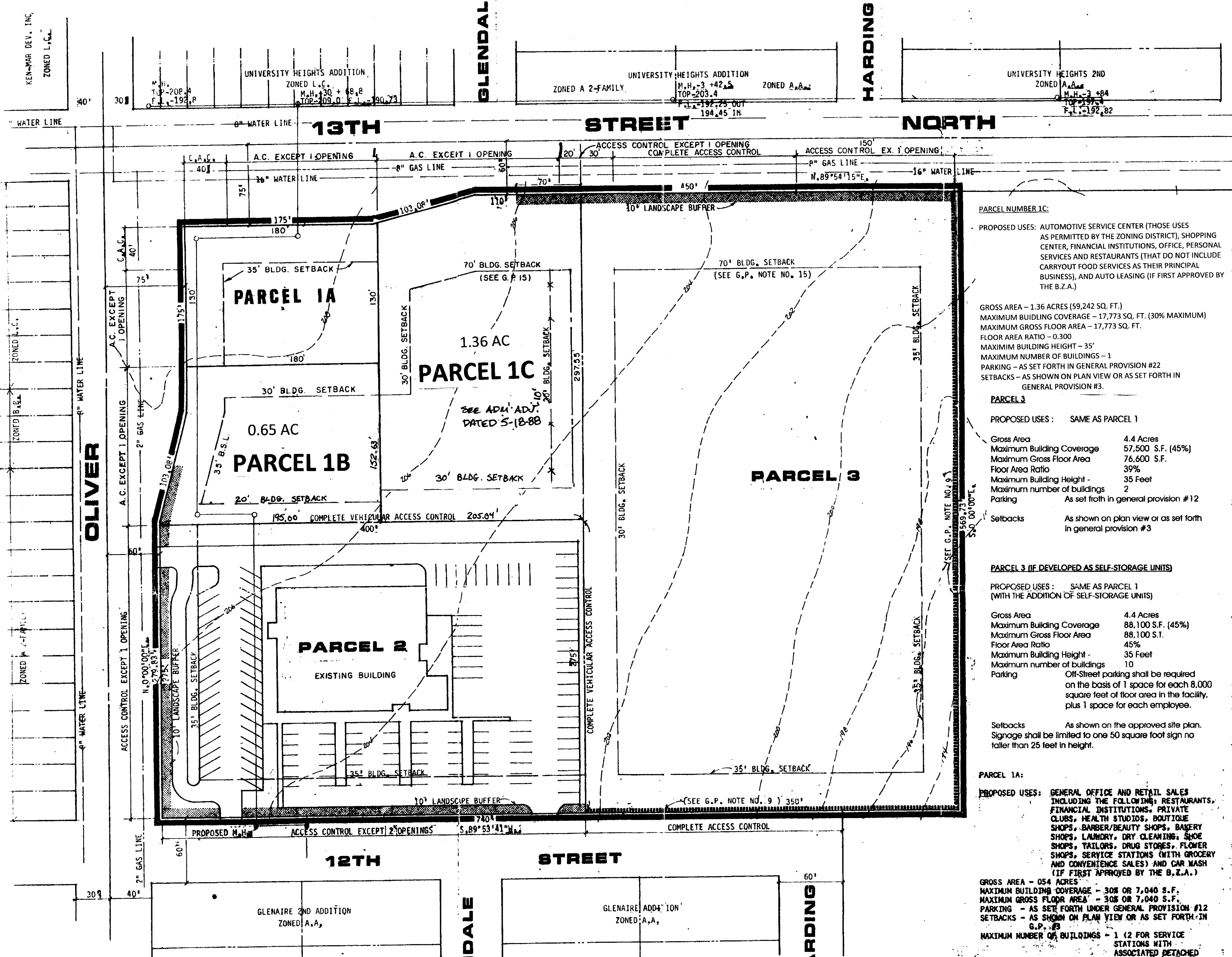




APPROVED DUP DP-135
DATE 9-24-98 DM
5848P

AMENDED BY POE & ASSOCIATES 5/3/12
COMMUNITY UNIT PLAN (AMENDED BY P.E.C., P.A.)

LAMBSDALE

PARCEL NUMBER 1C:
PROPOSED USES: AUTOMOTIVE SERVICE CENTER (THOSE USES AS PERMITTED BY THE ZONING DISTRICT), SHOPPING CENTER, FINANCIAL INSTITUTIONS, OFFICE, PERSONAL SERVICES AND RESTAURANTS (THAT DO NOT INCLUDE CARRYOUT FOOD SERVICES AS THEIR PRINCIPAL BUSINESS), AND AUTO LEASING (IF FIRST APPROVED BY THE B.Z.A.)

GROSS AREA - 1.36 ACRES (59,242 SQ. FT.)
MAXIMUM BUILDING COVERAGE - 17,773 SQ. FT. (30% MAXIMUM)
MAXIMUM GROSS FLOOR AREA - 17,773 SQ. FT.
FLOOR AREA RATIO - 0.300
MAXIMUM BUILDING HEIGHT - 35'
MAXIMUM NUMBER OF BUILDINGS - 1
PARKING - AS SET FORTH IN GENERAL PROVISION #22
SETBACKS - AS SHOWN ON PLAN VIEW OR AS SET FORTH IN GENERAL PROVISION #3.

PARCEL 3
PROPOSED USES: SAME AS PARCEL 1
Gross Area 4.4 Acres
Maximum Building Coverage 57,500 S.F. (45%)
Maximum Gross Floor Area 76,600 S.F.
Floor Area Ratio 39%
Maximum Building Height 35 Feet
Maximum number of buildings 2
Parking As set forth in general provision #12
Setbacks As shown on plan view or as set forth in general provision #3

PARCEL 3 (IF DEVELOPED AS SELF-STORAGE UNITS)
PROPOSED USES: SAME AS PARCEL 1 (WITH THE ADDITION OF SELF-STORAGE UNITS)
Gross Area 4.4 Acres
Maximum Building Coverage 88,100 S.F. (45%)
Maximum Gross Floor Area 88,100 S.F.
Floor Area Ratio 45%
Maximum Building Height 35 Feet
Maximum number of buildings 10
Parking Off-street parking shall be required on the basis of 1 space for each 8,000 square feet of floor area in the facility, plus 1 space for each employee.
Setbacks As shown on the approved site plan.
Signage shall be limited to one 50 square foot sign no taller than 25 feet in height.

PARCEL 1A:
PROPOSED USES: GENERAL OFFICE AND RETAIL SALES INCLUDING THE FOLLOWING: RESTAURANTS, FINANCIAL INSTITUTIONS, PRIVATE CLUBS, HEALTH STUDIOS, BOUTIQUE SHOPS, BARBER/BEAUTY SHOPS, BAKERY SHOPS, LAUNDRY, DRY CLEANING, SHOE SHOPS, TAILORS, DRUG STORES, FLOWER SHOPS, SERVICE STATIONS (WITH GROCERY AND CONVENIENCE SALES) AND CAR WASH (IF FIRST APPROVED BY THE B.Z.A.)

GROSS AREA - 0.54 ACRES
MAXIMUM BUILDING COVERAGE - 30% OR 7,040 S.F.
MAXIMUM GROSS FLOOR AREA - 30% OR 7,040 S.F.
PARKING - AS SET FORTH UNDER GENERAL PROVISION #12
SETBACKS - AS SHOWN ON PLAN VIEW OR AS SET FORTH IN G.P. #3
MAXIMUM NUMBER OF BUILDINGS - 1 (2 FOR SERVICE STATIONS WITH ASSOCIATED DETACHED CAR WASH)

PARCEL 1:
PROPOSED USES: AUTOMOTIVE SERVICE CENTER (THOSE USES AS PERMITTED BY THE ZONING DISTRICT), SHOPPING CENTER, FINANCIAL INSTITUTIONS, OFFICE, PERSONAL SERVICES AND RESTAURANTS (THAT DO NOT INCLUDE CARRYOUT FOOD SERVICES AS THEIR PRINCIPAL BUSINESS), AND AUTO LEASING (IF FIRST APPROVED BY THE B.Z.A.)

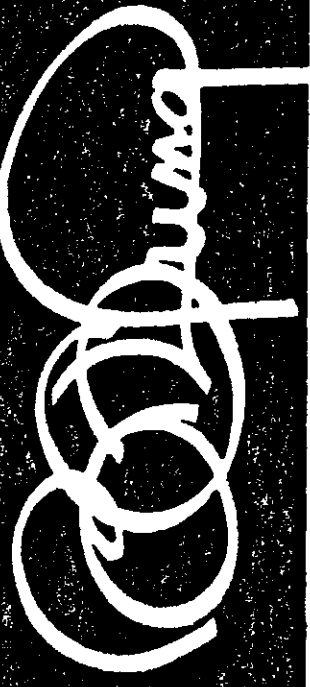
GROSS AREA - 2.5+ ACRES
MAXIMUM BUILDING COVERAGE - 33,000 S.F.
MAXIMUM GROSS FLOOR AREA - 44,000 S.F.
FLOOR AREA RATIO - 0.40
MAXIMUM BUILDING HEIGHT - 35'
MAXIMUM NUMBER OF BUILDINGS - 1
PARKING - AS SET FORTH UNDER GENERAL PROVISION #12
SETBACKS - AS SHOWN ON PLAN VIEW OR AS SET FORTH IN GENERAL PROVISION #3.

3B. THE REAR SETBACK OF PARCEL 1B SHALL BE EITHER 5 FEET OR, 0 FEET IF A 10 FOOT ACCESS EASEMENT CAN BE OBTAINED FROM THE ADJOINING PROPERTY OWNER. PARCEL 1B WILL BE SUBJECT TO SITE PLAN APPROVAL.

9. (B)
IF PARCEL THREE IS DEVELOPED AS SELF-STORAGE UNITS, THE BUILDINGS MAY BE SITUATED SO THAT THE EXTERIOR WALLS ARE UTILIZED AS BUFFER WALLS WHERE ADJACENT TO RESIDENTIALLY ZONED AREAS TO THE NORTH, EAST AND SOUTH, AND TO WHERE THERE ARE NO DOORS FACING OUTWARD IN THESE DIRECTIONS.
IF DEVELOPED AS SELF-STORAGE UNITS, THE 10' PLANTING STRIP REQUIREMENTS ALONG THE EAST SIDE OF PARCEL THREE SHALL BE WAIVED AS LONG AS THE EXTERIOR BUILDING WALLS ADJACENT TO THE RESIDENTIALLY ZONED PROPERTY TO THE EAST CONSISTS OF DRYWIT OR OTHER MATERIALS APPROVED BY THE CITY OF WICHITA PLANNING DEPARTMENT FOR A DISTANCE OF 100' NORTH OF THE SOUTH EXTERIOR BUILDING LINE AND 100' SOUTH OF THE NORTH EXTERIOR BUILDING LINE. THIS ALSO APPLIES TO THE WEST SIDE. THE NORTH AND SOUTH BUILDING EXTERIOR SHALL CONSIST OF FULL DRYWIT OR APPROVED MATERIAL. COLORS SHALL BE EARTH TONES ALLOWING MINIMUM VIVID COLORS TO BE USED AS TRIM OR ACCENTS. IF DEVELOPED AS SELF-STORAGE UNITS, THE LANDSCAPE PLAN SHALL SHOW 1.5 TIMES THE REQUIRED AMOUNT ALONG THE SOUTH PROPERTY LINE. NORMAL LANDSCAPE REQUIREMENTS ALONG THE NORTH AND TREE PLANTINGS TO FILL IN THE EXISTING GAP IN THE EAST TREE ROW FOR A SOLID BUFFER STRIP. IF AT ANY TIME THE EXISTING HEDGEROW TO THE EAST IS REMOVED, THE OWNER OF PARCEL THREE SHALL BE RESPONSIBLE FOR PLANTING TREES ALONG SAID LINE AT 1.5 TIMES THE REQUIRED LANDSCAPE ORDINANCE AMOUNT.

GENERAL PROVISIONS

- THIS DEVELOPMENT IS PROPOSED TO CONTAIN 9.43 GROSS ACRES, MORE OR LESS.
- THE PROPOSED DEVELOPMENT CONTAINS 4 PARCELS WITH USES RANGING FROM LIGHT COMMERCIAL TO OFFICE. SEE SPECIFIC USES BY PARCEL DESCRIPTIONS.
- SETBACKS ARE AS INDICATED ON PLAN VIEW OR AS DESCRIBED IN PARCEL DESCRIPTIONS OR IN GENERAL AS FOLLOWS:
35' SETBACK ON 12TH STREET NORTH, OLIVER STREET AND 13TH STREET NORTH. (SEE G.P. #15.)
35' SETBACK ON EAST LINE OF PARCEL 3.
30' SETBACK ON SOUTH SIDE OF PARCEL 1C, 20' SETBACK ON PARCEL 1B PER ADM ADJUSTMENT 3/7/12
30' SETBACK ON EITHER SIDE OF THE PROPERTY LINE BETWEEN LOTS 1 AND 3 EXCEPT IF LOTS ARE DEVELOPED AS ONE LOT THEN SETBACKS SHALL BE ELIMINATED.
*SEE ABOVE NOTE 3B.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- SIGNS AS PERMITTED BY ZONING DISTRICT DESIGNATING THE NAME OF THE DEVELOPMENT SHALL BE PERMITTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 28.04.139 OF THE CODE OF THE CITY OF WICHITA. SIGNS SHALL NOT EXCEED 35' IN HEIGHT, NO ROTATING OR FLASHING LIGHTS ARE PERMITTED, NO BILLBOARDS OR PORTABLE SIGNS.
- ALL DRIVES AND PARKING AREAS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNERS ASSOCIATIONS.
- ALL DRAINAGE WAYS AND DRAINAGE EASEMENTS SHALL BE DETERMINED AT THE TIME OF PLATTING. A LOT GRADING PLAN WILL BE PREPARED IN CONFORMANCE WITH THE GENERAL DRAINAGE CONCEPT PLAN FOR REVIEW PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- FINAL DETERMINATION OF STREET RIGHT-OF-WAY AND PAVEMENT WIDTHS ON PUBLIC STREETS SHALL BE RESOLVED AT THE TIME OF PLATTING.
- A FIVE (5) TO EIGHT (8) FOOT SOLID OR SEMI-SOLID WALL SHALL BE CONSTRUCTED OF STONE, MASONRY ARCHITECTURAL TILE OR OTHER SIMILAR MATERIAL (NOT INCLUDING WOOD OR WOVEN WIRE) AROUND ALL STORAGE OR SERVICE AREAS WHEN ACROSS FROM RESIDENTIALLY ZONED AREAS, PROVIDING THE PROPOSED STRUCTURE IS DESIGNED WITH ALL FOUR EXTERIOR SURFACES HAVING EQUAL DESIGN CONSIDERATION AND THAT THERE IS NO APPARENT BACK OF BUILDING AND A TEN (10) FOOT PLANTING STRIP CONSISTING OF A COMBINATION OF GRASS, LOW SHRUBS AND TREES, SHALL BE REQUIRED ALONG THOSE PROPERTY LINES WHERE ACROSS FROM RESIDENTIALLY ZONED AREAS.
SEE GENERAL PROVISION 9 (B) ABOVE.
- A LANDSCAPE PLAN, PREPARED BY A LANDSCAPE ARCHITECT FOR THE PLANTING STRIP(S) INDICATING THE LOCATION, TYPE AND SPECIFICATIONS OF PLANT MATERIALS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR THEIR REVIEW AND APPROVAL PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S) ON THE PARCELS INVOLVED. THE LANDSCAPE PLAN SHALL ALSO DEPICT PROPOSED METHODS OF PROVIDING WATER TO THE REQUIRED PLANT MATERIALS.
- FAILURE TO PROPERLY MAINTAIN THE TEN (10) FOOT PLANTING STRIP SHALL BE CONSIDERED A VIOLATION OF THE C.U.P. AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND THE SUPERINTENDENT OF CENTRAL INSPECTION THAT THE PLANTS ARE NOT PROPERLY MAINTAINED, A FINANCIAL GUARANTEE FOR THE PLANT MATERIALS AND WATERING SYSTEM APPROVED FOR THE LANDSCAPE PLAN SHALL BE REQUIRED PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT IF THE REQUIRED LANDSCAPING HAS NOT BEEN COMPLETED.
- THE DIRECTOR OF PLANNING, AFTER SUBMISSION OF LANDSCAPE, WALL AND/OR FENCE PLANS MAY APPROVE A WAIVER OF THE MASONRY WALL ALONG THE SOUTH SIDE OF PARCEL 2 AND THE RELOCATION OF THE 10' LANDSCAPE STRIP ALONG THE WEST SIDE OF PARCEL 2.
- THE TRANSFER OF TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE C.U.P. DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, BUT SAID PLAN SHALL RUN WITH THE LAND FOR COMMERCIAL DEVELOPMENT AND BE BINDING UPON THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.
- PARKING SHALL BE PROVIDED AS REQUIRED BY ZONING ORDINANCE. ALL PARKING AND DRIVES SHALL BE HARD SURFACED WITH CONCRETE OR ASPHALT.
- THE CONSTRUCTION OF THE CONTINUOUS DECEL LANES ALONG OLIVER AND 13TH STREET NORTH WILL BE GUARANTEED AT THE TIME OF PLATTING. THAT PORTION OF THE DECEL LANE IN FRONT OF THE POST OFFICE SHALL BE CONSTRUCTED AT THE SAME TIME AS THE POST OFFICE.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE POST OFFICE FACILITY, OR FOR BANKS, SAVINGS AND LOANS OR OTHER FINANCIAL INSTITUTIONS WITH DRIVE THROUGH FACILITIES, A SITE PLAN SHOWING CIRCULATION AISLES AND DRIVES SHALL BE SUBMITTED TO THE DIRECTOR OF PLANNING AND TO THE SUBDIVISION COMMITTEE FOR REVIEW AND APPROVAL.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS FOR THE POST OFFICE FACILITY, OR FOR BANKS, SAVINGS AND LOANS OR OTHER FINANCIAL INSTITUTIONS WITH DRIVE THROUGH FACILITIES, A SITE PLAN SHOWING CIRCULATION AISLES AND DRIVES SHALL BE SUBMITTED TO THE DIRECTOR OF PLANNING AND TO THE SUBDIVISION COMMITTEE FOR REVIEW AND APPROVAL.
- FOR PARCELS 1 AND 3, THE SETBACK ALONG 13TH STREET NORTH SHALL BE 35' PROVIDING NO PARKING IS ALLOWED IN THE 35' SETBACK. THIS AREA CAN THEN ONLY BE USED FOR LANDSCAPING. IF PARKING IN FRONT OF PROPOSED STRUCTURES IS PLANNED, THEN THE BUILDING SETBACK SHALL BE 70' ALONG 13TH STREET NORTH FOR PARCELS 1 AND 3.
- NO OVERNIGHT STORAGE OF VEHICLES SHALL BE PERMITTED OUTSIDE OF ANY STRUCTURE.
- ALL LIGHTS WITHIN PARCEL THREE SHALL BE SHIELDED TO DIRECT LIGHT ONTO THE PROPOSED STRUCTURES AND AWAY FROM THE ADJACENT PROPERTIES, BUT MAY BE OF SUFFICIENT INTENSITY TO DISCOURAGE VANDALISM AND THEFT.
- NO ACTIVITIES SUCH AS MISCELLANEOUS OR GARAGE SALES SHALL BE CONDUCTED ON PARCEL THREE.
- PARCEL THREE SHALL BE PROPERLY POLICED BY THE OWNER OR OPERATOR FOR THE REMOVAL OF TRASH AND DEBRIS.
- NO INDIVIDUAL OR BUSINESS WITHIN PARCEL THREE SHALL BE ALLOWED TO LEASE MORE THAN 3,000 SQUARE FEET OF STORAGE SPACE AT ONE TIME.



13TH STREET NORTH.

2 - Oklahoma
Redbud6 - Little Princess
Spirea3 - Autumn Blaze Maple
25' O.C.4 - Em. Gold
Euonymus4 - Em. Gold
Euonymus3 - Autumn Blaze Maple
25' O.C.

PROPOSED LANDSCAPE PLAN

FOR INDOOR STORAGE UNITS

DP-135 Page 3
LANDSCAPE PLAN

APPROVED 11/6/98 BY [Signature]
MAPD Copy 1 of 2

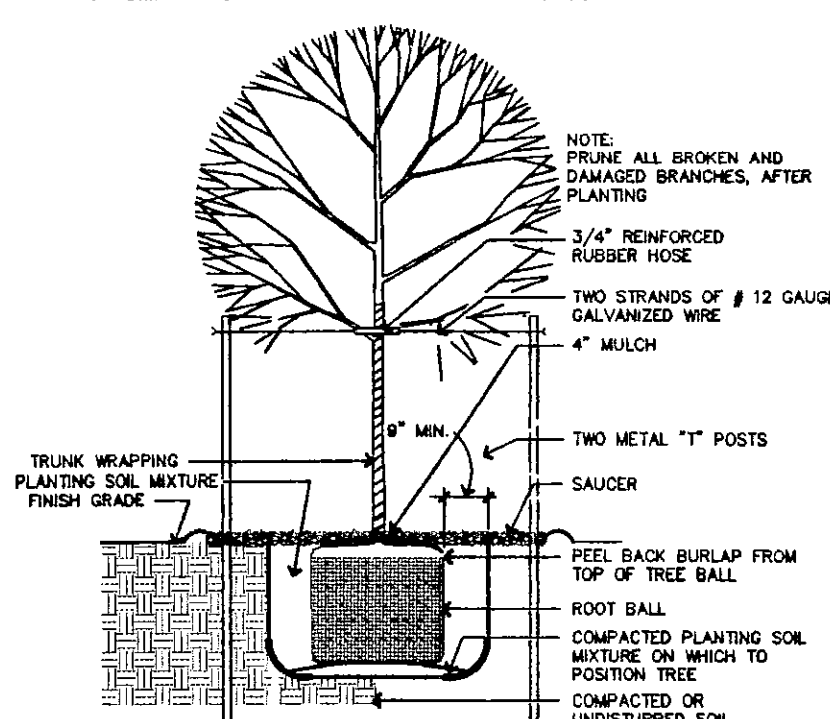
LOT 25 & LOT 26, BLOCK 1, WILLIAMSBURG
AN ADDITION TO WICHITA,
SEDGWICK COUNTY, KANSAS

PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
TREES				
2	OKLAHOMA REDBUD	Cercis canadensis 'Oklahoma'	2' to 2 1/2' cal.	BB
2	TRINITY PEAR	Pyrus calleryana 'Trinity'	2' to 2 1/2' cal.	BB
6	AUTUMN BLAZE MAPLE	Acer Rubrum 'Autumn Blaze'	2' to 2 1/2' cal.	BB
2	BLUE SPRUCE	Picea pungens var. Glauca	6'- 8'	BB
28	SCOTCH PINE	Pinus Sylvestrus	6'- 8'	BB
SHRUBS				
18	EMERALD N GOLD EUONYMUS	Euonymus fortunei 'Emerald n' Gold'	2 Gal.	Cont.
16	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	2 Gal.	Cont.
16	BROADMOOR JUNIPER	Juniperus sabina 'Broadmoor'	2 Gal.	Cont.
6	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	2 Gal.	Cont.

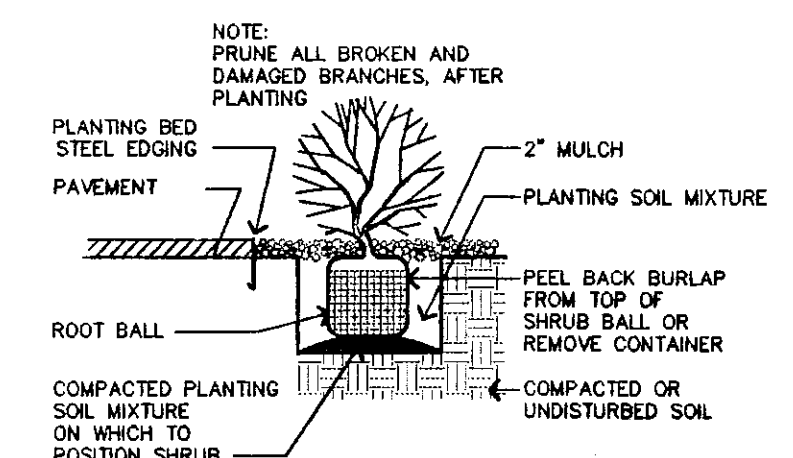
LANDSCAPE NOTES

- ALL WORK SHALL BE DONE AS PER THE CITY OF WICHITA LANDSCAPE SPECIFICATIONS AND LOCAL NURSERY STANDARDS.
- ALL TREES WITH BROKEN LEADERS WILL NOT BE ACCEPTED. ALL LANDSCAPING TO BE INSPECTED BY THE PROJECT MANAGER UPON DELIVERY.
- TOPSOIL, HAULED ONTO SITE SHALL BE FERTILE, FRIABLE, NATURAL SANDY LOAM TOPSOIL, OF UNIFORM QUALITY CHARACTERISTIC OF REPRESENTATIVE LOCAL SOILS WHICH PRODUCE HEAVY GROWTH OF CROPS, GRASS OR OTHER VEGETATION. IT SHALL BE FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, ROOTS, STONES, TRASH OR OTHER MATTER TOXIC TO PLANT GROWTH.
TOPSOIL SHALL BE DELIVERED IN AN UNFROZEN AND NON-MUDDY CONDITION AND SHALL BE SUBJECT TO APPROVAL BY THE PROJECT MANAGER.
- PLASTIC EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING SHALL BE CORRA COMMERCIAL GRADE OR AN APPROVED EQUAL.
- ALL PLANTING BEDS FOR SHRUBS SHALL HAVE THE EXISTING SOIL REMOVED AND REPLACED 18" IN DEPTH WITH THE APPROVED TOPSOIL, UNLESS THE EXISTING SOIL IS OF SIMILAR QUALITY AS THE APPROVED TOPSOIL.
- CONTRACTOR SHALL INSTALL DEWITT WEED BARRIER FABRIC OR APPROVED EQUAL IN ALL PLANTING BEDS PRIOR TO MULCHING.
- INSTALL 2" DEPTH OF MULCH IN ALL SHRUB PLANTING BEDS AND 4" DEPTH OF MULCH IN ALL TREE PLANTINGS. MULCH SHALL BE SHREDED CYPRESS MULCH.
- ALL AREAS MARKED AS SEED SHALL BE A FESCUE BLEND.
- CONTRACTOR SHALL LOCATE ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION BY CALLING KANSAS ONE-CALL @ 887-2470. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED AND IS TO SEE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A BID WITH UNIT PRICES FOR ALL PLANTS WHICH INCLUDE MULCH, INSTALLATION, STAKING, AND GUARANTEES.
- IRRIGATION OF PROPOSED GRASS, SHRUBS AND TREES SHALL BE ACCOMPLISHED BY THE USE OF AN AUTOMATIC IRRIGATION SYSTEM.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE PROJECT MANAGER PRIOR TO THE START OF ANY CONSTRUCTION.



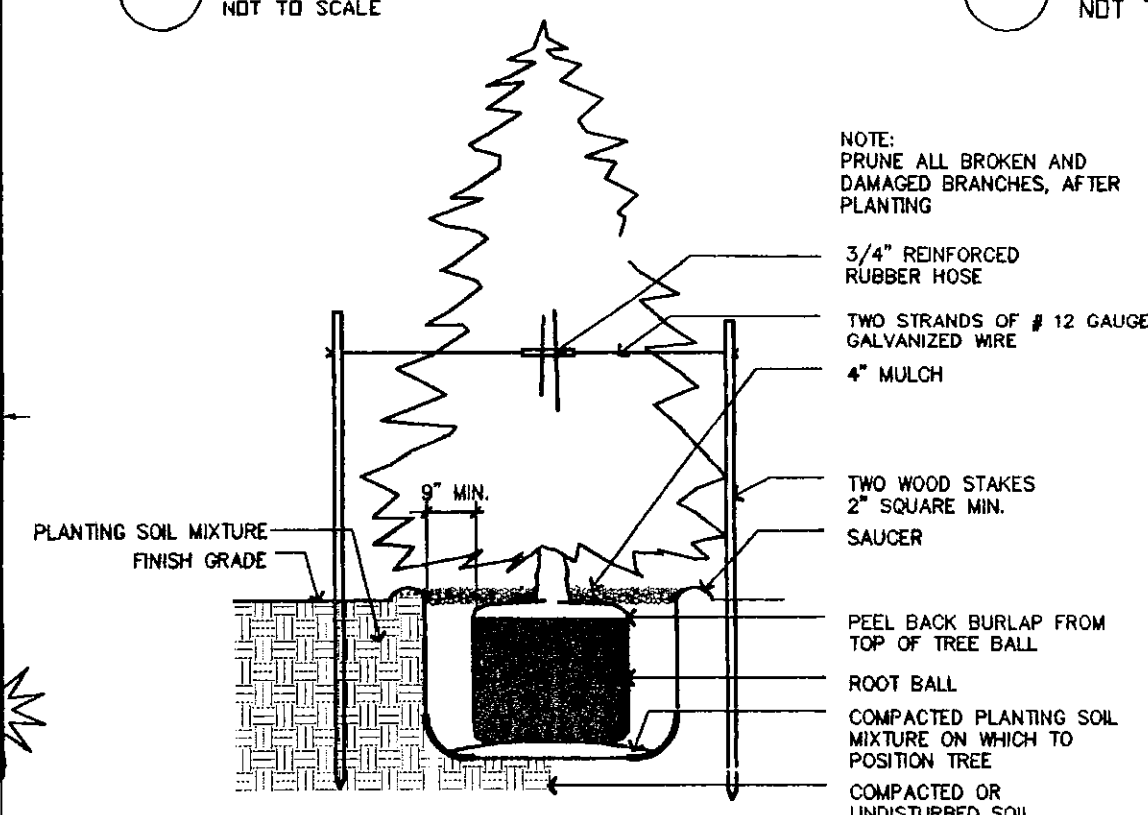
DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



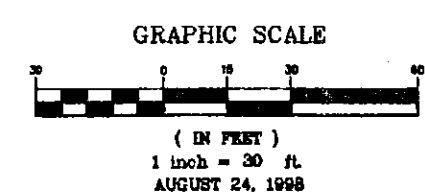
SHRUB PLANTING DETAIL

NOT TO SCALE



CONIFER TREE PLANTING DETAIL

NOT TO SCALE



SECTION 0204 LANDSCAPE SPECIFICATIONS

100 GENERAL

- Prior to construction or installation of the landscape, the contractor shall locate all underground utilities and shall use proper procedures so as not to disturb them. Any damage done to underground utilities or structures shall be repaired at the landscape contractor's expense.
- Scope of work: The include but not limited to:
 - Grading and leveling of all landscaped areas.
 - Clearing out of all weeds and debris and any other material that may be harmful to or hinder the growth of the plant material.
 - Forming and installation of plant material, root, ground cover, vegetative ground cover, boulders, irrigation system, plant protection and other items that may be required for a complete installation.
 - Maintenance of the landscape areas during the period of construction.
 - Cleanup and dressing of all landscape areas at the completion of the installation and prior to final acceptance by owner.
- All plant material shall conform to grading, type, etc., as set forth in the "American Standard for Nursery Stock" by the American Association of Nurserymen. Plants shall be free from disease and insects, size and quality shall be equal to or better than specified.
- Landscape Contractor shall prepare for the General Contractor shall receive all grades including top soil, 4" depth of a foot of the grade as called for on the drawings.
- All landscape areas shall slope away from the building and other structures.
- All operations shall be "held up" first and only placing any material. Report all discrepancies to the owner representative before proceeding with the work.
- Landscape contractor shall coordinate his work with other contractors on the job in order to minimize conflict and prevent delay of the completion of the project.
- Landscape areas shall be maintained while under construction. Maintenance shall include: watering, trimming, weeding and cultivation of beds.
- Provide all irrigation system operating manuals and instructions along with all guarantees and any special care instructions required for any of the plant material prior to completion of the work.
- Remove all waste and debris created by landscape Contractor or a daily basis or completion date. If graded areas of soil and debris and debris and debris shall be removed.
- All existing vegetation, weeds, debris, etc., in the landscape areas shall be removed and disposed of properly off site at the contractor's expense.

100 SOIL PREPARATION

201 FOR SEED AND SOIL AREAS

- Thoroughly till the top 3" - 4" of all seed and soil beds. Remove all clods and stones that are over 1" in size. Remove weeds, debris, refuse and any other material that is to plant growth.
- Use the top grade with care and provide positive drainage to prevent standing or ponding water.
- Test the soil for acidity, pH, and any appropriate soil amendments to produce a pH of 6.5 to 7.0.
- For seed beds, mix soil to a minimum of 20% organic matter by volume. 2 cubic yards per 1000 square feet.
- Apply 10-10-10 fertilizer at a rate of 10 lbs. per 1000 sq. ft. and thoroughly mix into the top 2" of soil.

201 FOR TREES AND SHRUBS

- Tree pits shall be at least 2 feet greater in diameter than the tree and at least 12" deep below final grade.
- Shrub pits shall be at least 1 foot greater in diameter than the shrub and at least 12" deep below final grade.
- All pits shall be circular in shape and will have a 4" diameter. Enclosed material containing rocks, debris or roots are to be disposed of off property.
- Shrub pits are to be 12" in diameter and 12" deep.
- The bottom of each pit shall contain a minimum of 6" wash excavated soil mixed with 10% peat moss by volume.
- Final excavations before planting shall be protected for public safety.
- Where Kalena is encountered in the pit, the depth and width of the pit shall be increased by one foot (12" over specifications) and a liquid penetrant, Kalena or equal, shall be incorporated per manufacturer's recommendations. Contractor shall also comply with all recommendations from item 201 C above.
- Plant soil mixture shall consist of top three (3) parts washed, sterile, 1/2 inch soil and one third (1/3) part peat moss by volume. Thoroughly mix prior to packing into pits. Backfilling shall be done in 6" lifts. A 1/2 inch mesh screen shall be used to remove any debris. Proceeding with the next.

300 MATERIAL

301 PLANTS

- Plants are to be fully grown under similar conditions to those of the project location. Free of disease, insect, fungi, pests and viruses.
- Trees are to be fully dug with a firm root ball large enough to include a 1/2 inch root ball.
- Trees are to be close, rounded, free of spread and other structure.
- Shrub pits are to be dug and the bottom shall be 6" deep. The bottom shall be 6" deep. The bottom shall be 6" deep. The bottom shall be 6" deep.

301 GRASSES

- All grasses are to be of a type that is a cool growing drought resistant type. It is to be a variety of grass found in the area of the project.
- Seeds are to be pure and free from disease and insect and shall be 100% coverage for the grass type utilized.

400 INSTALLATIONS

401 SOIL

- Soil is to be laid smoothly, edge to edge and with staggered joints. Areas firmly in contact with soil used by watering or rolling. Full open joints with organic matter.
- Soil is to be watered as soon as it is laid down. If it is evident that the soil is to be watered until it is moist.
- On slope areas, the 2" top soil shall be staked up to the root system's established.

401 SEED

- Seed is to be sown in the proportion appropriate for the season and job. Seed is to be sown in the proportion appropriate for the season and job.
- After seeding, lightly rake soil and thoroughly water area. Apply cover layer of straw mulch. Seed shall be kept wet until seed is established.
- Any seedbed areas which are not established by the time the grass is established, the contractor shall be responsible for the removal of weeds, rocks and debris. "Grass is to be established by the time the grass is established."
- Any seedbed areas which are not established by the time the grass is established, the contractor shall be responsible for the removal of weeds, rocks and debris. "Grass is to be established by the time the grass is established."

401 TREES AND SHRUBS

- Plant pits are to be hand dug prior to excavation.
- Plant pits are to be dug to a depth of 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit.
- Free-standing trees and shrubs are to be laid out in a 12" diameter. The bottom of the pit shall be 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit.
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401 IRRIGATION SYSTEM

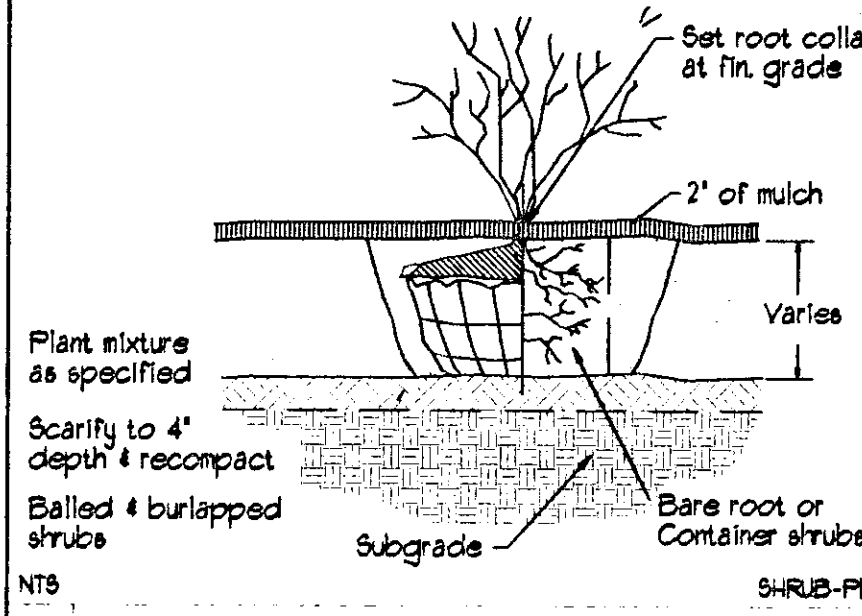
- A complete automatic irrigation system shall be installed to cover all landscape areas. It is to be installed in a 12" diameter. The bottom of the pit shall be 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit.
- Backflow preventer device shall be installed in a 12" diameter. The bottom of the pit shall be 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit.
- Consider for on-site water supply system shall be installed in a 12" diameter. The bottom of the pit shall be 12" below the bottom of the pit. The bottom of the pit shall be 12" below the bottom of the pit.
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401 LUMBER

- Contractor shall maintain until substantial completion a record of all landscaping, grasses, trees, shrubs and other items. The record shall be maintained until substantial completion.
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NOTES:

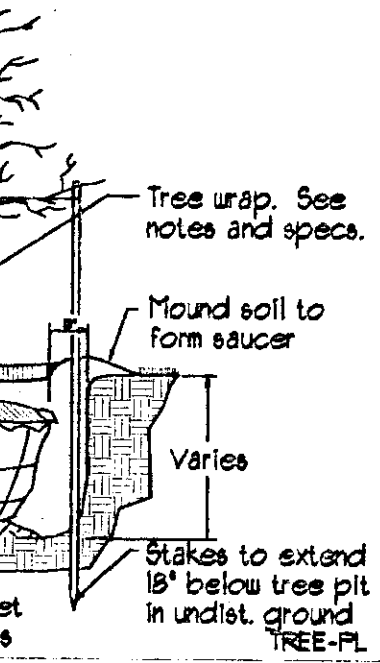
- Do not prune evergreens except to remove dead and broken branches.
- Thin branches and foliage (not all branch tips) by 1/3, retaining normal plant shape. (except evergreen)
- Remove burlap from top 1/3 of ball or with container plants, remove pots and split balls as specified.



3 SHRUB PLANTING

NOTES:

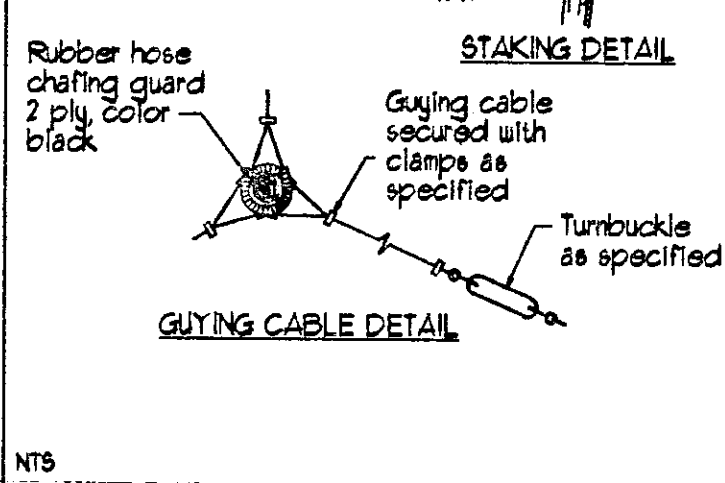
- Prune to thin and shape tree canopy (see detail).
- Set stakes vertical and at same height, use two stakes per tree.



4 TREE PLANTING

NOTES:

- Prune to thin and shape tree canopy (see detail).
- Set stakes vertical and at same height, use two stakes per tree.



5 TREE STAKING AND GUYING

LANDSCAPE LEGEND

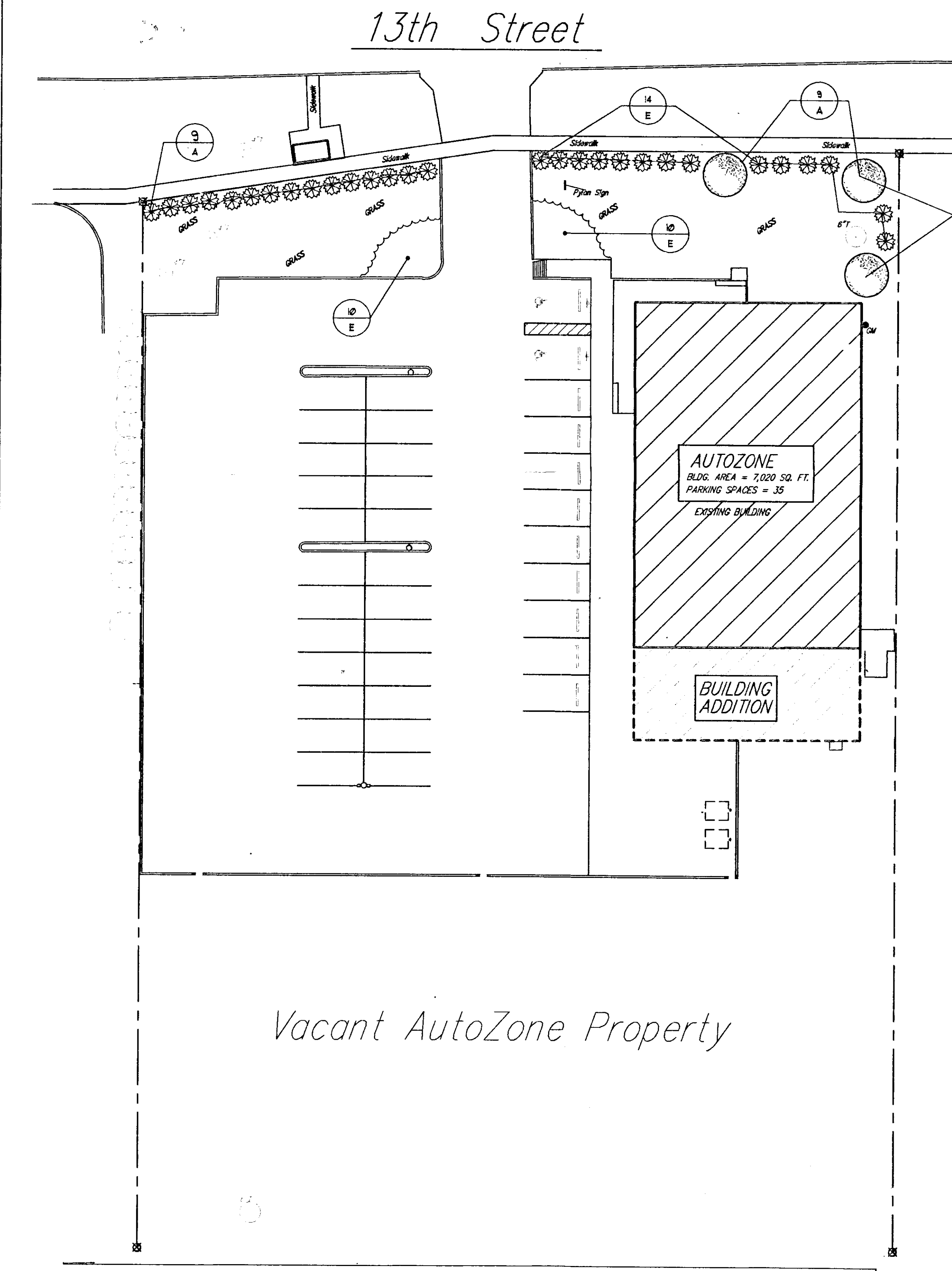
Seed See specifications	Large deciduous Tree	-Type 'A'	Deciduous shrub -Type 'D'
Seed See specifications	Medium ornamental Tree	-Type 'B'	Deciduous shrub -Type 'E'
Seed See specifications	Evergreen tree -Type 'C'	Evergreen shrub -Type 'F'	Quantity Type

GENERAL NOTES

- Grass is existing.
- All trees and shrubs to be planted in mulch beds with edge strips to separate turf grass areas.
- PROVIDE A WEED MAT FOR ALL PLANTING AREAS.

PLANT LIST

QUANTITY	REF	BOTANICAL/CULTIVAR NAME	SIZE	ROOT TYPE	REMARKS
3	A	MARSHALLS SEEDLESS GREEN ASH	2" CAL	B & B	
		Fraxinus pennsylvanica			
		Marshall's seedless			
20	E	COMPACT ANDORRA JUNIPER	5 gal	container	
		Juniperus horizontalis			
		Juniperus horizontalis			
15	E	PRITZER COMPACT JUNIPER	10" TALL	container	
		Juniperus chinensis pritzariana			
14	E	BLUE POINT JUNIPER	5 gal	container	
		Juniperus chinensis 'Blue Point'			



Vacant Lot

DP-135
Parcel 1 (Portion)
LANDSCAPE PLAN

APPROVED 10/19/92 BY *[Signature]*

ARCHITECT: THOMAS HEIGLE
60 MADISON AVENUE, 10TH FLOOR
MEMPHIS, TENNESSEE 38103
TEL: (901) 495-8151 FAX: (901) 495-8901

PREPARED FOR: AutoZone STORE DEVELOPMENT
Store No: 4638
4849 EAST 15TH STREET
WICHITA KS 67208

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

REVISIONS

1	
2	
3	
4	
5	
6	

1.
ARCHITECT: ELG
DRAFTSMAN: MJU
CHECKED BY: ELG
PERMIT DATE:
PROTOTYPE SIZE
REY-6N (R)

LI

SECTION 0204 LANDSCAPE SPECIFICATIONS

100 GENERAL

- Prior to construction or installation of the landscape, the contractor shall locate all underground utilities and shall use proper procedures so as not to disturb them. Any damage done to underground utilities or structures shall be repaired at the landscape contractor's expense.
- Scope of work: The include but not limited to:
 - Grading and leveling of all landscaped areas.
 - Clearing out of all weeds and debris and any other material that may be harmful to or hinder the growth of the plant material.
 - Forming and installation of plant material, root, ground cover, vegetative ground cover, boulders, irrigation system, plant protection and other items that may be required for a complete installation.
 - Maintenance of the landscape areas during the period of construction.
 - Cleanup and dressing of all landscape areas at the completion of the installation and prior to final acceptance by owner.
- All plant material shall conform to grading, type, etc., as set forth in the "American Standard for Nursery Stock" by the American Association of Nurserymen. Plants shall be free from disease and insects, size and quality shall be equal to or better than specified.
- Landscape Contractor shall prepare for the General Contractor shall receive all grades including top soil, 4" depth of a foot of the grade as called for on the drawings.
- All landscape areas shall slope away from the building and other structures.
- All operations shall be "held up" first and only proceed after a Report of Discrepancies to the owner, representative before proceeding with the work.
- Landscape contractor shall coordinate his work with other contractors on the job in order to minimize conflict and prevent delay of the completion of the project.
- Landscape shall be maintained while under construction. Maintenance shall include: watering, trimming, weeding and cultivation of beds.
- Provide all irrigation system operating manuals and instructions along with all guarantees and any special care instructions required for any of the plant material prior to completion of the work.
- Remove all waste and debris created by landscape Contractor or a daily basis or completion date. If graded areas of soil and debris and debris and debris shall be removed.
- All existing vegetation, weeds, debris, etc., in the landscape areas shall be removed and disposed of properly off site at the contractor's expense.

100 SOIL PREPARATION

201 FOR SEED AND SOIL AREAS

- Thoroughly till the top 3" - 4" of all seed and soil beds. Remove all clods and stones that are over 1" in size. Remove weeds, debris, refuse and any other material that is to plant growth.
- Use the top grade with care and provide positive drainage to prevent standing or ponding water.
- Test the soil for acidity, pH, and any appropriate soil amendments to produce a pH of 6.5 to 7.0.
- For seed beds, mix soil to a minimum of 20% organic matter by volume. 2 cubic yards per 1000 square feet.
- Apply 10-10-10 fertilizer at a rate of 10 lbs. per 1000 sq. ft. and thoroughly mix into the top 2" of soil.

202 FOR TREES AND SHRUBS

- Tree pits shall be at least 2 feet greater in diameter than the tree and at least 12" deep below the root ball.
- Shrub pits shall be at least 1 foot greater in diameter than the shrub and at least 12" deep below the root ball.
- All pits shall be excavated to a depth of 12" below the root ball. Excavated material containing rocks, debris or roots are to be disposed of off property.
- Shrub pits are to be excavated to a depth of 12" below the root ball. Excavated material containing rocks, debris or roots are to be disposed of off property.
- The bottom of each pit shall contain a minimum of 6" wash excavated soil mixed with 10 parts soil by volume.
- Final excavated before planting shall be protected for public safety.
- Where Kalena is encountered in the pit, the depth and width of the pit shall be increased by one foot to 12" over specifications and a liquid penetrant, Kalena or equal, shall be incorporated per manufacturer's recommendations. Contractor shall also comply with all recommendations from item 201 C above.
- Plant soil mixture shall consist of two thirds (2/3) parts washed, sterile, 100 mesh soil and one third (1/3) part nutrient by volume. Thoroughly mix prior to packing into pits. Backfilling shall be done in 6" lifts. A 1/2" mesh screen being water tested with a wash bucket before proceeding with the next.

300 MATERIAL

301 PLANTS

- Plants are to be fully grown under similar conditions to those of the project location. Free of disease, insect, fungi, pests and viruses.
- Trees are to be fully dug with a firm root ball large enough to include a 1/2" root and feeding roots.
- Trees are to be close, rounded, free spread and proper structure.
- Shrub pits shall be dug and the bottom shall contain a 6" wash excavated soil mixed with 10 parts soil by volume. Thoroughly mix prior to packing into pits. Backfilling shall be done in 6" lifts. A 1/2" mesh screen being water tested with a wash bucket before proceeding with the next.

302 GRASSES

- All grasses shall be of a type that is a cool growing drought resistant species. A water test and soil sample found in the area of the project.
- Soil shall be water, grow free of weeds, rocks and debris.
- Seed shall be pure and free from disease and insects and shall be tested for coverage for the grass type utilized.

400 INSTALLATIONS

401 SOIL

- Soil is to be well smoothed, edge to edge and well tamped. Joints, areas, firm, and compact with soil used by watering or rolling. Full open joints with organic matter.
- Soil is to be watered as soon as excavation is evident. All seeded areas are to be watered until grass is established. Edge areas are to be re-seeded.
- On slope grasses: 1) 2" deep shall be tamped top soil until root system is established.

402 SEED

- Seed shall be the proportions appropriate for the season and job. Seed shall be sown as to produce a full and complete coverage.
- After seeding, lightly rake soil and thoroughly water area. Apply cover layer of straw mulch. Seeds shall be kept wet until seed is established.
- Any seeded areas which do not show germination shall be reseeded at first day interval. Grass is established and hydro-seeding, watering, fertilizing and other applications will be acceptable.
- Existing grass areas are to be maintained and mowed for the removal of weeds, rocks and debris. "Grass is" as required to work seed into top soil. If seed is not the "is" of new areas.

403 TREES AND SHRUBS

- Plant pits are to be placed prior to excavation.
- Plant pits are to be excavated with a soil mixture of 1/3 clean sand, 2/3 soil and 1/3 peat moss by volume. A 3" top layer for each tree and a 6" layer for each shrub. Backfilling is to be executed with light soil carefully, watered and thoroughly watered.
- All plants and shrub plants are to have top one third of the root ball back from the top of the pit. After plant is established.
- Overhead or on structure toward public street and parking area. For full appearance and symmetry, form freestanding trees and shrubs are to have a 4" diameter burlap, 12" in diameter formed around the pit and tied with wire.
- All trees 2" in diameter or larger are to be properly guyed and staked. "Tunks" are to be wrapped from the ground up to the first major branches.
- Remove all dead wood, broken branches or other damaged branches. Prune approximately 1/3 of last season's growth by thinning or shortening branches.
- Water shall be installed from one end of the pit to the other. Test the water to be tested at the pit. Use of a water test and water test to be tested at the pit. Use of a water test and water test to be tested at the pit.

404 IRRIGATION SYSTEM

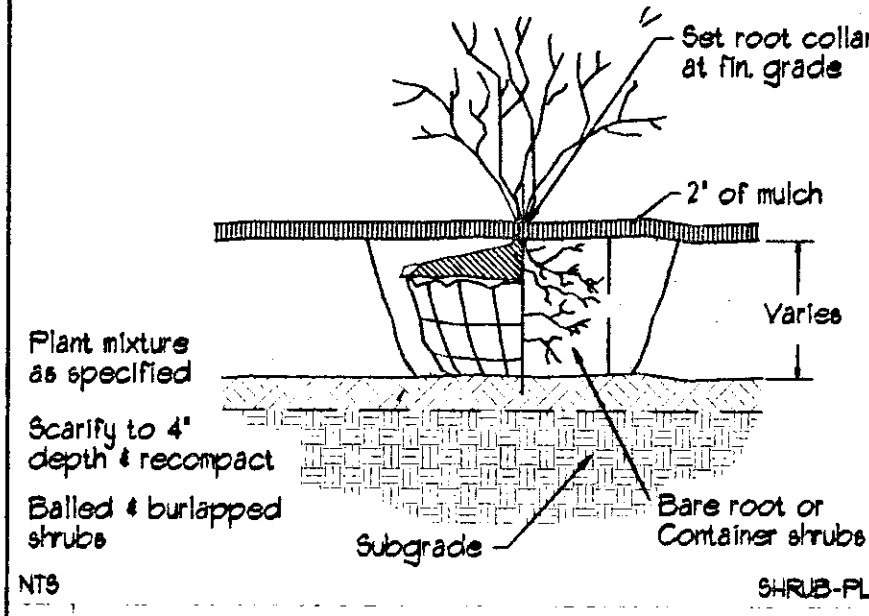
- A complete automatic irrigation system shall be installed to cover all landscaped areas. A meter to meet all code city and county codes or ordinances.
- Backflow prevention device shall be tested and approved.
- Consider for on site water systems shall be working or equal and for on site systems only, shall be tested and approved. Consider for on site water systems shall be working or equal and for on site systems only, shall be tested and approved.
- Soil water test for the area and the water test shall be tested to adequately cover the area required without over watering the adjacent areas. All meters shall be of the backflow preventer and shall be tested and approved.
- The system shall be tested and approved. For each meter provide one 1/2" gal per hour meter and for each meter provide one 1/2" gal per hour meter.
- Water test and pressure regulation shall be installed for each pit. 1/2" gal per hour meter and not exceed 400 feet in length and 3/4" in diameter. The meter shall not exceed 800 feet in length. Consider for 1/2" and 3/4" meter shall not exceed 800 feet in length.
- All main lines shall be buried a minimum of 18" below finished grade and all laterals shall be buried a minimum of 12" below finished grade.
- All valves shall be located in a valve box with easy access to all points of the system. Place one 1/2" gal per hour meter at the base of each valve to provide for change. Contractor to use all lines required for the complete installation of the system and shall furnish and install all components and the layout of all main lines and valves. No work shall commence until the plan is fully approved and approved by the owner, representative and the governing body having jurisdiction over the work.

500 LABORATORY

- Contractor shall maintain until substantial completion a record of all landscaping, grasses, trees, shrubs and including watering, weeding, spraying, pruning, cleaning up and other work done as is appropriate.
- Contractor shall maintain a log including irrigation system, grass areas and a plant material in writing for one (1) growing season or one (1) calendar year, whichever is longer. The written record shall be maintained for the same growing season or one (1) calendar year, whichever is longer.
- Contractor shall provide to the owner a copy of the written record of all landscaping, grasses, trees, shrubs and including watering, weeding, spraying, pruning, cleaning up and other work done as is appropriate.

NOTES:

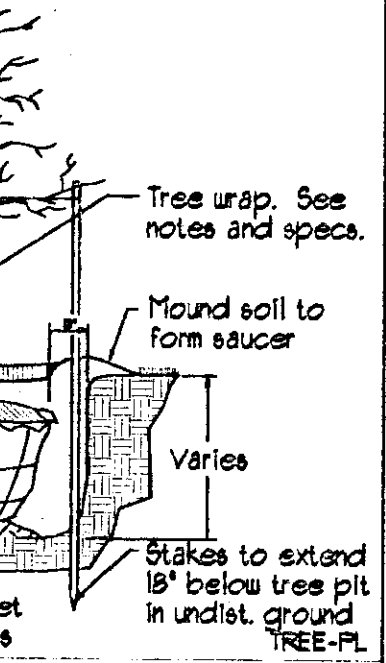
- Do not prune evergreens except to remove dead and broken branches.
- Thin branches and foliage (Not all branch tips) by 1/3, retaining normal plant shape. (except evergreen)
- Remove burlap from top 1/3 of ball or with container plants, remove pots and split balls as specified.



3 SHRUB PLANTING

NOTES:

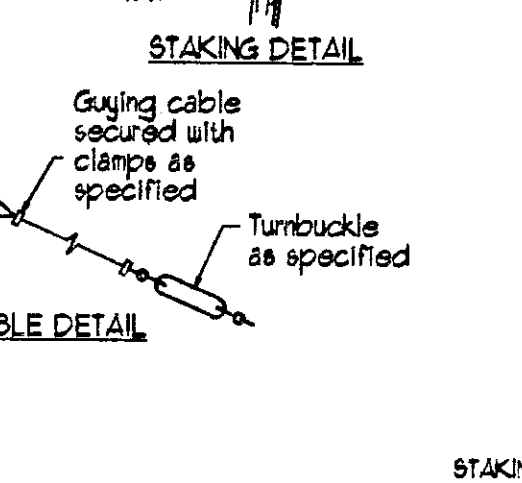
- Prune to thin and shape tree canopy (see detail).
- Set stakes vertical and at same height, use two stakes per tree.



4 TREE PLANTING

NOTES:

- Double strand #2 galv. wire, neatly twisted.
- Stakes as specified (3) per tree.



5 TREE STAKING AND GUYING

LANDSCAPE LEGEND

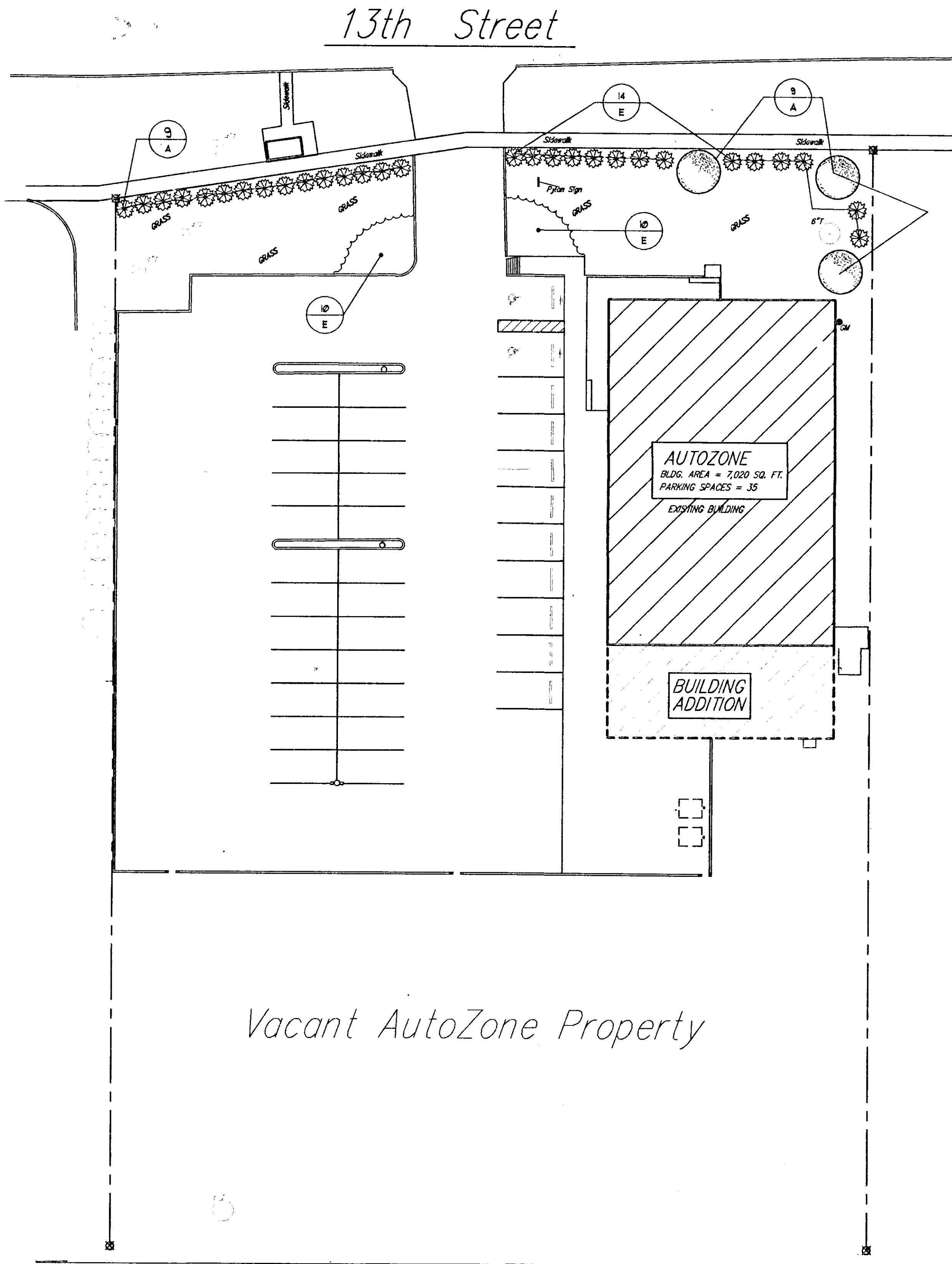
- Seed See specifications
- Sod See specifications
- Large deciduous Tree -Type 'A'
- Medium ornamental Tree -Type 'B'
- Evergreen tree -Type 'C'
- Deciduous shrub -Type 'D'
- Deciduous shrub -Type 'E'
- Evergreen shrub -Type 'F'
- Quantity Type

GENERAL NOTES

- Grass is existing.
- All trees and shrubs to be planted in mulch beds with edge strips to separate turf grass areas.
- PROVIDE A WEED MAT FOR ALL PLANTING AREAS.

PLANT LIST

QUANTITY	REF	BOTANICAL/CULTIVAR NAME	SIZE	ROOT TYPE	REMARKS
3	A	MARSHALLS SEEDLESS GREEN ASH	2" CAL	B & B	
		Fraxinus pennsylvanica 'Marshall's seedless'			
20	E	COMPACT ANDORRA JUNIPER	5 gal	container	
		Juniperus horizontalis 'plumosa youngstown'			
15	E	PRITZER COMPACT JUNIPER	10" TALL	container	
		Juniperus chinensis pritzleriana			
14	E	BLUE POINT JUNIPER	5 gal	container	
		Juniperus chinensis 'Blue Point'			



Vacant Lot

DP-135
Parcel 1 (Portion)
LANDSCAPE PLAN

APPROVED 10/19/92 BY [Signature]

ARCHITECT: THOMAS HEIGLE
60 MADISON AVENUE, 10TH FLOOR
MEMPHIS, TENNESSEE 38103
TEL: (901) 495-8151 FAX: (901) 495-8901

PREPARED FOR: AutoZone STORE DEVELOPMENT
Store No: 4638
4849 EAST 15TH STREET
WICHITA KS 67208

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

REVISIONS

1. []
2. []
3. []
4. []
5. []
6. []

1. []
ARCHITECT: ELG
DRAFTSMAN: MJU
CHECKED BY: ELG
PERMIT DATE: []
PROTOTYPE SIZE: 11x17 (R)

LANDSCAPE ORDINANCE CALC.'S

LANDSCAPE STREETYARD REQUIRED

Average Lot Depth 187.5 l.f. = 10 Sq. Ft. Factor per L.F.
Oliver Avenue Street Frontage 152.84
Street Frontage 152.84 x 10 s.f Factor = 1528 s.f Required Landscape Streetyard

LANDSCAPE STREETYARD PROVIDED 1,300 Sq. Ft.

STREETYARD TREES REQUIRED

Oliver Avenue 1,528 Sq. Ft. / 500 = 3.056 Shade Trees rounded up to 3.5

STREETYARD TREES PROVIDED Equivalent of 3.5 Shade Trees
(1 Shade Trees, 1 Ornamental Tree, 2 Evergreen, 14 Shrubs)

PARKING LOT SCREENING REQUIRED

Screening along Oliver Avenue

PARKING LOT SCREENING PROVIDED 30 Shrubs

PARKING LOT TREES REQUIRED - One Shade Tree per 20 Spaces

PARKING LOT TREES PROVIDED - Credit up to one-half of required Street Trees

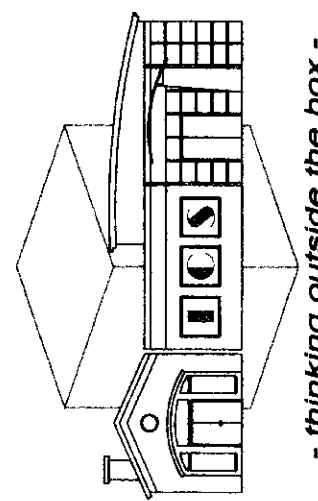
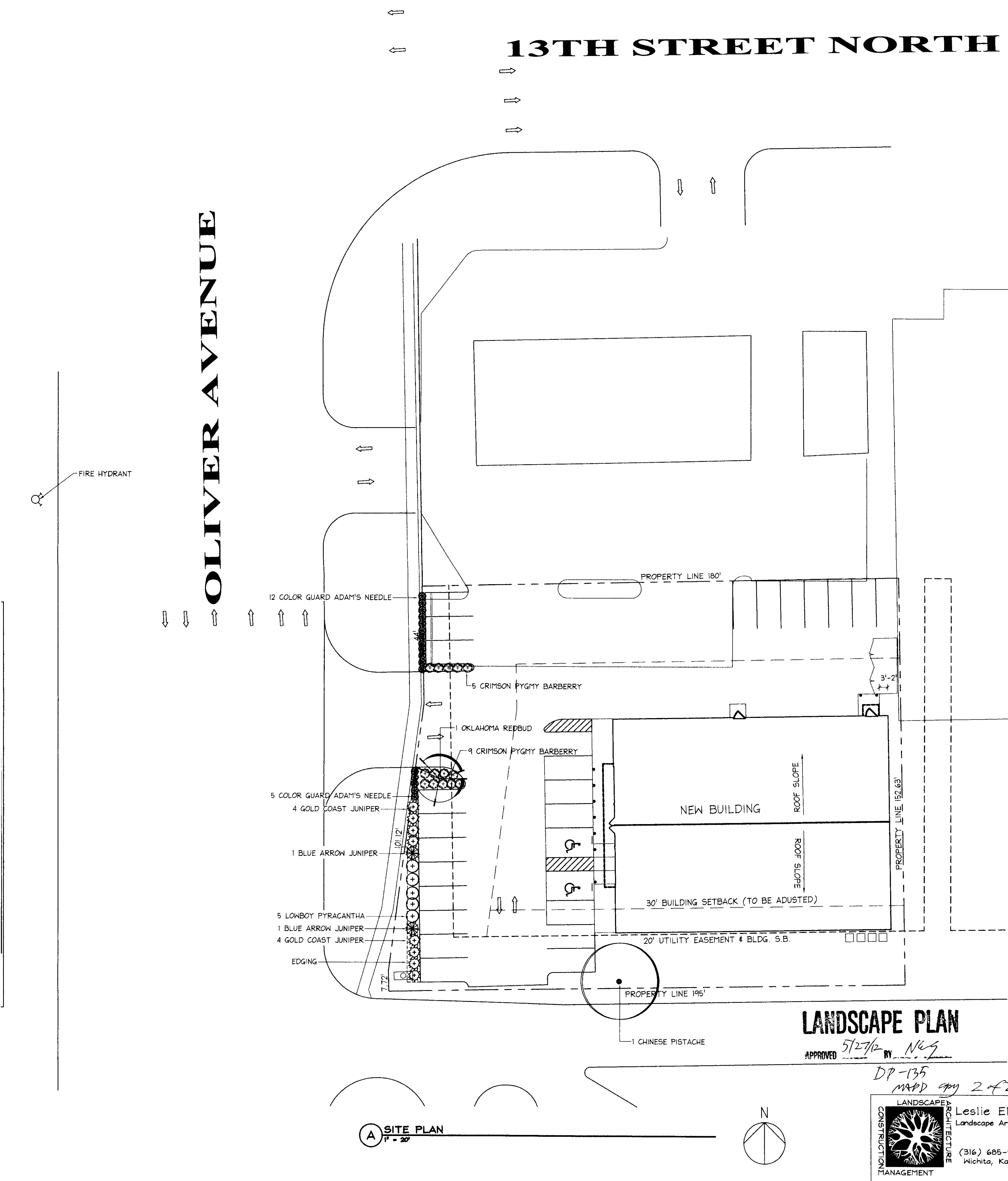
BUFFER REQUIRED - None

NOTES

1. Prior to any excavation for landscaping purposes, the location of underground utilities shall be determined by calling Kansas One-Call Systems @ 811. Installer shall be responsible for any damage to existing utilities caused by his operations, in cases where utilities are accurately marked.
2. Planting beds on this site are mostly defined by concrete paving. Commercial grade steel edging shall be used to define edges not defined by concrete.
3. All planting beds shall be prepared by eradicating existing vegetation with Round-UP (or-equal) according to label directions. A pre-emergent herbicide shall be applied per label directions.
4. Planting soil shall be improved with new friable topsoil, organic soil amendments such as Back-to-Earth, Gypsum, etc. in accordance with standard trade practise.
5. Granular type slow-release fertilizer formulated for new plantings i.e. MYKE, Ferti-lome Start N Grow or Hi-Yield Grower's Special shall be applied to root ball and soil prior to planting. Follow label instructions.
6. Mulch in shrub beds shall be 3" decorative rock mulch or shredded cypress mulch as approved by Owner. Weed barrier fabric shall be installed under rock.
7. Water for establishment and maintenance of plant materials on this project will be provided by automatic sprinkler system.
8. Disturbed lawn areas shall be seeded or sodded with Gard'n Wise premium fescue blend or equal as approved by owner.
9. All seeded areas require a minimum 2 year warranty.
10. Plants shall be high quality nursery or field grown stock which meets the National Association of Nurserymaen standards as specified by the American Standards Institute in ANSI Z60.1-1986 or as may be amended in the future.
11. All landscape installations require a one year warranty.
12. The owner or tenant who assumes responsibility for the property shall be responsible for the continued proper maintenace of all landscaping materials, and shall keep them in a proper, neat, and orderly appearance, free from refuse and debris, at all times. All landscaped areas shall be provided with a readily available water supply. All unhealthy or dead plant material shall be replaced within one year, or by the next planting season, whichever comes first. All replacement plants shall conform to the city's current landscaping standards.

PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION
1	CHINESE PISTACHE	Pistachia chinensis	2" cal. min.	B#B
1	OKLAHOMA REDBUD	Cercis canadensis texensis 'Oklahoma'	1-1/2" cal.	B#B
2	BLUE ARROW JUNIPER	Juniperus virginana 'Blue Arrow' (Improved variety)	6' ht.	Container/B#B
5	LOWBOY PYRACANTHA	Pyracantha coccinea 'Lowboy'	2 gal.	Container
8	GOLD COAST JUNIPER	Juniperus x pfitzeriana 'Aurea Improved'	2 gal.	Container
14	CRIMSON PYGMY BARBERRY	Berberis thunbergii atropurpurea 'Crimson Pygmy'	2 gal.	Container
17	COLOR GUARD ADAM'S NEEDLE	Yucca filamentosa 'Color Guard'	2 gal.	Container



FAMILY DOLLAR
Wichita, KS

1330 N. OLIVER
Wichita, KS

PROPERTY
OF
INNOVATIVE CONSTRUCTION SERVICES, INC.
UNLAWFUL TO REPRODUCE
REAL



DATE : 5-22-12
DR. BY : LE

PROJECT NO.
12-087

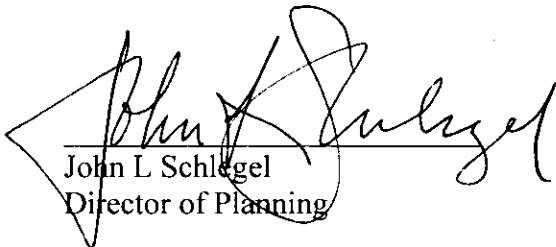
REVISIONS:

SHEET
LS1

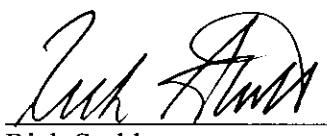
side yard setback standard for CUPs. The minimum interior side yard setback standard for the LC zoning district is zero, however if one is provided it is a 5-foot minimum. The proposed setback exceeds the minimum standards for a CUP's and the LC zoning district's interior side yard setback.

On the basis of our review, we feel that adjusting the CUP in the manner you have requested to would be consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation from the original plan, to allow reduction of the south internal side yard setback to be reduced from 30 feet to 20 feet, with the 20-foot wide easement to remain open for internal circulation. This adjustment shall not be deemed to alter any other provisions of the CUP or other standards of the Unified Zoning Code except as stated herein.

Please submit four (4) copies of the CUP with these changes noted within 30 days. The "Development Application" notification signs may now be removed from the property.



John L. Schlegel
Director of Planning



Rick Stubbs
Superintendent of Central Inspection

cc: Poe & Associates, Inc., Attn: Tim Austin, 5940 E. Central, Wichita, KS 67208
Dale Miller, MAPD via email
Paul Hays, Office of Central Inspection via email
JR Cox, Office of Central Inspection via email
Leonard Fox, Office of Central Inspection via email



Wichita-Sedgwick County Metropolitan Area Planning Department

March 7, 2012

E.S. Development – Midwest, LLC
Attn: Bradley Saville, President
156 N. Emporia
Wichita, KS 67202

Rhineland Development Co., Inc.
630 N. Washington
Wichita, KS, 67214

RE: CUP2012-00005 – City Administrative Adjustment on the LC Limited Commercial (“LC”) zoned Lambsdale Community Unit Plan (“CUP”), CUP DP-135, to reduce the parking and the south setback of Parcel 1, generally located southeast of the 13th Street North – Oliver Avenue intersection; general described as a southwestern portion of Lot 27, Block 1, Williamsburg Addition (see attached legal)

Dear Sirs:

We received and reviewed your request for an Administrative Adjustment to the above-referenced CUP DP-135. Your letter requests a reduction of the required parking for an 8,000-square foot retail store and a reduction of the south 30-foot building setback, all on Parcel 1.

Your letter recognizes your referenced 8,000-square foot retail store as being categorized “Retail, General,” by the Unified Zoning Code’s (UZC) parking standards. The UZC, Art.IV-A.4, requires one parking space per 330-square feet of a retail, general building; 24 parking spaces. You are requesting 26 parking spaces, or two more parking spaces than required, thus there is no need for an adjustment of the minimum parking standards.

Your letter also states that you wish to reduce the south, interior setback on Parcel 1 from 30 feet to 20 feet, which is where a 20-foot wide platted utility easement is located; General Provision #3. Parcels 1 and 2 share this common parcel line. Both sites are zoned LC and the CUP gives no interior setback for Parcel 2 along this common parcel line. There is no minimum interior

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T 316.268.4421 F 316.268.4390

www.wichita.gov



Wichita-Sedgwick County Metropolitan Area Planning Department

May 21, 2012

Thomas Schmeidler
1444 S Saint Clair Street #A
Wichita, KS 67213

ES Development-Midwest LLC
156 N. Emporia
Wichita, KS 67202

Poe and Assoc. c/o Tim Austin
5940 E. Central
Wichita, KS 67208

RE: CUP2012-15 - Administrative Adjustment of CUP DP-135 to create Parcels 1b and 1c, AND to reduce the rear yard setback on the LC Limited Commercial zoned Parcel 1B, generally located on the southeast corner of 13th Street North and Oliver Avenue.

Dear Applicants:

We received and reviewed your request for an administrative adjustment to the above-referenced community unit plan, DP-135 Lambsdale Community Unit Plan ("CUP"). We understand you wish to create Parcels 1b and 1c consistent with a lot split recorded on March 15, 1988. And, you wish to reduce the rear setback on the newly created Parcel 1B. Maximum building coverage, floor area, uses and signage permitted does not change.

On the basis of our review we feel that adjusting the CUP in the manner you have requested would be consistent with the approved CUP and will not have an adverse effect on the CUP or on adjacent properties, nor will it be a substantial deviation of the original plan.

This CUP adjustment shall not be deemed to alter any other provisions of the CUP except expressly stated herein. Our signatures below indicate that the CUP shall be adjusted with the following language:

The rear setback for Parcel 1B shall be EITHER zero feet with a ten-foot maintenance easement granted by the adjoining property owner OR five feet with no easement required. Buildings on

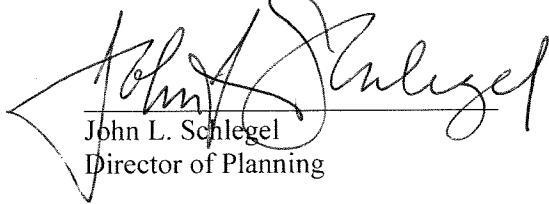
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T 316.268.4421 **F** 316.268.4390

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this parcel shall be subject to site plan approval by Planning Staff.

The "Development Application" signs may now be removed from the property. Please submit four (4) copies of the revised CUP drawing within 60 days in order for this adjustment to be considered final.



John L. Schlegel
Director of Planning



Rick Stubbs
Co-Interim Superintendent of Central Inspection

cc: Paul Hays, Office of Central Inspection
Lavonta Williams, CM District I
LaShonda Ganes, NA District I