

WEST 23rd STREET NORTH

LEGEND

- Survey Monument Found
- 5/8" x 24" Iron Rebar Set w/G.S.S. Cap
- Found "X" Cut in Concrete
- Found "+" Cut in Concrete
- Benchmark
- Calculated
- Measured
- Platted
- Record measurement
- Light Pole
- Sanitary Sewer Cleanout
- Sanitary Sewer Manhole
- Water Valve
- Signage
- Complete Access Control
- Trees (Varies Species/Calibers)
- Pampas Grass
- Concrete Hatch
- Asphalt Hatch

BASIS OF BEARING = NAD 83 KANSAS SOUTH ZONE

DESCRIPTION:

PARCEL 1:

A portion of Lots 1 and 3, Amidon Plaza Addition to the City of Wichita, Sedgwick County, Kansas more particularly described by Daniel E. Garber, Professional Surveyor #683, on September 21, 2023 as follows:

Beginning at the Northwest corner of Lot 1, Amidon Plaza Addition to the City of Wichita; thence with a bearing South 88°58'23" East (basis of bearings is NAD 83 Kansas South Zone) along the North line of said Lot 1 a distance of 789.99 feet (790.07 feet per Record) to the Northeast corner of said Lot 1; thence South 01°01'09" East along the East line of said Lot 1 a distance of 256.28 feet (256.23 feet per Record); thence South 01°00'29" East along the East line of said Lot 3 a distance of 209.92 feet (210.00 per Record) to the Southeast corner of said Lot 3; thence North 88°56'45" West along said Lots 1 & 3 a distance of 609.91 feet (609.51 per Record); thence North 01°02'06" West a distance of 130.89 feet (130.86 per Record); thence North 28°40'16" West a distance of 56.44 feet (56.54 per Record); thence North 01°00'39" West parallel with the West line of said Lot 1 a distance of 180.00 feet; thence North 89°17'35" West a distance of 158.55 feet to the West line of said Lot 1; thence North 01°00'39" West along the West line of said Lot 1 a distance of 106.72 feet to the point of beginning, containing **7.052 Acres**, subject to easements and restrictions of record.

PARCEL 2:

DESCRIPTION OF RECORD (DOC.#/FLM-PG: 29387431):

Lot 2, Amidon Plaza Addition, Wichita, Sedgwick County, Kansas; together with a portion of Lot 1 in said Amidon Plaza Addition described as follows: BEGINNING at the Southeast corner of said Lot 2; Thence bearing N00°00'00"E, along the East line of said Lot 2, a distance of 105.00 feet to the Northeast corner of said Lot 2; Thence Bearing N87°58'45"W, along the North line of said Lot 2, a distance of 124.99 feet to a point on the West line of Lot 1, in said Amidon Plaza Addition; Thence Bearing N00°00'00"E, along said West line, a distance of 74.16 feet; Thence Bearing S88°17'43"E, a distance of 158.50 feet; Thence Bearing S27°40'24"E, a distance of 56.54 feet; Thence Bearing S02°02'24"W, a distance of 130.86 feet to a point on the South line of said Lot 1; Thence Bearing N87°55'45"W, along said South line, a distance of 55.15 feet to the POINT OF BEGINNING.

PARCEL 3:

A portion of Lot 1, Amidon Plaza Addition to the City of Wichita, Sedgwick County, Kansas more particularly described by Daniel E. Garber, Professional Surveyor #683, on September 21, 2023 as follows:

Commencing at the Northwest corner of Lot 1, Amidon Plaza Addition to the City of Wichita; thence with a bearing South 01°00'39" East (basis of bearings is NAD 83 Kansas South Zone) along the West line of said Lot 1 a distance of 106.72 feet for the point of beginning; thence South 89°17'35" East 158.55 feet; thence South 01°00'39" East parallel with the West line of said Lot 1 a distance of 180.00 feet; thence North 89°17'35" West 153.55 feet (153.5 feet record) to a point that is 5.00 feet East of the Southwest corner of said Lot 1; thence North 01°00'39" West parallel with the West line of said Lot 1 a distance of 120.84 feet; thence North 89°17'35" West 5.00 feet to the West line of said Lot 1; thence North 01°00'39" West along the West line of said Lot 1 a distance of 58.56 feet to the point of beginning, containing **0.641 Acre**, subject to easements and restrictions of record.

GENERAL PROVISIONS:

- Total Net Land Area 368,300.28 Sq. Ft. or 8.455 Acres
- Maximum Building Coverage shall not exceed 30% of the total net land area.
- Signs as permitted by zoning ordinance.
- a 6 to 8 foot high fence consisting of removable metal panels so designed as to prevent the passage of light from vehicles and to prevent the blowing of debris shall be constructed along the north property line of Parcel #1. Said fence shall be reduced to 3 feet in height within twenty feet of Amidon and Coolidge and shall be so designed that the vertical supports shall be not less than 16 feet on center. The property owner shall be responsible for maintaining the fence in good repair and such obligation shall run with the land. Any relocation or construction of the fence necessitated by its location within a utility easement shall be without cost to the City or any utility company. Failure to maintain said fence shall constitute a violation of the C. U. P.
- Curb Cuts:

Maximum number allowed to Amidon	3 points
Maximum number allowed to 21st Street	2 points
Maximum number allowed to Coolidge	2 points
- A fire lane, hard surfaced and twenty (20) feet minimum in width, shall be provided around all main structures constructed within Parcels #1 and #2. Said fire lane shall have a 3 1/2 inch asphalt base with 1 1/2 inch asphalt surface. No parking shall be allowed in said fire lane, although it may be used for passenger and unloading. Prior to final approval of the parking plan, the Fire Chief, or his designated representative, shall approve the plan as to the location and design of the fire lane.
- A lot grading plan of subject property shall be submitted to the Department of Engineering prior to the issuance of any building permits involving substantial redevelopment of the existing uses of Parcel 1.
- Contingent Dedication:
 - In the event that the contingent dedications located within Parcel #1 and #2 are needed by the City of Wichita for fill, paving, installation of utilities, or other similar street uses, the Additional street right-of-way as indicated on the plan shall become effective.
- The transfer of title of all or any portion of the land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.

Prepared For:

SC 21, LLC

Description:

A PORTION OF LOT 1
AMIDON PLAZA ADDITION
WICHITA, KANSAS

Prepared By:

Garber Surveying Service, P.A.



HUTCHINSON
2908 North Plum St. 67502
Ph. 620-241-4441
Ph. 620-665-7032
(Main Office)

BRANCH OFFICES:
MCIPHERSON Ph. 620-241-4441
SALINA Ph. 785-404-6302

MANHATTAN Ph. 785-320-4810
NEWTON Ph. 316-283-5053
WICHITA Ph. 316-260-9933

Drawn By: EWS

Scale: 1"=40'

Date of Field Work: March 6, 2023

Job No:

Checked By: DEG

Date: 05/22/2026

Sheet 1 of 1 Sheet(s)

G2023-174

GARDNERS
RIVERLAWN
COMMUNITY
UNIT PLAN
DP-76

PARCEL #1:

Net Land Area 307,165.53 Sq. Ft. or 7.052 Acres
Maximum Building Coverage shall not exceed 30% of the Net Land Area or 91,149.66 Sq. Ft.
Maximum Gross Floor Area 138224.49 Sq. Ft.
Floor Area Ratio 45%
Maximum Building Height 35 feet
Maximum Number of Buildings 2
Building Setbacks:

- 35 feet from Amidon (See plan for recorded document)
- 35 feet from 21st Street (See plan for recorded document)
- 100 feet & 35 feet from Coolidge Street (See plan for recorded document)
- 66 feet from north property line

Curb Cuts:

- 1 to Amidon
- 1 to 21st Street
- 2 to Coolidge

The curb cut to 21st Street North and one curb cut to Amidon shall be designated and constructed to Major Approach Standards and shall be completed prior to the issuance of an occupancy permit for the proposed new use.

Parking Ratio

As per zoning ordinance

Proposed Land Use

Grocery - Department Store - Retail Auto Supply and Services Retail and personal service shops.

PARCEL #2:

Net Land Area 33,216.16 Sq. Ft. or 0.763 Acres
Maximum Building Coverage shall not exceed 30% of the Net Land Area or 9,964.85 Sq. Ft.
Maximum Gross Floor Area 14,947.27 Sq. Ft.
Floor Area Ratio 45%
Maximum Building Height 20 feet
Maximum Number of Buildings 1
Building Setbacks:

- 35 feet from Amidon (See plan for recorded document)
- 35 feet from 21st Street (See plan for recorded document)

Curb Cuts:

- 1 to 21st Street
- 1 to Amidon

Parking Ratio

As per zoning ordinance

Proposed Land Use

Service Station - Liquor Store - Convenience grocery store - Retail and personal service shops, but excluding fast food/carry out establishments.

PARCEL #3:

Net Land Area 27,918.58 Sq. Ft. or 0.641 Acres
Maximum Building Coverage shall not exceed 30% of the Net Land Area or 8,375.57 Sq. Ft.
Maximum Gross Floor Area 12,563.36 Sq. Ft.
Floor Area Ratio 45%
Maximum Building Height 35 feet
Maximum Number of Buildings 2
Building Setbacks:

- 35 feet from Amidon (See plan for recorded document)

Parking Ratio

As per zoning ordinance

Proposed Land Use

All permitted uses as Parcel 1 in addition to restaurant/coffee shop with drive-thru.

Dated May 21, 2026
APPROVED CUP
Re: Amidon Adjustment
CUP 26-16
1-14

COMMUNITY UNIT PLAN FOR GARDNERS RIVERLAWN

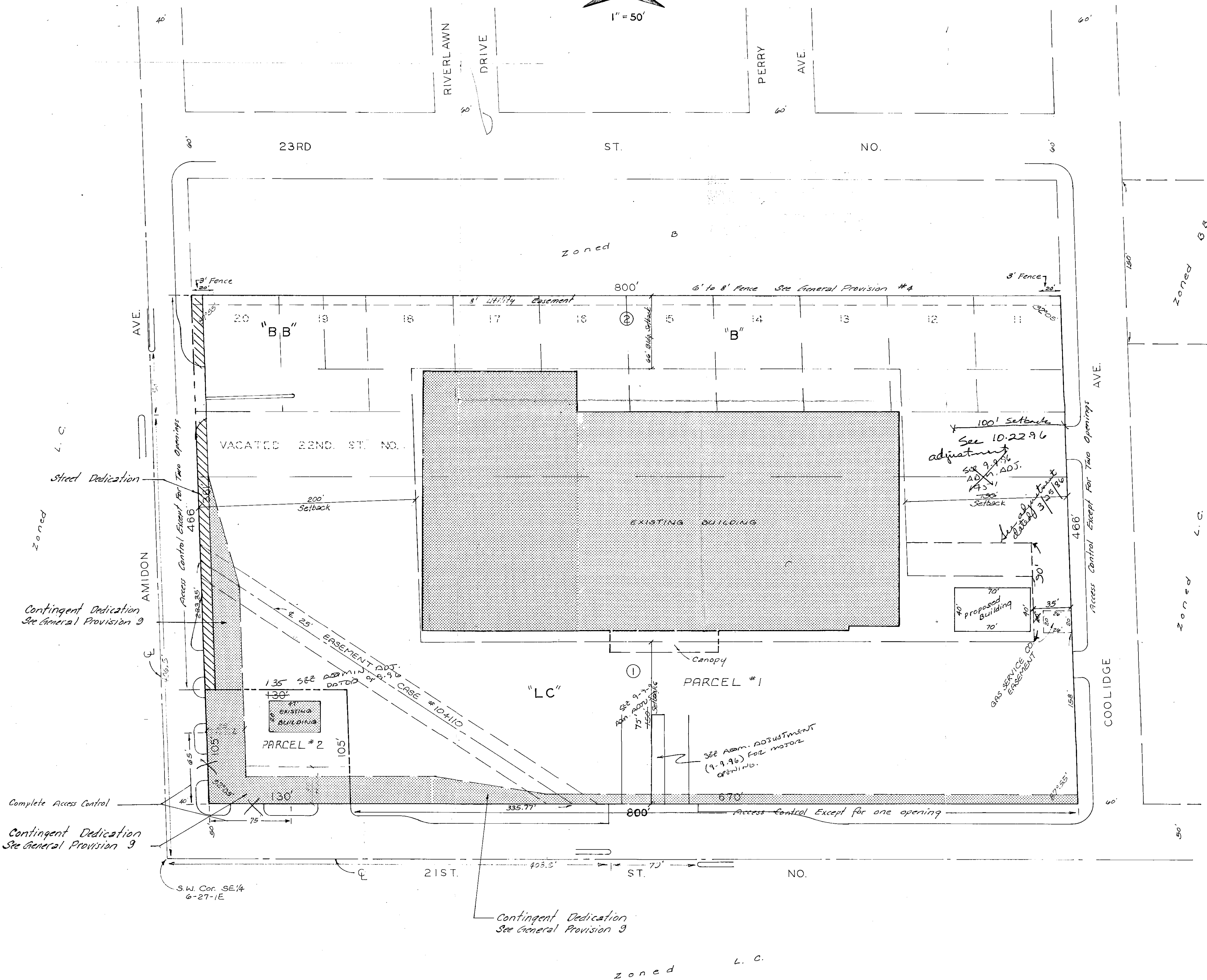
DP-76

APPROVED CUP

MAPC 12-3-81
BCC 1-5-82

NORTH

1" = 50'



GENERAL PROVISIONS

1. Total Net Land Area 368,943 Sq. Ft. or 8.47 Acres
2. Maximum Building Coverage shall not exceed 30% of the total net land area.
3. Signs as permitted by zoning ordinance.
4. A 6 to 8 foot high fence consisting of removable metal panels so designed as to prevent the passage of light from vehicles and to prevent the blowing of debris shall be constructed along the north property line of Parcel #1. Said fence shall be reduced to 3 feet in height within twenty feet of Amidon and Coolidge and shall be so designed that the vertical supports shall be not less than 16 feet on center. The property owner shall be responsible for maintaining the fence in good repair and such obligation shall run with the land. Any relocation or construction of the fence necessitated by its location within a utility easement shall be without cost to the City or any utility company. Failure to maintain said fence shall constitute a violation of the C. U. P.
5. Curb Cuts

Maximum number allowed to Amidon	3 points
Maximum number allowed to 21st Street	2 points
Maximum number allowed to Coolidge	2 points
6. A fire lane, hard surfaced and twenty (20) feet minimum in width, shall be provided around all main structures constructed within Parcels #1 and #2. Said fire lane shall have a 3 1/2 inch asphalt base with 1 1/2 inch asphalt surface. No parking shall be allowed in said fire lane, although it may be used for passenger loading and unloading. Prior to final approval of the parking plan, the Fire Chief, or his designated representative, shall approve the plan as to the location and design of the fire lane.
7. A lot grading plan of subject property shall be submitted to the Department of Engineering prior to the issuance of any building permits involving substantial redevelopment of the existing uses on Parcel 1.
8. All utilities installed after the date of approval of this plan by the Board of City Commissioners shall be installed underground.
9. Contingent Dedication In the event that the contingent dedications located within Parcel #1 and #2 are needed by the City of Wichita for fill, paving, installation of utilities, or other similar street uses, the additional street right-of-way as indicated on the plan shall become effective.
10. The transfer of title of all or any portion of the land included within the Community Unit Plan (or any amendments thereto) does not constitute a termination of the plan or any portion thereof, but said plan shall run with the land and be binding upon present owners, their successors and assigns.

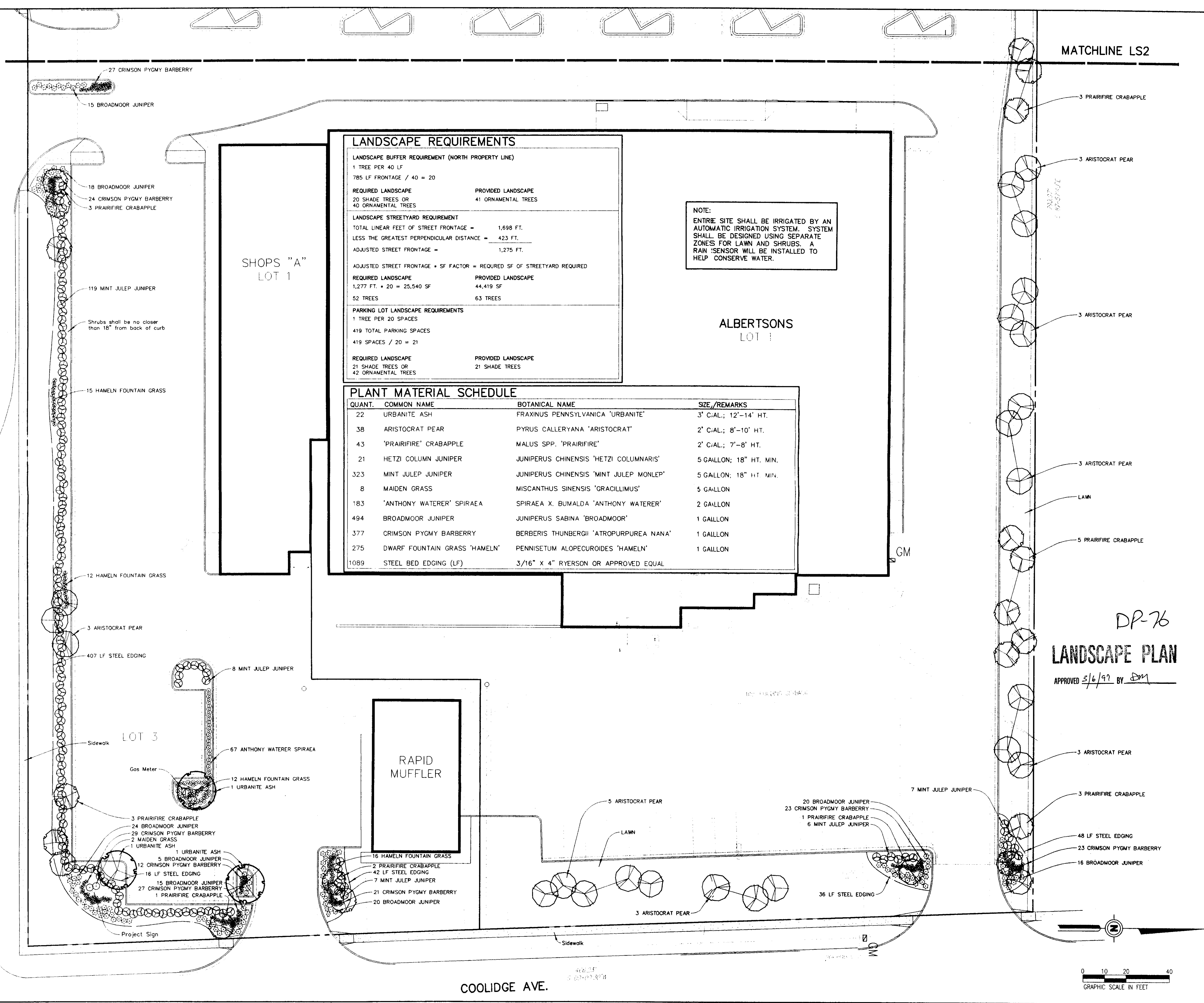
PARCEL #1

- Net Land Area 355,302 Sq. Ft. or 8.16 Acres
- Maximum Building Coverage shall not exceed 30% of the Net Land Area or 106,590 Sq. Ft.
- Maximum Gross Floor Area 159,885 Sq. Ft.
- Floor Area Ratio 45%
- Maximum Building Height 35 Feet
- Maximum Number of Buildings 2 SEE 9.9.96 ADM. ADJ.
- Building Setbacks 200 feet from Amidon
75 feet from 21st Street
145 feet & 35 feet (as shown on plan) from Coolidge SEE ADM. ADJUST. 9.9.96
66 feet from north property line
- Curb Cuts 2 to Amidon
1 to 21st Street
2 to Coolidge
The curb cut to 21st Street North and one curb cut to Amidon SEE ADM. ADJ. shall be designated and constructed to Major Approach Standards DOTD 9.9.96 and shall be completed prior to the issuance of an occupancy permit for the proposed new use.
- Parking Ratio As per zoning ordinance
- Proposed Land Use Grocery - Department Store - Retail Auto Supply and Services (M/T/R Shop)
Retail and personal service shops.

PARCEL #2

- Net Land Area 13,641 Sq. Ft. or 0.31 Acre
- Maximum Building Coverage shall not exceed 30% of the Net Land Area or 4090 Sq. Ft.
- Maximum Gross Floor Area 6138 Sq. Ft.
- Floor Area Ratio 45%
- Maximum Building Heights 20 feet
- Maximum Number of Buildings One
- Building Setbacks 35 feet from Amidon
35 feet from 21st Street
- Curb Cuts 1 to Amidon
1 to 21st Street
- Parking Ratio As per zoning ordinance
- Proposed Land Use Service Station - Liquor Store - Convenience grocery store - Retail and personal service shops, but excluding fast food/carry out establishments.

Revised 11-4-81
Revised 4-17-80
Revised 3-25-80
Revised 3-3-80
Baughman Co. 2-28-76



LANDSCAPE REQUIREMENTS	
LANDSCAPE BUFFER REQUIREMENT (NORTH PROPERTY LINE)	
1 TREE PER 40 LF	
785 LF FRONTAGE / 40 = 20	
REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
20 SHADE TREES OR	41 ORNAMENTAL TREES
40 ORNAMENTAL TREES	
LANDSCAPE STREETYARD REQUIREMENT	
TOTAL LINEAR FEET OF STREET FRONTAGE =	1,698 FT.
LESS THE GREATEST PERPENDICULAR DISTANCE =	423 FT.
ADJUSTED STREET FRONTAGE =	1,275 FT.
ADJUSTED STREET FRONTAGE * SF FACTOR =	REQUIRED SF OF STREETYARD REQUIRED
REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
1,277 FT. * 20 = 25,540 SF	44,419 SF
52 TREES	63 TREES
PARKING LOT LANDSCAPE REQUIREMENTS	
1 TREE PER 20 SPACES	
419 TOTAL PARKING SPACES	
419 SPACES / 20 = 21	
REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
21 SHADE TREES OR	21 SHADE TREES
42 ORNAMENTAL TREES	

PLANT MATERIAL SCHEDULE			
QUANT.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
22	URBANITE ASH	FRAXINUS PENNSYLVANICA 'URBANITE'	3' CIAL.; 12'-14' HT.
38	ARISTOCRAT PEAR	PYRUS CALLERYANA 'ARISTOCRAT'	2' CIAL.; 8'-10' HT.
43	'PRAIRIFIRE' CRABAPPLE	MALUS SPP. 'PRAIRIFIRE'	2' CIAL.; 7'-8' HT.
21	HETZI COLUMN JUNIPER	JUNIPERUS CHINENSIS 'HETZI COLUMNARIS'	5 GALLON; 18" HT. MIN.
323	MINT JULEP JUNIPER	JUNIPERUS CHINENSIS 'MINT JULEP MONLEP'	5 GALLON; 18" HT. MIN.
8	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	5 GALLON
183	'ANTHONY WATERER' SPIRAEA	SPIRAEA X. BUMALDA 'ANTHONY WATERER'	2 GALLON
494	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'	1 GALLON
377	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	1 GALLON
275	DWARF FOUNTAIN GRASS 'HAMELN'	PENNISETUM ALOPECUROIDES 'HAMELN'	1 GALLON
1089	STEEL BED EDGING (LF)	3/16" X 4" RYERSON OR APPROVED EQUAL	

NOTE:
ENTIRE SITE SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED USING SEPARATE ZONES FOR LAWN AND SHRUBS. A RAIN SENSOR WILL BE INSTALLED TO HELP CONSERVE WATER.

BED PREPARATION

ALL SHRUB AND GROUND COVER AREAS SHALL RECEIVE TWENTY-ONE (21) CUBIC FEET OF PINE BARK MULCH, NINE (9) CUBIC FEET OF AGED, STERILIZED COW MANURE, AND EIGHT (8) CUBIC FEET OF COARSE SAND PER 100 SQUARE FEET OF BED AREA. ROTO-TILL AMENDMENTS INTO SOIL TO A DEPTH OF EIGHT (8) INCHES.

MIX SIERRA 17-6-12 PLUS MINORS INTO THE TOP TWO (2) INCHES OF SOIL IN THE PLANTING BEDS AT A RATE OF FIVE (5) POUNDS PER 100 SQUARE FEET.

EACH TREE SHALL RECEIVE THREE (3) CUBIC FEET OF PINE BARK MULCH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY FOUR (4) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE SMALLER THAN TWO INCHES IN CALIPER. APPLY SIX (6) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE HAVING A TRUNK TWO INCHES IN CALIPER OR LARGER. EACH PINE TREE SHALL RECEIVE FOUR (4) TABLETS PER TREE. EQUALLY SPACE TABLETS SIX (6) INCHES OUTSIDE THE BURLAP AND FOUR (4) INCHES BELOW FINISH GRADE.

MULCH

MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED CYPRESS MULCH TO A DEPTH OF TWO INCHES.

LAWN

ALL AREAS INDICATED ON DRAWINGS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH SOLID SLAB HYBRID FESCUE SOD. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

SPRING: APPLY ULTIMATE GREEN 20-5-10 BY ZIPP INDUSTRIES AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

FALL: APPLY 10-20-10 GRANULAR FERTILIZER AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

GENERAL NOTES

CALL 1-800-344-7233 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY BE ON THE PROJECT SITE DURING LANDSCAPE INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES THREE (3) INCHES ABOVE FINISHED GRADE.

CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL.

ALL TREES PLANTED IN THE PARKING ISLANDS SHALL HAVE A ROCK SUMP 30" IN DEPTH AND 8" IN DIAMETER. ROCK SHALL BE 3/4" - 1 1/2" IN SIZE AND WASHED. TOP OF SUMP SHALL BE COVERED WITH FILTER FABRIC.

PLANT SHRUBS TWO (2) INCHES ABOVE FINISHED GRADE.

CROWN ISLANDS 6" ABOVE TOP OF CURB OR AS DIRECTED ON THE DRAWINGS.

ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS.

PLANT SPACING

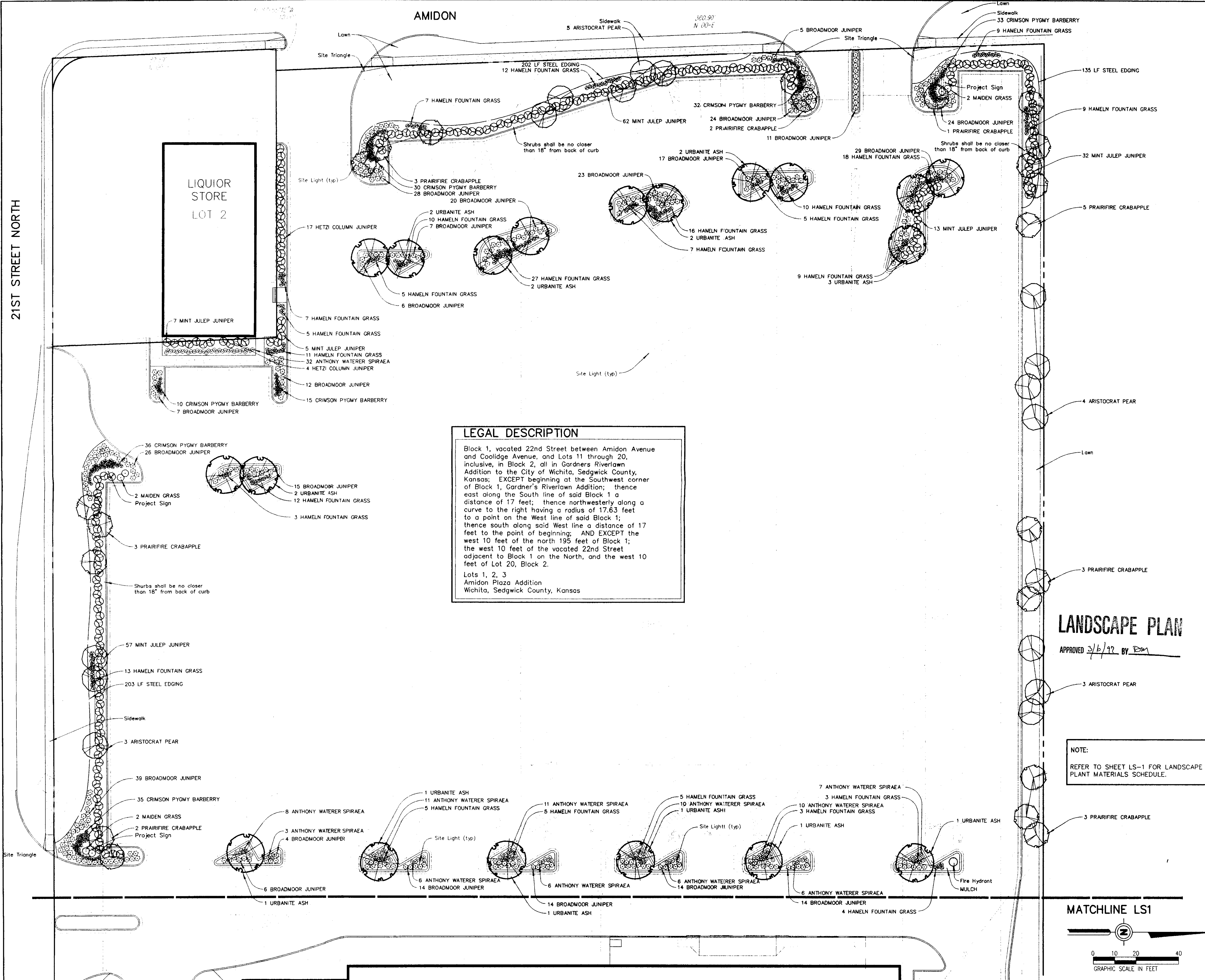
HETZI COLUMN JUNIPER	42" O.C.
MINT JULEP JUNIPER	42" O.C.
MAIDEN GRASS	36" O.C.
BROADMOOR JUNIPER	30" O.C.
'ANTHONY WATERER' SPIRAEA	21" O.C.
DWARF FOUNTAIN GRASS 'HAMELN'	18" O.C.
CRIMSON PYGMY BARBERRY	15" O.C.

MATCHLINE LS2

DP-76
LANDSCAPE PLAN

APPROVED 5/6/97 BY DM

2/14/97 ISSUED FOR REVIEW	
NO.	DATE
REVISIONS	
ALBERTSONS	
AMIDON & 21ST STREET NORTH WICHITA, KANSAS	
ALBERTSONS	
250 PARK CENTER BLVD.; BOX 20 BOISE, IDAHO 83726	
LANDSCAPE PLAN	
JOB NUMBER 27000033	PROTOTYPE
DESIGNED BY: DTA / AJR	STORE NUMBER
DRAWN BY: AJR	
APPROVED BY: DTA	
DATE: 2/14/97	
SHEET NUMBER	



21ST STREET NORTH

AMIDON

LEGAL DESCRIPTION

Block 1, vacated 22nd Street between Amidon Avenue and Coolidge Avenue, and Lots 11 through 20, inclusive, in Block 2, all in Gardner's Riverlawn Addition to the City of Wichita, Sedgwick County, Kansas; EXCEPT beginning at the Southwest corner of Block 1, Gardner's Riverlawn Addition; thence east along the South line of said Block 1 a distance of 17 feet; thence northwesterly along a curve to the right having a radius of 17.63 feet to a point on the West line of said Block 1; thence south along said West line a distance of 17 feet to the point of beginning; AND EXCEPT the west 10 feet of the north 195 feet of Block 1; the west 10 feet of the vacated 22nd Street adjacent to Block 1 on the North, and the west 10 feet of Lot 20, Block 2.

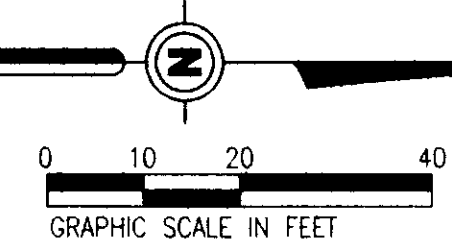
Lots 1, 2, 3
Amidon Plaza Addition
Wichita, Sedgwick County, Kansas

LANDSCAPE PLAN

APPROVED 3/6/92 BY [Signature]

NOTE:
REFER TO SHEET LS-1 FOR LANDSCAPE
PLANT MATERIALS SCHEDULE.

MATCHLINE LS1



BED PREPARATION

ALL SHRUB AND GROUND COVER AREAS SHALL RECEIVE TWENTY-ONE (21) CUBIC FEET OF PINE BARK MULCH, NINE (9) CUBIC FEET OF AGED, STERILIZED COW MANURE, AND EIGHT (8) CUBIC FEET OF COARSE SAND PER 100 SQUARE FEET OF BED AREA. ROTO-TILL AMENDMENTS INTO SOIL TO A DEPTH OF EIGHT (8) INCHES.

MIX SIERRA 17-6-12 PLUS MINORS INTO THE TOP TWO (2) INCHES OF SOIL IN THE PLANTING BEDS AT A RATE OF FIVE (5) POUNDS PER 100 SQUARE FEET.

EACH TREE SHALL RECEIVE THREE (3) CUBIC FEET OF PINE BARK MULCH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY FOUR (4) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE SMALLER THAN TWO INCHES IN CALIPER. APPLY SIX (6) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE HAVING A TRUNK TWO INCHES IN CALIPER OR LARGER. EACH PINE TREE SHALL RECEIVE FOUR (4) TABLETS PER TREE. EQUALLY SPACE TABLETS SIX (6) INCHES OUTSIDE THE BURLAP AND FOUR (4) INCHES BELOW FINISH GRADE.

MULCH

MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED CYPRESS MULCH TO A DEPTH OF TWO INCHES.

LAWN

ALL AREAS INDICATED ON DRAWINGS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH SOLID SLAB HYBRID FESCUE SOD. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

SPRING: APPLY ULTIMATE GREEN 20-5-10 BY ZIPP INDUSTRIES AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

FALL: APPLY 10-20-10 GRANULAR FERTILIZER AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

GENERAL NOTES

CALL 1-800-344-7233 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY BE ON THE PROJECT SITE DURING LANDSCAPE INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT TREES THREE (3) INCHES ABOVE FINISHED GRADE.

CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL.

ALL TREES PLANTED IN THE PARKING ISLANDS SHALL HAVE A ROCK SUMP 30" IN DEPTH AND 8" IN DIAMETER. ROCK SHALL BE 3/4" - 1 1/2" IN SIZE AND WASHED. TOP OF SUMP SHALL BE COVERED WITH FILTER FABRIC.

PLANT SHRUBS TWO (2) INCHES ABOVE FINISHED GRADE.

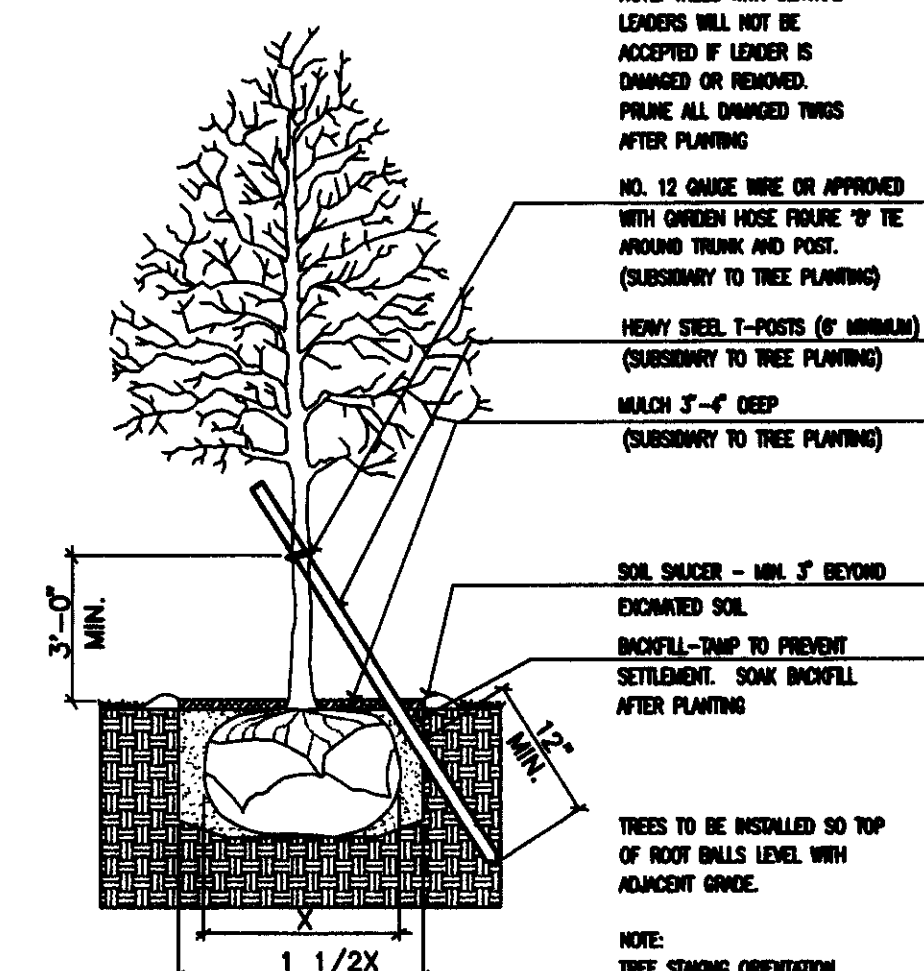
CROWN ISLANDS 6" ABOVE TOP OF CURB OR AS DIRECTED ON THE DRAWINGS.

ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS.

PLANT SPACING

HETZI COLUMN JUNIPER	42" O.C.
MINT JULEP JUNIPER	42" O.C.
MAIDEN GRASS	36" O.C.
BROADMOOR JUNIPER	30" O.C.
'ANTHONY WATERER' SPIRAEA	21" O.C.
DWARF FOUNTAIN GRASS 'HAMELN'	18" O.C.
CRIMSON PYGMY BARBERRY	15" O.C.

2/14/92 ISSUED FOR REVIEW	
NO.	DATE
REVISIONS	
ALBERTSONS AMIDON & 21ST STREET NORTH WICHITA, KANSAS	
ALBERTSONS 250 PARK CENTER BLVD., BOX 20 BOISE, IDAHO 83726	
LANDSCAPE PLAN	
JOB NUMBER 27000033	PROTOTYPE STORE NUMBER
DESIGNED BY: DTA / AJR	
DRAWN BY: AJR	
APPROVED BY: DATE: 2/14/92	
SHEET NUMBER LS102 OF 2	



TREE PLANTING & STAKING DETAIL

LEGAL DESCRIPTION:

LOT 2, AMIDON PLAZA ADDITION
WICHITA, SEDGWICK CO., KANSAS
ZONING:
L.C. - LIMITED COMMERCIAL

APPROVED 7/30/13 BY Nag

1. CONTRACTOR SHALL PROVIDE A MINIMUM FORTY EIGHT (48) HOURS ADVANCE NOTICE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO BEGINNING ANY EXCAVATION, TO KANSAS ONE-CALL SYSTEM AT 811 TO REQUEST THE LOCATION OF ALL PUBLIC UTILITIES WITHIN THE PROJECT AREA.
2. CONTRACTOR SHALL SATISFY HIMSELF OF SURFACE AND SUBSURFACE CONDITIONS PRIOR TO BIDDING.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
4. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND IMPROVEMENTS CONSTRUCTED UNDER OTHER PROJECTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO IMPROVEMENTS IN PLACE, COSTS FOR COORDINATION AND REPAIRS TO IMPROVEMENTS IN PLACE, IF REQUIRED, SHALL BE BORNE BY THE CONTRACTOR.
5. ALL PLANT MATERIAL SHALL BE HIGH-QUALITY NURSERY GROWN STOCK WHICH MEETS THE "AMERICAN ASSOCIATION OF NURSERYMEN" STANDARDS AS SPECIFIED BY THE "AMERICAN NATIONAL STANDARDS INSTITUTE" IN ANSI Z60.1-1986 OR AS MAY BE AMENDED IN THE FUTURE.
6. MULCH ALL SHRUB BEDS WITH A MINIMUM OF 3" SHREDDED CYPRESS MULCH.
7. ALL TURF AREAS TO BE SOODED WITH KANSAS PREMIUM BLEND FESCUE SOD.
8. ALL TURF AREAS TO HAVE A MINIMUM OF 6" TOPSOIL, FREE FROM ROCKS & DEBRIS.

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NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL AIA REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR UNDO LOADS. THE FAILURE OF THIS CONSTRUCTION TO MEET REQUIREMENTS OF ANY OF THESE DOCUMENTS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNERS/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE PROJECT SITE TO OBTAIN ADDITIONAL INFORMATION AND ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.