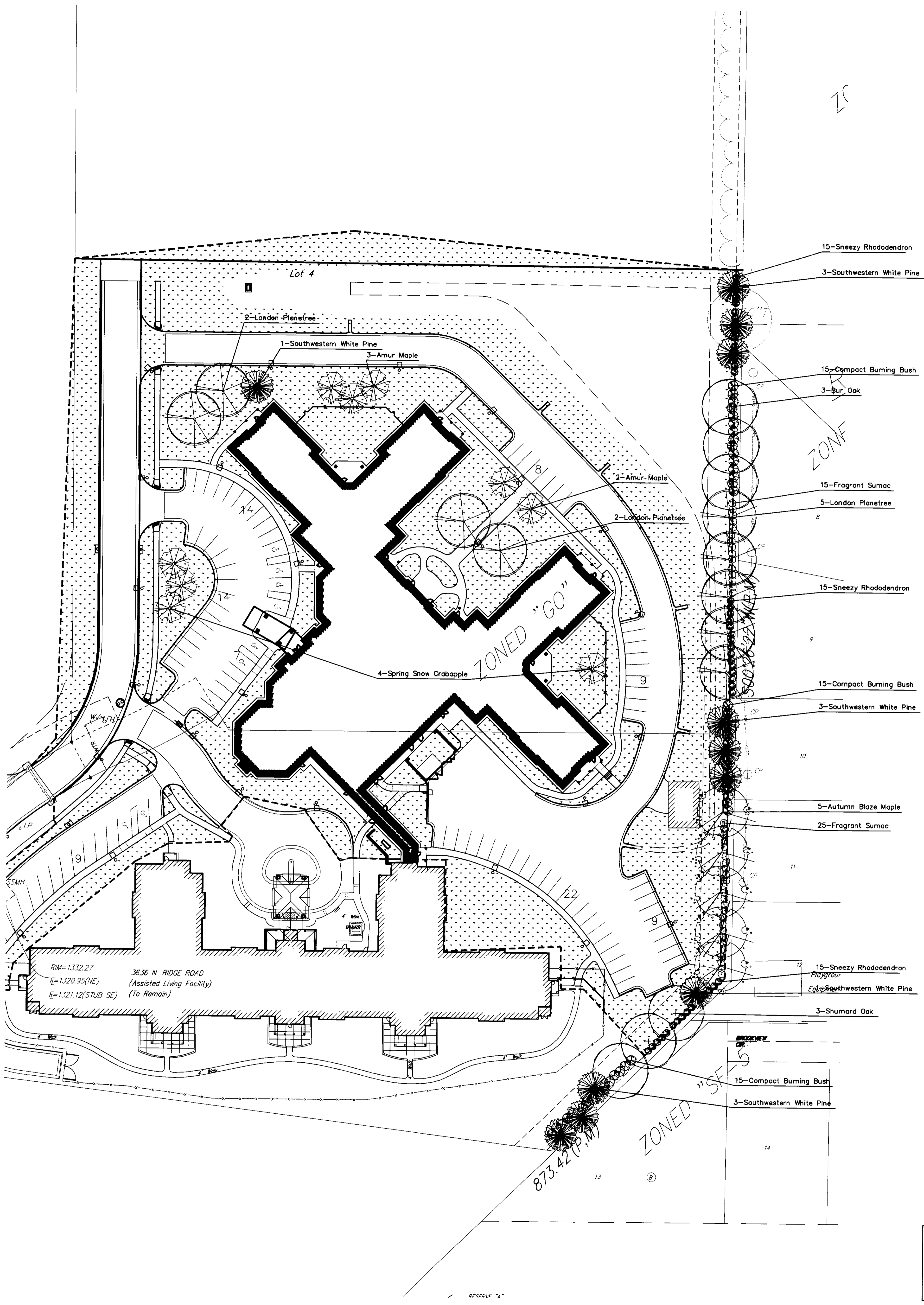
SCOOTERS

34TH STREET NORTH & RIDGE ROAD

LANDSCAPE PLAN

L1

REVISED 15 JAN 07
PERMIT 17 NOV 06



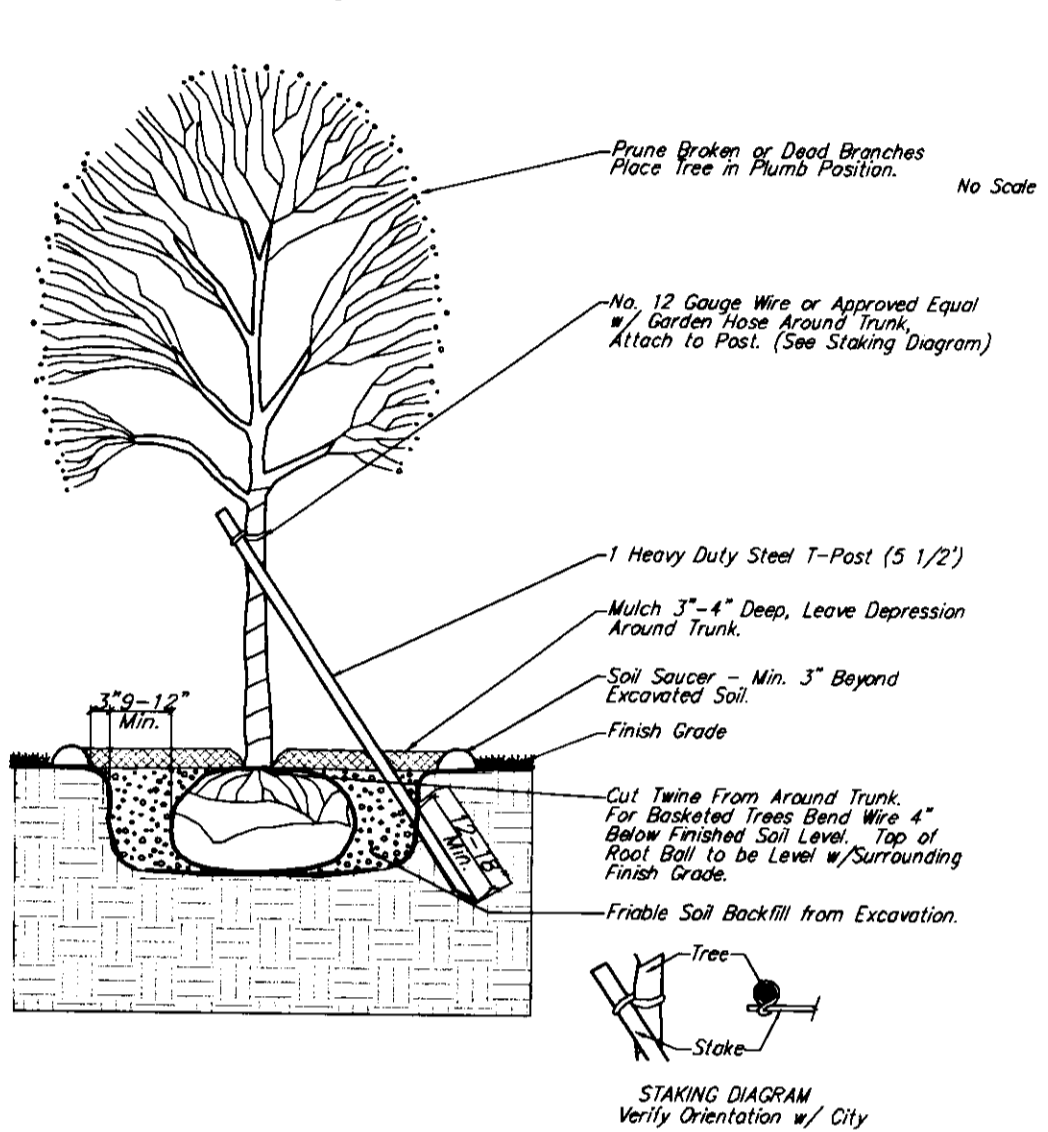
LEGAL DESCRIPTION

Parcel B of Lot 4, portions of Lot 8 & Reserve C of Block A, Ridge Port North 6th Addition, Wichita, Sedgwick County, Kansas.

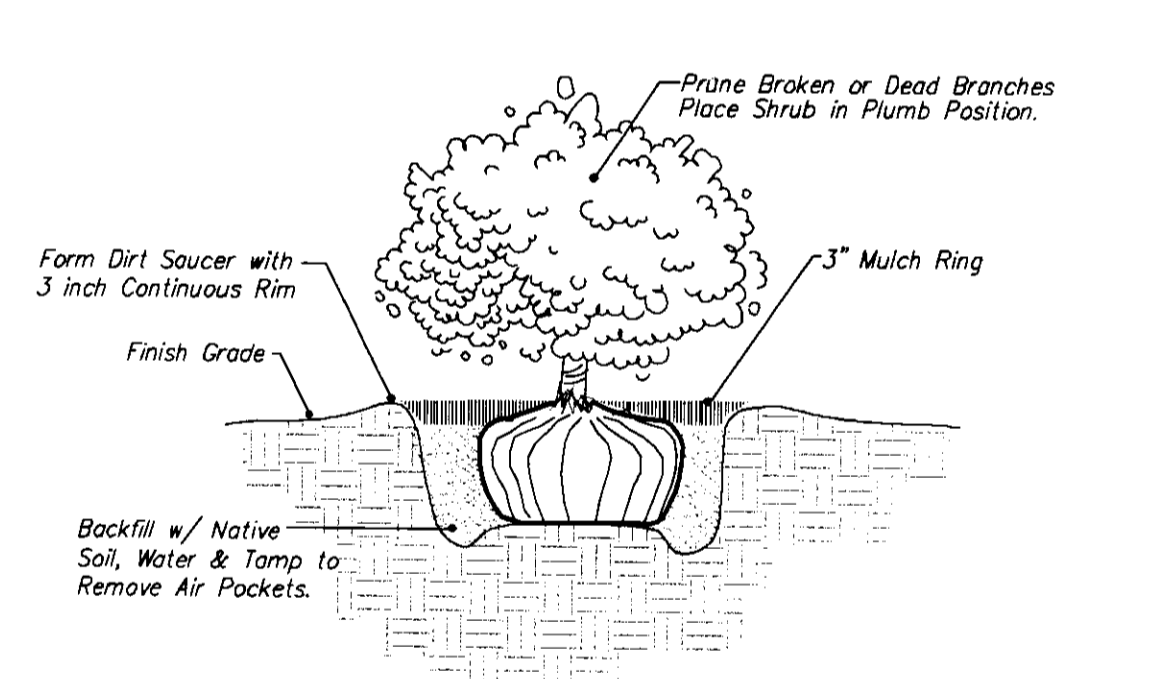
LANDSCAPE NOTES:

- All landscape work shall be done in accordance with industry standards.
- All areas called out on the plan as "Seed" shall be installed and fertilized as follows:
SEED--Kansas Premium Fescue Seed
Application Rate--8 lbs/1,000 sq. ft.
FERTILIZER--12-24-12 ratio 40#/acre
- Trees with broken leaders or no central leader will not be accepted.
- General Contractor to supply and place at a depth of 4", all topsoil on site.
- Topsoil hauled onto site shall be fertile, friable, natural loam topsoil, of uniform quality characteristic of representative local soils which produce heavy growth of crops, grass, or other vegetation. It shall be free of trash, or other matter toxic to plant growth.
- Topsoil shall be delivered in an unfrozen and non-muddy condition and shall be subject to approval by the Landscape Architect.
- Prior to any excavation for landscaping purposes the location of underground utilities shall be determined by calling Kansas One Call at 687-2470/1-800-344-7233. Contractor shall be responsible for any damage done to existing utilities.
- Report any discrepancies in the planting plan to the Landscape Architect, prior to starting construction.
- The Landscape Contractor shall coordinate with the G.C. to gain site access to install the plants and maintain grounds, until final acceptance from owner. Upon final acceptance, the one (1) year guarantee period will begin.
- The Landscape Contractor shall submit bid with unit prices for all plants, including mulch, installation, 1 year guarantee, bed preparation, fertilizer, etc.
- The Landscape Contractor is responsible for any damage done to the exterior of the building or any part of the parking lot when installing or maintaining the plantings before final acceptance.
- Fall planting season shall be September 1 thru October 31. Spring planting season shall be April 1 thru June 30. For grass seeding, fall season shall be September 1 thru mid October. Spring season for seeding shall be from March 15 thru mid May.
- Landscape Contractor shall provide maintenance until final project acceptance including landscape maintenance and watering.
- Irrigation shall be the responsibility of the Owner.

1 TREE PLANTING & STAKING DETAIL



2 TREE PLANTING & STAKING DETAIL



3 SHRUB PLANTING DETAIL



LEGEND

- Limits of Seeding
- Grass Seeding - See Notes for Details

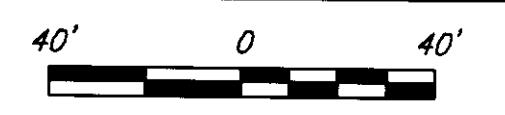
PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
5	<i>Acer rubrum x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	3" Caliper	Single Stem	B&B
5	<i>Acer ginnala</i>	Amur Maple	6'-8'	Multi-Stem	B&B
4	<i>Malus x Spring Snow</i>	Spring Snow Crabapple	2" Caliper	Single Stem	B&B
11	<i>Pinus strobiformis</i>	Southwestern White Pine	6'-8'	Single Stem	B&B
3	<i>Platanus x acerfolia</i>	London Planetree	3" Caliper	Single Stem	B&B
3	<i>Quercus macrocarpa</i>	Bur Oak	3" Caliper	Single Stem	B&B
3	<i>Quercus shumardii</i>	Shumard Oak	3" Caliper	Single Stem	B&B
45	<i>Evonymus alatus</i> 'Cale's Compact'	Compact Burning Bush	3-Gal.	Container	Full & Healthy
45	<i>Rhododendron x Sneezy</i>	Sneezy Rhododendron	3-Gal.	Container	Full & Healthy
40	<i>Rhus aromatica</i>	Fragrant Sumac	3-Gal.	Container	Full & Healthy

LANDSCAPE ORDINANCE CALCULATIONS:

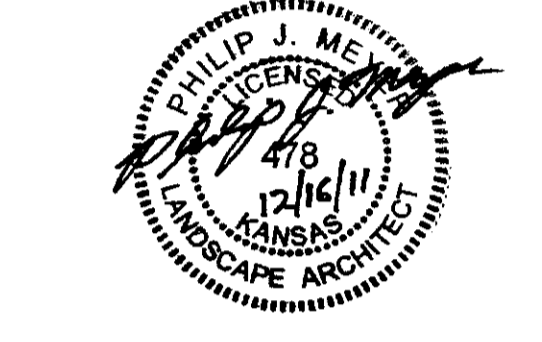
Landscape Buffer with No Screen Wall | 1 Shade, 5 Shrubs/30 Linear Foot.
East Property Line = 752'
Trees Required = 752/30 = 25.1 = 26 Shade Trees Required
Shrubs Required = 752/30 = 25.1 x 5 = 130 Shrubs Required

LANDSCAPE PLAN



DP-237
MAD
LANDSCAPE PLAN
APPROVED 12/16/11 BY NCS

GLMV Architecture
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VIA CHRISTI
VILLAGE RIDGE/LUMEN CHRISTI CHAPEL
SKILLED CARE FACILITY
WICHITA, KANSAS

Mark	Date	Description

Job No. 1226.000
Date 12/16/11
Drawn
Checked
Dwg. of

C211

Baughman Company, P.A.
315 5th St. Wichita, KS 67211 P:316.262.2121 F:316.262.0149
ENGINEERING | SURVEYING | PLANNING | LANDSCAPE ARCHITECTURE

16 DEC. 2011



Wichita-Sedgwick County Metropolitan Area Planning Department

September 26, 2013

Catholic Diocese of Wichita
c/o Msgr. Robert Hemberger
424 N Broadway
Wichita, KS, 67202

Baughman Co. PA
c/o Russ Ewy
315 Ellis, Wichita, KS, 67211

Ref: CUP2013-00013 - City Community Unit Plan (CUP) Administrative Adjustment to DP 237, the Ridge Port North CUP, to increase the number of buildings allowed within Parcel 13 from one building to five buildings; generally located on the southeast corner of 37th Street North and Ridge Road.

Legal: Lot 5, Block A, Ridge Port North 6th Addition.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-237, the Ridge Port North Community Unit Plan (CUP). We understand that you wish to increase the number of buildings allowed within Parcel 13 from one (1) building to (5) five buildings.

Your proposal does not increase Parcel 13's maximum building coverage, its maximum gross floor area, its floor ratio, its maximum building height or any of the other provisions of Parcel 13.

We find that adjusting the CUP in the manner stated above is consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly

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Wichita-Sedgwick County Metropolitan Area Planning Department

August 18, 2016

H & S Home Center, LLC
Attn: Susan Wright
2226 Amarado Ct.
Wichita, KS 67205

Baughman Company, P.A.
Attn: Russ Ewy
315 Ellis
Wichita, KS 67211

RE: CUP2016-30 – City CUP Administrative Adjustment to CUP DP-237, to create Parcels 6A and 6B from Parcel 6 as per LSP2016-10. The property is generally located on the southeast corner of 34th Street North and North Ridge Road.

Dear Applicants:

We received and reviewed your request for an Administrative Adjustment to DP-237, to reflect a lot split on Parcel 6 (LSP2016-10). Proposed modifications are as follows:

1. Create Parcels #6A and #6B from Parcel #6.
2. Where ever Parcel 6 is referenced in the General Provisions it will be changed to reflect Parcels 6A & 6B
3. Parcel #6A
 - A. Net Area: 101,696 sq. ft. or 2.34 acres
 - B. Maximum Building Coverage: 30,509 sq. ft. or 30 %
 - C. Maximum Gross Floor Area: 35,594 sq. ft.
 - D. Floor Area Ratio: 35%
 - E. Maximum Number of Buildings: One (1)
 - F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.
 - G. Setbacks: See Drawing
 - H. Access Points: See Drawing
 - I. Limited to the uses allowed in the “NR” Neighborhood Retail and the following: college & university, indoor recreation, funeral home, motel/hotel, with the exceptions listed in General Provision #18 and restaurants, restricted to one drive-through only, with no outdoor speaker, subject to the approved site plan for DP-237 Amendment #2.
 - J. The overall parking requirement on this site shall be reduced by a maximum of 20 percent of the UZC requirements of Article IV, Section IV-A, subject to the approved site plan for DP-237 Amendment #2.
4. Parcel #6B
 - A. Net Area: 38,606 sq. ft. or 0.89 acres
 - B. Maximum Building Coverage: 11,582 sq. ft. or 30 %

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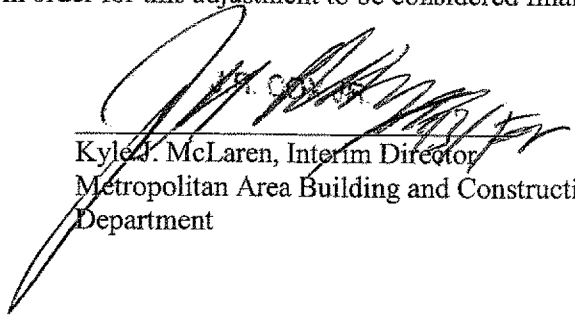
- C. Maximum Gross Floor Area: 13,512 sq. ft.
 - D. Floor Area Ratio: 35%
 - E. Maximum Number of Buildings: One (1)
 - F. Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall be not greater than 35 feet.
 - G. Setbacks: See Drawing
 - H. Access Points: See Drawing
 - I. Limited to the uses allowed in the "NR" Neighborhood Retail and the following: college & university, indoor recreation, funeral home, motel/hotel, with the exceptions listed in General Provision #18 and restaurants, restricted to one drive-through only, with no outdoor speaker, subject to the approved site plan for DP-237 Amendment #2.
 - J. The overall parking requirement on this site shall be reduced by a maximum of 20 percent of the UZC requirements of Article IV, Section IV-A, subject to the approved site plan for DP-237 Amendment #2.
5. Update CUP document to reflect status of property as shown in this CUP DP-237 Administrative Adjustment.

On the basis of our review, we find that adjusting the CUP in the manner stated in the above paragraph is consistent with the approved CUP and will not have an adverse effect on the CUP or adjacent properties, nor will it be a substantial deviation of the original plan.

Our signatures below indicate that the CUP shall be adjusted as stated in this letter. This CUP adjustment shall not be deemed to alter any other provisions of the CUP except as expressly stated herein.

The "Development Application" sign should now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.


Dale Miller, Director
Metropolitan Area Planning Department


Kyle J. McLaren, Interim Director
Metropolitan Area Building and Construction
Department

cc: J.R. Cox, MABCD
Paul Hays, MABCD
Bryan Frye, CM District V
Laura Rainwater, Community Liaison District V



Wichita-Sedgwick County Metropolitan Area Planning Department

July 23, 2015

Crystal Walker / Mariah Frazier
DEJ Properties, LLC
7075 West 37th Street North, Suite B
Wichita, Kansas 67205

RE: City Community Unit Plan Administrative Adjustment (CUP2015-00021) to Parcel 14 of the Ridge Port Community Unit Plan (CUP) DP-237 to permit additional signage on land located east of North Ridge Road and south of west 37th Street North (6943 West 37th Street North).

Community Unit Plan DP-237, General Provision 7 states that signage within DP-237 is to be per the Sign Code. Parcel 14 is zoned GO General Office (GO). In the GO district, the sign code permits a single-tenant one 32 square-foot pole sign and one 32 square-foot building sign per elevation per each major use in the building. Parcel 14 is developed with a single major use, a dentist office. The applicant is seeking to have building signage on both the north facing building elevation and the west facing building elevation both of which are proposed to have a combined area of 141 square feet (as shown on the attached renderings submitted with the application.

We have reviewed your request and have approved the requested adjustments as described above and shown on the attached renderings submitted with CUP2015-00021 subject to:

- 1) The adjustment to CUP DP-237 granted by CUP2015-00021 applies only to Parcel 14.
- 2) The submission within 30 days to MAPD of a four revised copies of the Ridge Port North CUP that reflect the approved adjustment.

Except as expressly stated above, this adjustment shall not be deemed to alter any other provisions of the CUP. The zoning notification signs may now be removed from the property.

W. David Barber
Interim Director of Planning

Thomas J. Stolz
Director of the Metropolitan Area Building and
Construction Department

cc: Brian Frye, WCC

J.R. Cox, MABCDy Hall • 10th Floor • 455 North Main • Wichita, Kansas 67202-1688

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Wichita-Sedgwick County Metropolitan Area Planning Department

July 21, 2014

Via Christi Property Services, Inc.
Attn: Terri Alexander
1035 North Emporia, Ste. 230
Wichita, KS 67214

Baughman Company P.A.
Attn: Russ Ewy
315 Ellis
Wichita, KS 67211

RE: City Administrative Adjustment (CUP2014-00021) to adjust the boundaries of Parcel 14 of the Ridge Port North Community Unit Plan DP-237 to match a lot split and to re-spread area calculations to reflect revised configuration of Lot 1, Block A, Ridge Port North 6th Addition and to create a new Parcel 16 from Parcel 14. CUP DP-237 is located at the southeast corner of 37th Street North and North Ridge Road.

Currently, Parcel 14 of CUP DP-237 contains 3.74 acres. The applicant proposes to divide Parcel 14, creating a new Parcel 16; leaving Parcel 14 with 1.72 acres and the newly created Parcel 16 with 2.02 acres.

	Parcel 14	Parcel 16
Net Area:	75,002 sq. ft. or 1.72 acres	88,077 sq. ft. or 2.02 acres
Max. Building Coverage	20,626 sq. ft. or 27.5%	24,221 sq. ft. or 27.5%
Max. Gross Floor Area	26,251 sq. ft.	30,827 sq. ft.
Floor Area Ratio	35%	35%
Max. No. Buildings	1	1

Maximum building height to conform to Chapter 28.08 Code of the City of Wichita, but shall not be greater than 65 feet.

Setbacks and access points per drawing.

All uses allowed in the GO General Office district including helistop. Excluded uses include: correctional placement residences, cemetery, recycling collection stations, marine facility and group residences.

We have reviewed your request and have approved the requested adjustment as described above.

All other applicable development standards shall apply unless specifically adjustment or amended.

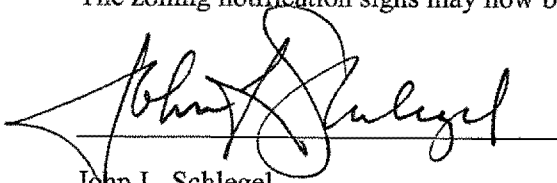
Except as expressly stated above, this adjustment shall not be deemed to alter any other provisions of the CUP.

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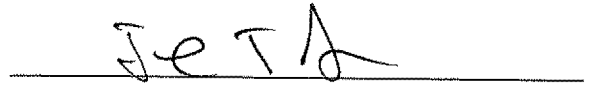
T 316.268.4421 F 316.268.4390

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The zoning notification signs may now be removed from the property.

A handwritten signature in black ink, appearing to read "John L. Schlegel", written over a horizontal line.

John L. Schlegel
Director of Planning

A handwritten signature in black ink, appearing to read "Tom J. Stolz", written over a horizontal line.

Tom J. Stolz
Director of the Metropolitan Area Building and
Construction Department

March 30, 2011

Kwik Shop Convenience Stores
Ed Soper
P.O. Box 1527
Hutchinson, KS 67504

TriMark Signworks, Inc.
Byron West
319 South Oak Street
Wichita, KS 67213

RE: DP-237 - CUP Adjustment to allow an electronic message center sign on Parcel 10, generally located on the southwest corner of 37th Street North and North Ridge Road (CUP2011-11).

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced Community Unit Plan, DP-237 Parcel #10. We understand that you desire to install an electronic message center sign.

On the basis of our review, we feel that adjusting the CUP in the manner you have requested would be consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan.

Our signatures below indicate that an administrative adjustment has been granted to permit an electronic message center sign on Parcel 10, subject to the other applicable standards contained in DP-237.

The zoning notification signs may now be removed from the property. The revised CUP will note this administrative adjustment and date.

John L Schlegel
Director of Planning

Kurt A Schroeder
Superintendent of Central Inspection

cc: Kurt Schroeder, Office of Central Inspection
J.R. Cox, Office of Central Inspection
Jeff Longwell, WCC District V



Wichita-Sedgwick County Metropolitan Area Planning Department

June 11, 2012

Catholic Diocese of Wichita, Kansas
Attn.: Msgr. Robert Hemberger
424 N. Broadway
Wichita, KS 67202

Baughman Company, P.A.
Attn.: Russ Ewy
315 Ellis
Wichita, KS 67211

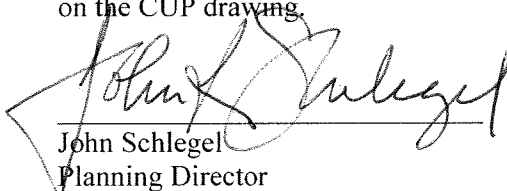
Re: CUP2012-17 – City Administrative Adjustment to waive the architectural compatibility requirements of Community Unit Plan DP-237, Ridge Port North Community Unit Plan (CUP), to permit the placement of one temporary modular unit on the GO General Office (“GO”) zoned Parcel 13; generally located south of 37th Street North, east of North Ridge Road (Lot 5, Block A, Ridge Port North 6th Addition, 3642 North Ridge Road).


Dear Sir:

We have reviewed your request for an Administrative Adjustment to Parcel 13 to waive the architectural compatibility requirements of Community Unit Plan DP-237 to permit the placement of one temporary (up to three years) modular unit to house two classrooms associated with the existing St. Catherine of Siena Parish Church or school. See the attached photo of the proposed modular unit and the site plan depicting the location of proposed modular unit.

Our signatures below indicate that an Administrative Adjustment is hereby GRANTED, subject to the following conditions: 1) One temporary modular unit is permitted for up to three years from the date of this approval letter; 2) the modular unit shall be generally placed at the location shown on the attached site plan and 3) shall be similar in size and appearance as the image of the modular unit submitted with the application.

The zoning adjustment sign may now be removed from the property. We will make a notation of the adjustment on the CUP drawing.


John Schlegel
Planning Director


Rick Stubbs and/or Donte Martin
City of Wichita Superintendent of Central Inspection
(Interim Zoning Administrator)