

GENERAL PROVISIONS

1. THIS PROJECT IS PROPOSED TO CONTAIN 228.2 ACRES.

2. THE PROPOSED DEVELOPMENT IS TO CONTAIN A MIXTURE OF HOUSING TYPES. THE NUMBER OF DWELLING UNITS SHADED FOR EACH SPECIFIC USE UNDER GENERAL PROVISION NUMBER 22 SHOWS THE ILLUSTRATED NUMBER OF DWELLING UNITS FOR EACH PARCEL.

OPTIONAL BUILDING TYPES AS DESCRIBED UNDER GENERAL PROVISION 22 MAY INCREASE THE DWELLING UNIT COUNT BUT WILL NOT EXCEED THE MAXIMUM OVERALL GROSS DENSITY PERMITTED UNDER GENERAL PROVISION 3 BELOW.

3. GROSS DENSITY CALCULATION: IF THE PARCELS ARE DEVELOPED AT THE DENSITY PERMITTED BY THE TYPE OF UNITS ILLUSTRATED (523), THE OVERALL DENSITY OF THE SITE IS 2.29 DU / ACRE (SEE GENERAL PROVISION 22). IF THE SITE IS DEVELOPED WITH THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED (1093), THE OVERALL DENSITY IS 4.79 DU / ACRE.

4. SETBACKS ARE TO BE DETERMINED AT THE TIME OF PLATTING DEPENDING ON LAND USE AND SHALL FOLLOW THE MINIMUM SETBACKS AS IDENTIFIED ON THE CHART BELOW.

R.O.W. WIDTH	50' R.O.W.	32' R.O.W.	58' R.O.W.	64-70' R.O.W.	24' Private Drive	Secondary Street	Minimum Rear	Minimum Interior	Minimum S.B. Garage
STREET WIDTH	21' BB	29' BB	29' BB	35-41' BB	Reserve	Side of Corner Lot	Yard	Side Yard	Face All Street R.O.W.
SINGLE FAMILY	20'	20'	20'	25'	20'	15'	20'	6'	20'
PATIO HOMES	20'	20'	20'	25'	20'	15'	20'	5'	20'
ZERO LOT LINE	20'	20'	20'	25'	20'	15'	20'	0' & 12'	20'
2- PLEX	20'	20'	20'	25'	20'	15'	20'	6'	20'
TOWNHOUSE	20'	20'	20'	25'	20'	15'	20'	6'	20'
GARDEN APARTMENT				25'		20'	20'	10'	20'

Church: as illustrated on plan view. If not constructed as a church use, the residential setbacks illustrated above apply.

Cemetery: as illustrated adjacent to arterial street with all parcel lines having a minimum set back of 20'.

CHURCH USE FOR PARCEL NO. 3 SHALL HAVE A SETBACK OF 25 FEET OFF OF 29TH STREET NORTH.

REVISED DP-147

BEACON HILL COMMUNITY UNIT PLAN

* See Conceptual Site plan for Parcels 13, 11, 12 & part of 13. dated 10-8-93

STREETS HAVING A 32' R.O.W. WITH 29' BB PAVEMENT MAY BE CONSTRUCTED EITHER PUBLICLY OR PRIVATELY. IF CONSTRUCTED PRIVATELY, THEY WILL BE PLATTED AS A RESERVE. THERE WILL ALSO BE PLATTED A 15' STREET DRAINAGE AND UTILITY EASEMENT ON EITHER SIDE OF THE R.O.W. LINE OR RESERVE WHERE PARKING SHALL BE PERMITTED BUT LANDSCAPING LIMITED TO TURF AND STREET TREES APPROVED BY THE CITY FORESTER.

FOR ZERO LOT LINE OR PATIO HOMES THE SIDE YARD SETBACKS MAY BE REDUCED TO 10' FOR GARAGES ONLY. THERE SHALL BE 12' SEPARATING THE HABITABLE PORTION OF THE DWELLING UNITS.

* REAR YARD SETBACKS FOR ALL USES MAY BE REDUCED TO 10' WHEN ADJACENT TO PLATTED OPEN SPACE OR RESERVE UNLESS OTHERWISE ILLUSTRATED ON THE PLAN VIEW ABOVE.

5. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.

6. SIGNS DESIGNATING THE NAME OF THE DEVELOPMENT SHALL BE PERMITTED AT THE ENTRANCES TO THE PROPOSED PARCELS IF THEY FOLLOW IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 24.04 OF THE CODE OF THE CITY OF WICHITA. THOSE PARCELS WITH GARDEN APARTMENTS AND TOWNHOUSES MAY HAVE SIGNS AS PERMITTED IN THE R-8 ZONING DISTRICT. (PORTABLE AND OFF-SITE SIGNS SHALL NOT BE PERMITTED UNDER THIS C.U.P.)

7. A HOMEOWNERS ASSOCIATION SHALL BE FILED WITH THE PLAT OF EACH PARCEL TO PROVIDE FOR THE MAINTENANCE OF NON-PUBLIC OPEN SPACE, PARKING AREAS, PRIVATE STREETS OR DRIVES, BUFFER AREAS, DRAINAGE CHANNELS, SWALES, ETC. TWO OF MORE OF THE HOMEOWNERS ASSOCIATIONS MAY JOIN TOGETHER TO FORM A MASTER HOMEOWNERS ASSOCIATION.

FAILURE OF THE HOMEOWNERS ASSOCIATION(S) TO PROPERLY MAINTAIN THE PRIVATE STREETS OR OPEN DRAINAGE SYSTEMS, AND AFTER A JOINT DETERMINATION BY THE DIRECTOR OF PLANNING AND THE SUPERINTENDENT OF CENTRAL INSPECTION, SHALL CONSTITUTE A VIOLATION OF THE BUILDING PERMIT AUTHORIZING THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND SHALL GIVE THE CITY THE RIGHT TO PROPERLY MAINTAIN THE AREAS PREVIOUSLY LISTED AND TO ASSESS THE COST OF MAINTENANCE TO THE PROPERTY OWNERS.

8. PARCELS 16 & 17 ARE GENERAL OPEN SPACE AND SHALL BE MAINTAINED BY A COMMON HOMEOWNERS ASSOCIATION. THIS STIPULATION DOES NOT PROHIBIT A MASTER ASSOCIATION OF ALL HOMEOWNERS FROM ALL PARCELS, PARTICIPATING IN THE MAINTENANCE COST OF PART OR ALL OF PARCELS 16 AND 17. THE GENERAL OPEN SPACE REPRESENTS 27.1 ACRES OR 11.9% OF THE TOTAL SITE.

9. MINIMUM LOT SIZES FOR SINGLE FAMILY DETACHED UNITS SHALL BE 6,000 SQ. FT. EXCEPT FOR ZERO LOT LINE, AND PATIO HOME LOTS WHICH SHALL BE A MINIMUM OF 4,500 SQ. FT. MINIMUM LOT SIZES FOR DUPLEXES SHALL BE 7,500 SQ. FT.

10. THE PROPOSED DRAINAGE FACILITIES, LAKES, DETENTION FACILITIES, DRAINAGE WAYS, SWALES, ETC. IN PARCELS 16 AND 17 (ALSO OWNED AND MAINTAINED BY A JOINT HOMEOWNERS ASSOCIATION) SHALL BE DESIGNED IN CONFORMANCE WITH A HYDROLOGY STUDY AS PREPARED INDEPENDENTLY FROM THIS DOCUMENT. RESULTS OF THAT STUDY AND PROPOSED DRAINAGE FACILITIES SHALL BE SUBMITTED FOR APPROVAL AT THE TIME OF PLATTING.

11. FINAL DETERMINATION OF STREET RIGHT-OF-WAY AND PAVEMENT WIDTH WILL BE RESOLVED AT THE TIME OF PLATTING. LOCATION OF PEDESTRIAN EASEMENTS WILL BE DETERMINED AT THE TIME OF PLATTING. EAST-WEST PEDESTRIAN ACCESS SHALL BE PROVIDED ACROSS THE ENTIRE SITE AS INDICATED ON PLAN OR AS MODIFIED DURING PLATTING.

12. SHOULD A PERMITTED ALTERNATE LAND USE (SEE GENERAL PROVISION 22), BE DEVELOPED INSTEAD OF THE PARCEL PLAN AS ILLUSTRATED, A CONCEPTUAL SITE PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE DIRECTOR OF PLANNING. THE APPROVAL OF THIS CONCEPTUAL PLAN SHALL BE SUBJECT TO THE CONDITIONS OF PLATTING.

13. BUILDING SETBACK LINES FROM ALL EXISTING PIPELINE EASEMENTS SHALL BE ESTABLISHED AT THE TIME OF PLATTING AND ALL PAVING OVER THE EASEMENT SHALL BE WITH THE APPROVAL OF THE AFFECTED PIPELINE COMPANY. ANY CHANGE IN ELEVATION OR RELOCATION OF THE PIPELINE SHALL BE WITHOUT COST TO THE CITY OF WICHITA.

14. FIRE HYDRANT INSTALLATION AND ALL WEATHER ACCESS TO ALL BUILDING SITES SHALL BE PROVIDED FOR EACH PHASE OF DEVELOPMENT PRIOR TO CONSTRUCTION UNLESS OTHERWISE AUTHORIZED. TURN AROUNDS SHALL BE PROVIDED ON ALL DEAD END FIRE LANES AS REQUIRED BY THE FIRE CHIEF OR HIS REPRESENTATIVE.

15. OFF-STREET PARKING: (GENERAL DEVELOPMENT STANDARDS) 1.5 SPACES / DWELLING UNIT FOR APARTMENTS; 2 SPACES / DWELLING UNIT FOR ALL OTHER USES UNLESS AN ON-STREET PARKING RESTRICTION REQUIRES 4 SPACES / DWELLING UNIT. IF THE STREET IS DESIGNED WITH PARKING RESTRICTIONS, A RESTRICTIVE COVENANT REQUIRING 4 SPACES / DWELLING UNIT WILL BE SUBMITTED AT THE TIME OF PLATTING.

REQUIRED PARKING FOR CHILD CARE CENTER, SHALL PROVIDE 1 SPACE FOR EACH TEACHER AND EMPLOYEE PLUS 1 SPACE FOR EACH VEHICLE USED IN OPERATION OF THE CENTER, AND PLUS ONE LOADING SPACE PER 10 CHILDREN.

REQUIRED PARKING FOR CHURCH, RELATED FACILITIES, AND CEMETERY PARKING SHALL MEET APPROVED CITY CODES AND ORDINANCES.

16. SPECIAL CONDITIONS FOR PARCELS 1, 11 AND 14 ONLY. (TOWNHOUSES AND APARTMENT USES ONLY)

A. FRONT, REAR AND SIDE YARD SETBACKS ILLUSTRATED ON CHART IN GENERAL PROVISION 4 ABOVE APPLY TO ONLY HABITABLE SPACE OR ACTUAL DWELLING UNITS.

B. SETBACK REQUIREMENTS FOR GARAGES SHALL BE AS FOLLOWS:

1. SETBACK FROM 29TH STREET NORTH AND OLIVER SHALL BE 5'.

2. SETBACKS ON MAJOR ENTRANCES INTO EACH PARCEL SHALL BE 10' FROM BACK OF CURB IF CONSTRUCTED AS A PRIVATE STREET.

C. SETBACKS AS WRITTEN ABOVE ARE AUTHORIZED ONLY IF THE FOLLOWING ADDITIONAL CONDITIONS ARE MET, OTHERWISE SETBACKS AS ESTABLISHED IN GENERAL PROVISION 4 SHALL APPLY.

1. GARAGE STRUCTURES SHALL BE INTEGRAL WITH A CONTINUOUS MASONRY WALL NOT LESS THAN 5' NOR MORE THAN 8' IN HEIGHT FOR ALL STREET FRONTAGES AFFECTED.

2. MASONRY WALL AND GARAGE PLACEMENT SHALL BE DESIGNED TO PROVIDE A MODULATION OF SPACES ALLOWING FOR LANDSCAPING TO OCCUR BOTH INSIDE AND OUTSIDE OF WALL.

3. GARAGES BUILT ON THE REDUCED SETBACK LINE SHALL NOT BE CONSTRUCTED FOR MORE THAN 35% OF THE TOTAL STREET FRONTAGE AFFECTED. ON THE BALANCE OF THE FRONTAGE, ONLY MASONRY WALL WILL BE ALLOWED.

4. NO GARAGE WINDOW OR DOOR OPENINGS SHALL BE ALLOWED TO FACE ONTO OLIVER OR 29TH STREET NORTH OR THE MAJOR ENTRIES INTO EACH PARCEL.

5. GARAGE ROOFS SHALL NOT EXCEED A 7 TO 12 PITCH ON THE MAIN SPAN FOR A MAXIMUM HEIGHT OF 15' FROM THE GROUND LINE.

6. ARCHITECTURAL DETAILING SHALL BE PROVIDED IN THE FORM OF GABLE END SECTIONS, RAFTER DETAIL AND ROOF OVERHANG, HOWEVER, ROOF OVERHANG MAY NOT EXTEND MORE THAN 12" BEYOND SETBACK LINES ESTABLISHED.

7. MASONRY WALL SHALL BE EITHER BRICK, STUCCO OR BRICK TEXTURED CONCRETE, PAINTED TO ELIMINATE NATURAL CONCRETE APPEARANCE. WROUGHT IRON PANELS CAN BE USED TO PROVIDE VIEWS INTO PROJECT AREA IF THEY DO NOT EXCEED 10% OF THE TOTAL WALL LENGTH.

8. A MORE EXTENSIVE LANDSCAPE TREATMENT SHALL BE PROVIDED IN FRONT OF THE WALL AND GARAGES AND IN SPACES WHERE WALL MODULATION OCCURS. THIS TREATMENT SHALL PROVIDE FOR TREES (8'-10' IN HEIGHT OR TALLER), SHRUBS AND GRASS AREAS. ALL LANDSCAPED AREAS OUTSIDE OF WALL SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND SHALL BE INSTALLED WITH AN AUTOMATIC IRRIGATION SYSTEM.

9. ALL SURFACES OF PROPOSED WALLS AND GARAGES SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

10. PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR WALL AND GARAGES, CONSTRUCTION AND LANDSCAPE PLANS SHALL BE SUBMITTED TO THE DIRECTOR OF PLANNING FOR REVIEW AND APPROVAL TO INSURE THAT ALL CONDITIONS HEREIN CONTAINED ARE MET.

17. THE TRANSFER OF TITLE ON ALL OR ANY PORTION OF THE LAND INCLUDED IN THE C.U.P. DOES NOT CONSTITUTE A TERMINATION OF THE PLAN OR ANY PORTION THEREOF, AND SAID PLAN SHALL RUN WITH THE LAND FOR DEVELOPMENT AND BE BINDING UPON THE PRESENT OWNERS, THEIR SUCCESSORS AND ASSIGNS AND THEIR LESSEES UNLESS AMENDED.

18. THE APPLICANT SHALL GUARANTEE AT THE TIME OF PLAYTING, THE CONSTRUCTION OF DECELERATION LANES ADJACENT TO MAJOR ENTRIES AT 29TH STREET NORTH AND OLIVER ROAD IF DETERMINED TO BE NECESSARY AT PLATTING. IF PARCEL NO. 13 IS PLATTED AS ILLUSTRATED FOR INSTITUTIONAL USES, A MAJOR ENTRANCE SIMILAR IN DESIGN TO AN APARTMENT COMPLEX ENTRANCE SHALL BE REQUIRED. THAT PORTION OF THE MAJOR ENTRANCE ON PUBLIC RIGHT-OF-WAY SHALL BE GUARANTEED AT THE TIME OF PLATTING. THE CONSTRUCTION OF THAT PORTION OF THE ENTRANCE ON PRIVATE PROPERTY SHALL BE A REQUIREMENT AT THE TIME ANY MAJOR BUILDING PERMIT IS REQUESTED.

19. THE DIVIDED MEDIAN ENTRANCES OFF OF ARTERIALS SHALL PERMIT THE CONSTRUCTION OF GUARDBOUSES, IF REQUESTED.

20. ANY FIRELANE, EMERGENCY ACCESS EASEMENT OR PEDESTRIAN EASEMENT WHICH MAY BE PLATTED SHALL BE CONSTRUCTED AT SUCH TIME AS THE INTERNAL STREET TO WHICH IT CONNECTS IS CONSTRUCTED.

21. A LANDSCAPE BUFFER PLAN IS TO BE PREPARED BY A LANDSCAPE ARCHITECT FOR A LANDSCAPE BUFFER ALONG THE EASTERN AND SOUTHERN BOUNDARY OF PARCEL NO. 13 ONLY IF PARCEL NO. 13 IS DEVELOPED AS A CHURCH AND/OR A FAMILY LIFE CENTER WITH SUPPORT FACILITIES. NO LANDSCAPE BUFFER SHALL BE REQUIRED IF THE PARCEL IS DEVELOPED FOR SINGLE-FAMILY USE. ALL PARCELS DEVELOPED WITH OTHER THAN RESIDENTIAL USES SHALL CONFORM TO THE SCREENING REQUIREMENTS OF SECTION 28.04.160.K OF CITY CODE.

TOTAL ACRES- 228.2

22. PROPOSED LAND USES:

Proposed Uses & Max. Dwelling Units/Parcel										Parcel Densities										MAX. BLDG. HEIGHT			
PARCEL	S.F.	Z.L.L.	P.H.	2F	4F	T.H.	APT.	GROSS ACRES		S.F.	Z.L.L.	P.H.	2F	4F	T.H.	APT.							
1	20	33						334	6.7											20'	45'	See note A & E below	
2	53	98	98					19.6	4	5	5									35'	45'	See note A below	
3	69	131	131					26.2	4	5	5									35'	45'	See note A below	
4	25	56	56					11.3	4	5	5									35'	45'	See note A below	
5	34	43	43					8.7	4	5	5									35'	45'	See note A below	
6	46							14.5	3.17											35'	45'		
7	31							12.8	2.42											35'	45'		
8	21							7.5	2.8											35'	45'		
9	22							26.3	2.7											35'	45'		
10	40							14.6	4	5	5	6								45'	45'	See note B below	
11	21	27	22	32			67	108	5.4	4	5	5	6		12.5	20				45'	45'	See note B below	
12	15							30	36											45'	45'	See note B below	
13	96							120	144											80'	80'	See note B below	
14	17							24	4	5	5	6	8		12.5	20				45'	45'	See note B below	
15	Church							8.1												55'	55'	See note C & D below	
16	Open Space/Recreational							12.1												35'	35'		
17	Open Space/Recreational							15												35'	35'		
18	SUBTOTAL							223.2															
19	Collector Street							5															
20	TOTAL							228.2															
Illus. Totals										372	6.5	8.8											
Total Units Illustrated										523.0	Maximum Units Permitted										1093.0	SHADED AREA INDICATES ILLUSTRATED USES	
Illustrated Density										2.29	Maximum Density										4.79		

NOTES:
A. PARCELS 1, 2, 3, 4 MAY ALSO BE DEVELOPED AS A CEMETERY PROVIDING THAT ALL FOUR PARCELS ARE DEVELOPED IN THE SAME USE, AND THAT THE DEVELOPMENT OF THAT FACILITY MEETS ALL APPLICABLE CODES AND ORDINANCES. (THIS DOES NOT INCLUDE MORTUARIES OR FUNERAL HOMES.)
B. PARCELS 10, 11, 12, 13 & 14 MAY BE DEVELOPED (AS ILLUSTRATED) AS A CHURCH USE PROVIDING FOR THE SANCTUARY, SUNDAY SCHOOL FACILITIES, ADMINISTRATIVE OFFICES, PARKING AND RELATED OUTDOOR FACILITIES. PARCEL 13 & 14 MAY ALSO PERMIT THE CONSTRUCTION OF A FAMILY LIFE CENTER CONSISTING OF INDOOR RECREATIONAL FACILITIES INCLUDING SWIMMING POOL, GYM, TRACK, WEIGHT ROOMS AND OTHER SIMILAR USES WITH SUPPORTING FACILITIES. PARCELS 10, 11, 12, 13, 14 & 17 MAY ALSO PERMIT THE CONSTRUCTION OF OUTDOOR RECREATIONAL FACILITIES INCLUDING OPEN BALL FIELDS (SOCCER, BASEBALL, ETC.), SWIMMING POOL, TENNIS COURTS, PICNIC FACILITIES, JOGGING TRAILS, COURT GAMES, GAZEBOS, PICNIC SHELTERS, OPEN SPACE, PLAY GROUND FACILITIES AND OTHER SIMILAR RECREATIONAL FACILITIES. IF LIGHTED, ALL LIGHTS SHALL BE DIRECTED DOWNWARD AND AWAY FROM RESIDENTIAL USES, AND ALL ACTIVE RECREATIONAL FACILITIES SHALL BE CONSTRUCTED NO CLOSER THAN 50' TO ADJACENT RESIDENTIAL LOT LINES. (NO LIGHTING PERMITTED BETWEEN 12:00 A.M. - 6:00 A.M.) - LIGHTED OUTDOOR ATHLETIC FIELDS SHALL NOT BE LOCATED WITHIN THE EAST 50 FEET OF PARCELS 10, 12 AND 13, THE WEST 300 FEET OF PARCELS 10, 11, 13 AND 14, OR THE SOUTH 400 FEET OF PARCEL 10.
C. IN ADDITION TO CHURCH USES, PARCEL 15 SHALL BE PERMITTED TO OPERATE AS A PRIVATE SCHOOL (K-12 GRADES) AND RELATED FACILITIES, DAY CARE (WITH BZA APPROVAL), NON-PROFIT NON-COMMERCIAL RADIO STATION.
D. MAXIMUM HEIGHT FOR MICRO-WAVE TOWER FOR THE NON-PROFIT NON-COMMERCIAL RADIO STATION SHALL BE LIMITED TO 65'. THE ESTABLISHMENT OF A MICROWAVE TOWER FOR AN ACCESSORY NON-PROFIT, NON-COMMERCIAL RADIO STATION SHALL BE PERMITTED PROVIDING IT IS DIRECTLY RELATED OR ATTACHED TO ONE OF THE MAIN STRUCTURES AND NOT CONSTRUCTED AS A FREE-STANDING STRUCTURE, AND SHALL BE SUBJECT TO SITE PLAN REVIEW AND APPROVAL BY THE DIRECTOR OF PLANNING.
E. PARCEL 1 MAY PERMIT CHURCH & CEMETERY USES IN ADDITION TO RESIDENTIAL USES LISTED ABOVE.
F. MAXIMUM BUILDING HEIGHT ELEVATION NOTED WITH * INDICATES MAXIMUM HEIGHT OF PROPOSED CHURCH ONLY. IF RESIDENTIAL USE IS BUILT, MAX. BUILDING HEIGHT REVERTS TO 35' MAX.
G. THE FAMILY LIFE CENTER AND ALL ASSOCIATED RECREATIONAL, EDUCATIONAL, RELIGIOUS, ADMINISTRATIVE, ACCESSORY AND SUPPORTING FACILITIES AND SERVICES ARE FOR THE SOLE USE AND ENJOYMENT OF THE CHURCH MEMBERSHIP AND GUESTS, ARE UNDER THE DIRECT SUPERVISION OF THE CHURCH HAVING SANCTUARY FACILITIES ON A PARCEL WITHIN THE COMMUNITY UNIT PLAN, AND ARE NOT AVAILABLE BY RENTAL LEASE OR FEE TO THE GENERAL PUBLIC.

REVISED DATES:

JUNE 7, 1993 PARCEL NO. 3

DP-147

Submitted for Admin. Adj on 6-7-93

APPROVED CUP

MAPS APP'D 7-19-90

BCC APP'D 8-21-92

MAPS COPY 2 of 2

DATE: NOV. 5, 1985, REVISED: DEC. 2, 1985, REVISED: DEC. 18, 1985, REVISED: JAN. 18, 1986, REVISED: OCT. 25, 1988

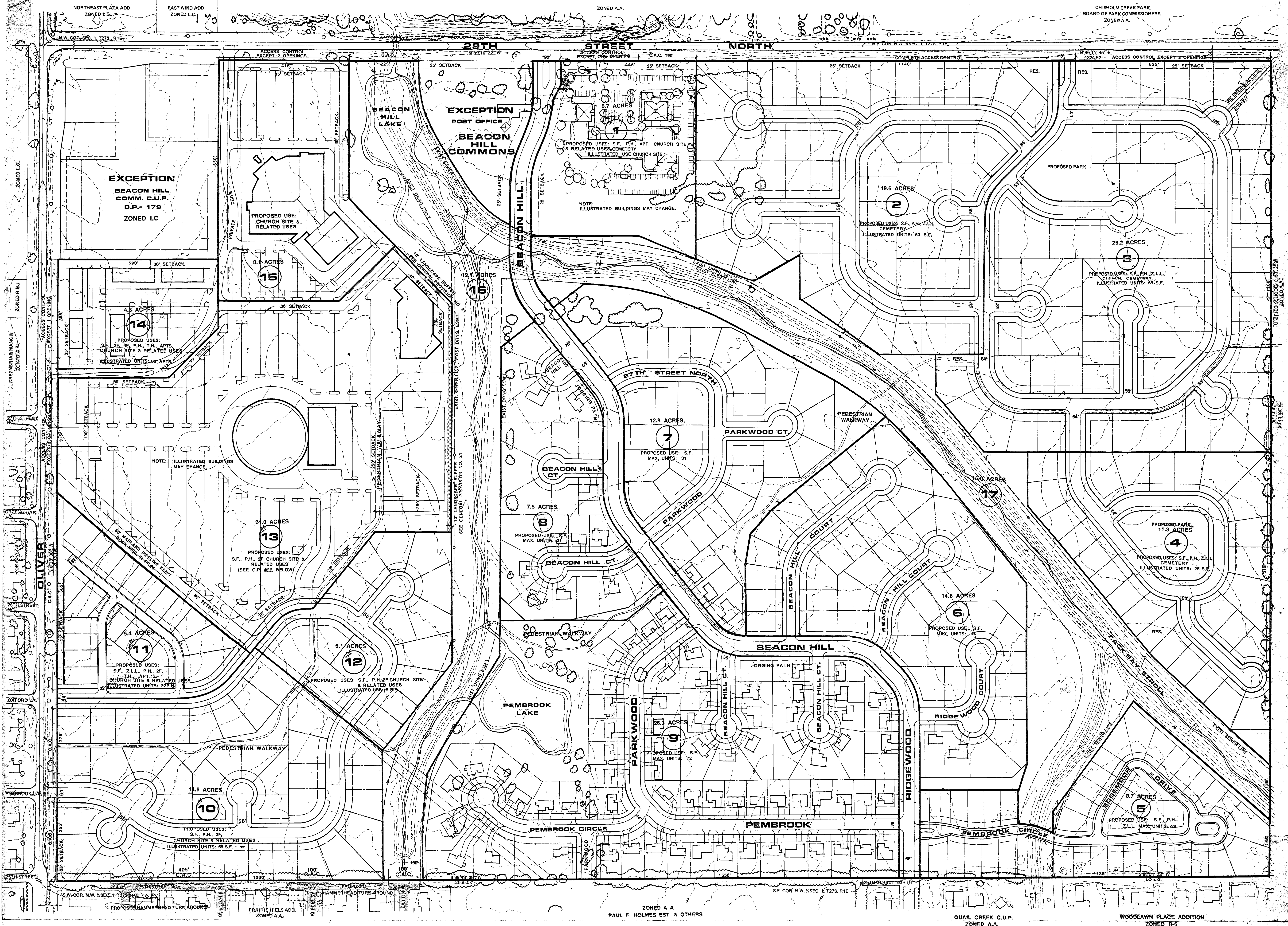
REVISED DATE: APR. 3, 1990, AUG. 1, 1990

200 100 0 100 200 SCALE 1" = 100'



BILL G. YUNG DESIGN

8225 E. 35TH ST. NORTH, WICHITA, KS. 67226 316-683-5567



PEMBROOK

AN ADDITION, TO WICHITA, SEDGWICK COUNTY, KANSAS



SCALE: 1"=100'

○ = IRON SET
 ● = IRON FOUND
 CALC. MEAS. = CALCULATED FROM MEASUREMENT
 MEAS. = MEASURED
 S.S. = SANITARY SEWER
 B.S.L. = BUILDING SETBACK LINE

B.M. - DISC 29' NORTH AND 33' EAST OF
 CENTERLINE OLIVER AND 29TH STREET
 NORTH.
 ELEV. = 159.68 CITY DATUM
 B.M. - RAILROAD SPIKE IN S.W. FACE OF
 POWER POLE 26.5' NORTH OF 1/16
 CORNER, 1/4 MILE EAST OF 29TH
 STREET NORTH AND OLIVER.
 ELEV. = 161.18 CITY DATUM

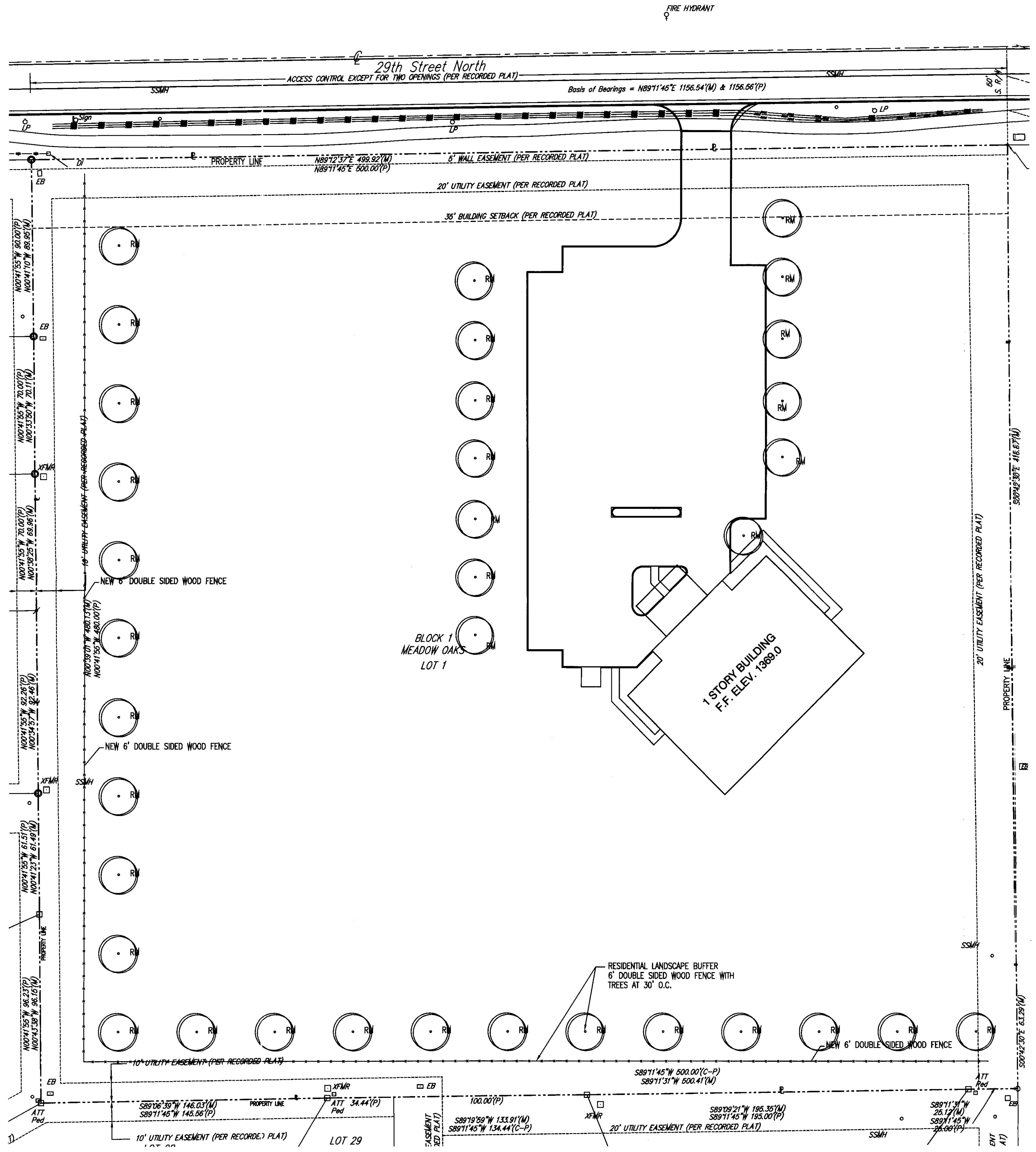
MINIMUM PAD ELEVATION (LOWEST OPENING) AS
 FOLLOWS:

BLOCK 1
 LOT 1 ELEV. 167.00 CITY DATUM
 LOT 2 ELEV. 168.00 CITY DATUM
 LOTS 3 AND 4 ELEV. 169.00 CITY DATUM
 LOTS 5 THROUGH 7 ELEV. 170.00 CITY DATUM
 LOTS 8 AND 9 ELEV. 171.00 CITY DATUM
 LOTS 10 THROUGH 12 ELEV. 172.00 CITY DATUM

THIS ADDITION IS SUBJECT TO THE REQUIREMENTS
 OF THE BEACON HILL, C.U.P., DP-147 ON FILE
 WITH THE METROPOLITAN AREA PLANNING
 DEPARTMENT.

CONCEPTUAL SITE PLAN FOR PARCELS 10, 11, 12 & PART
 OF PARCEL 13, BEACON HILL CUP, DP 147

Marvin S. Kront *October 8, 1993*
 MARVIN S. KROUT, DIRECTOR OF PLANNING DATE



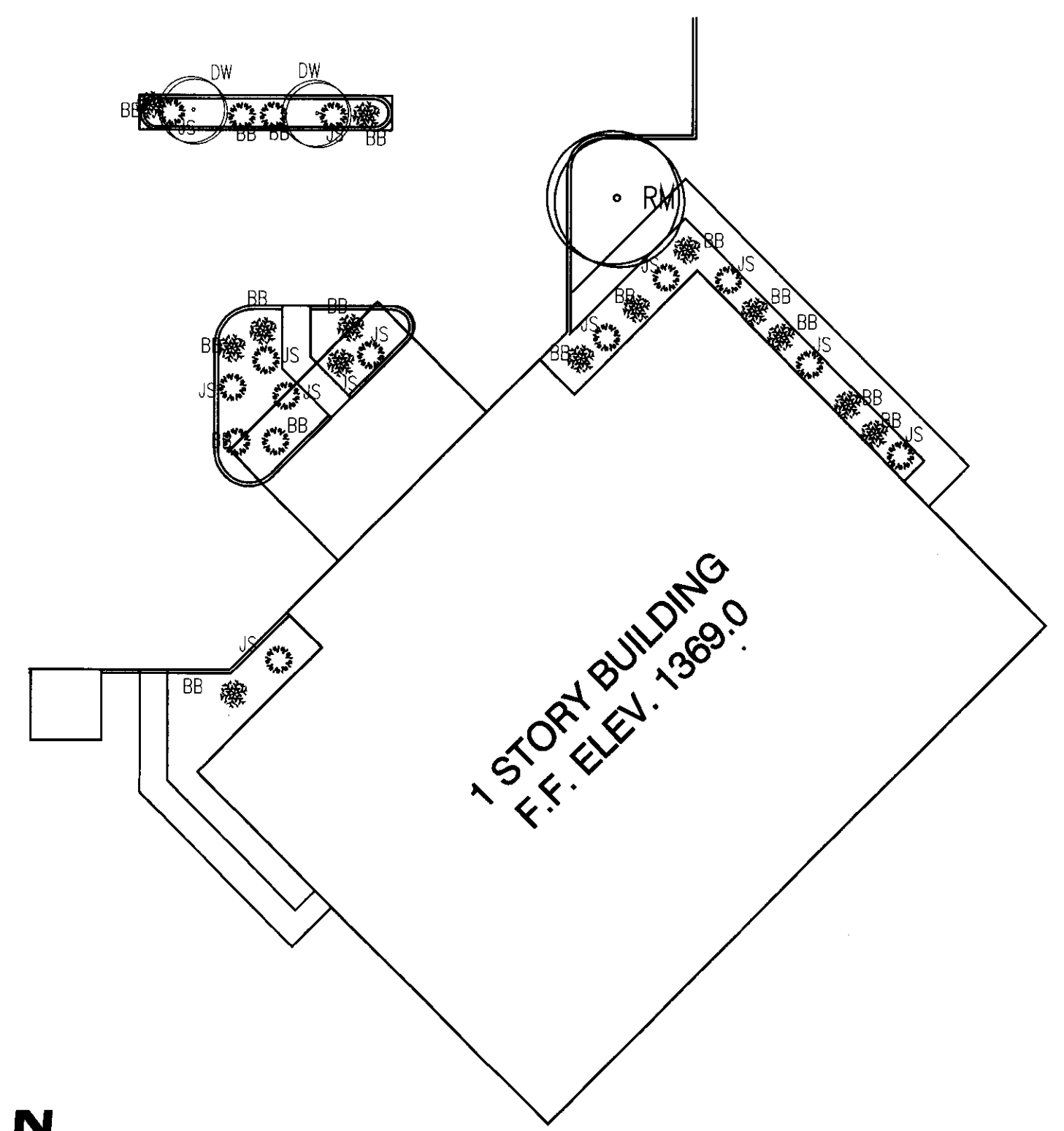
LANDSCAPE PLAN
SCALE 1"=30.0'

LANDSCAP ANALYSIS

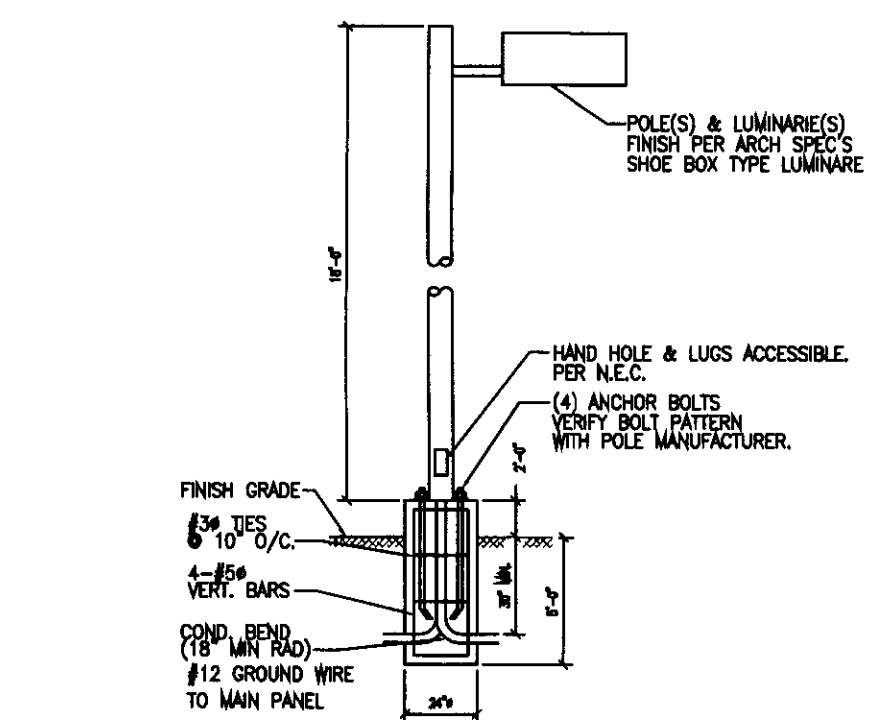
416' TOTAL LINEAR FT. OF STREET FRONTAGE
X20 SQ.FT. FACTOR FROM TABLE 2.1 OF LANDSCAPE ORDINANCE
8320 TOTAL SQ.FT. OF LANDSCAPED STREET YARD

8320/500= 16.64 REQUIRED TREES

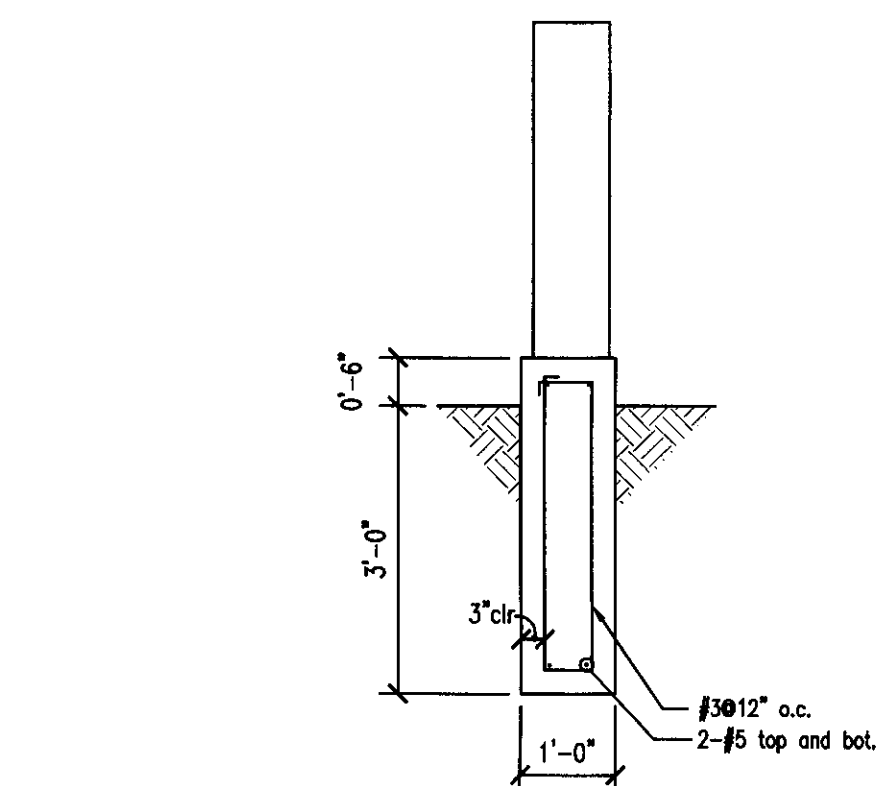
DECIDUOUS 2 = 13 TREES
ORNAMENTAL 2 = 1 TREES
SHRUBS 30 = 3 TREES
Total 17 TREES



LANDSCAPE PLAN
SCALE 1"=20.0'



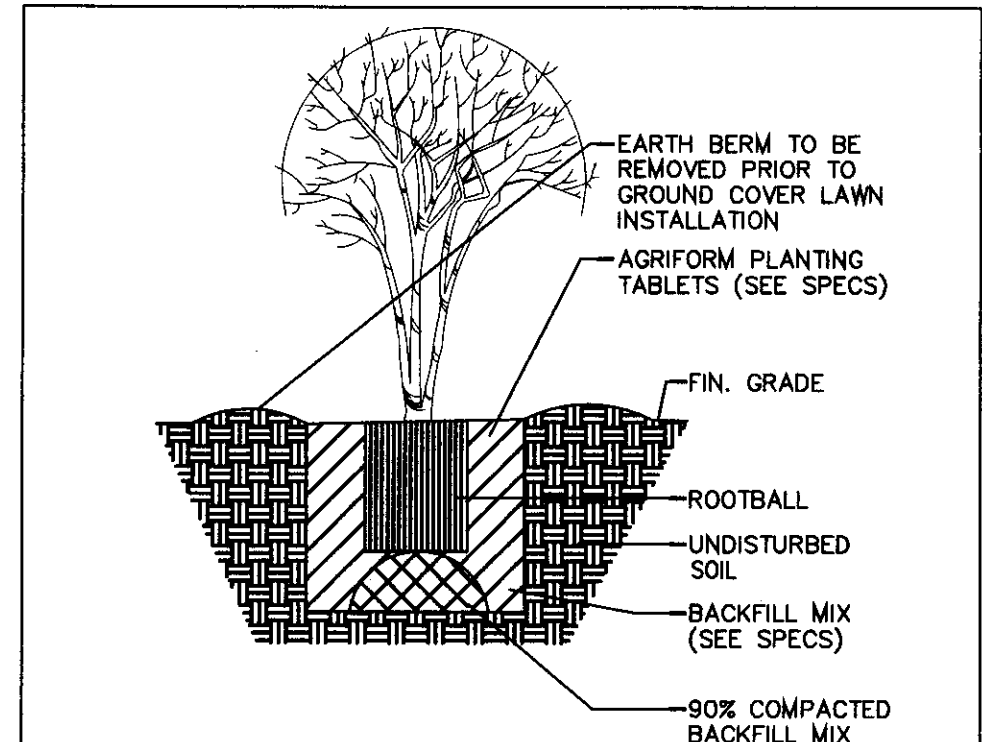
PARKING LOT LIGHT DETAIL
SCALE 1/2"=1'-0"



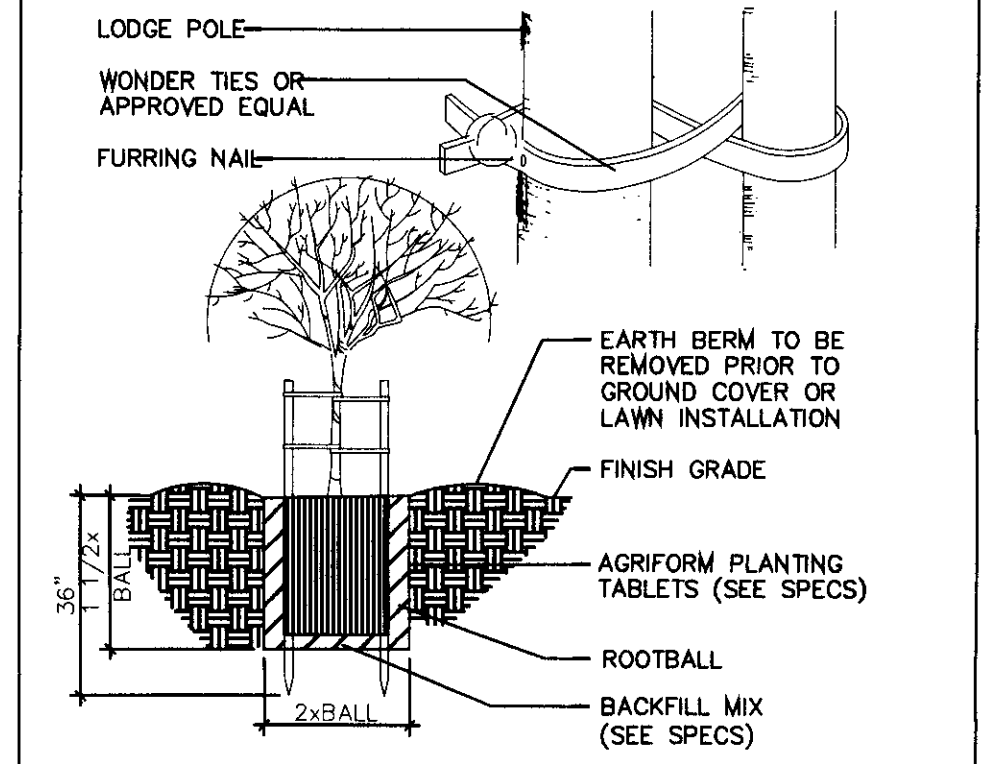
SECTION
SCALE 1/2"=1'-0"

LANDSCAPE LEGEND

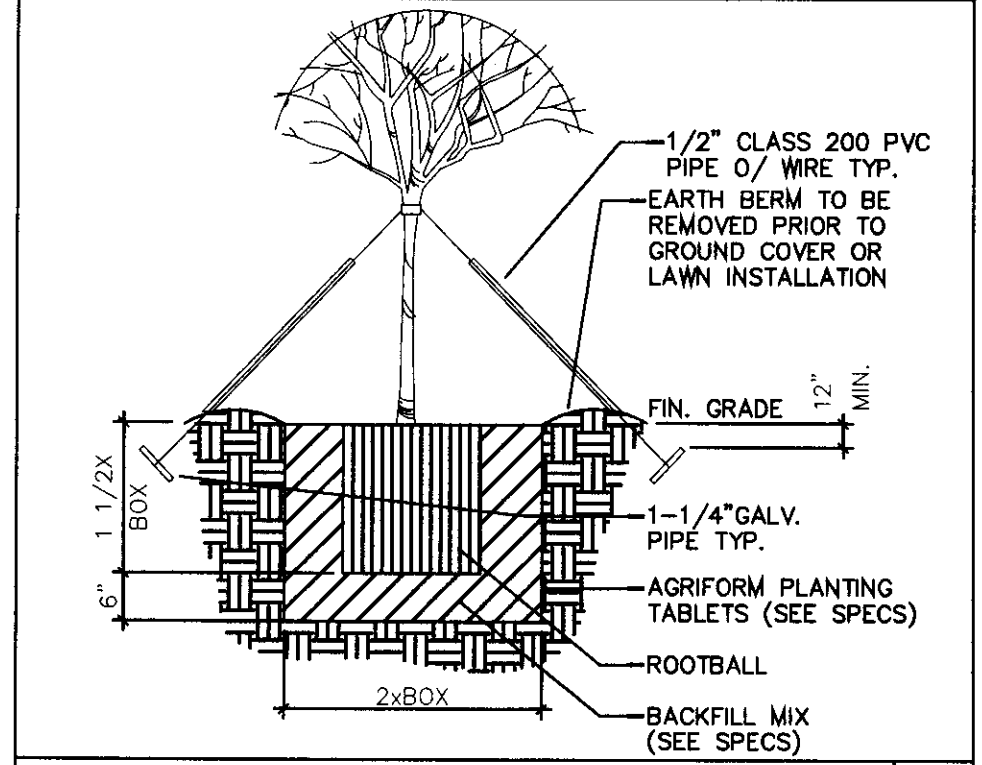
RM	RED MAPLE	<i>Acer rubrum</i>	1 1/2"-3" Ø
DW	WHITE FLOWERING DOGWOOD		1 1/2"-3" Ø
BB	BURNING BUSH	<i>Euonymus alatus</i>	3 -5 GAL.
JS	JUNIPER SPHERA	<i>Juniperus x pfitzeriana</i>	3 -5 GAL.



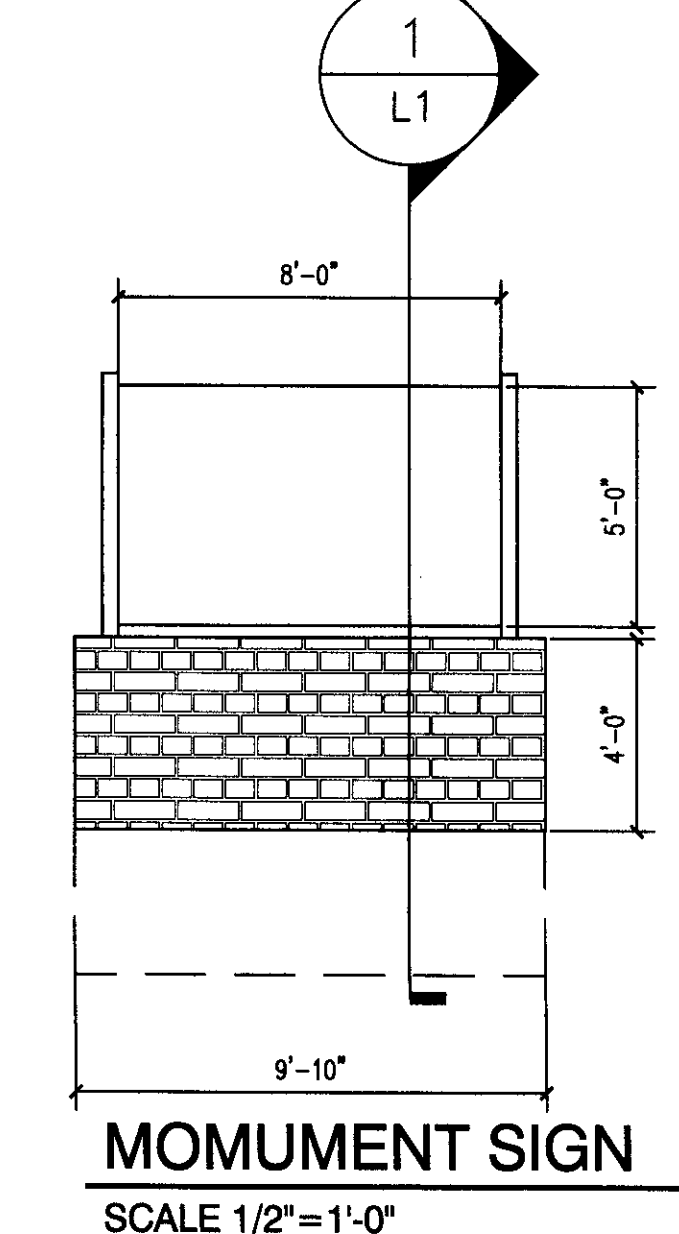
PLANTING N.T.S. 1



PLANTING N.T.S. 2



PLANTING N.T.S. 3

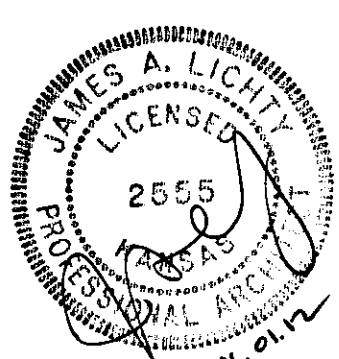


MOMUMENT SIGN
SCALE 1/2"=1'-0"

STEPHEN P. MASLAN & CO.

ENGINEERS/DESIGNERS
8011 PASEO SUITE 201
KANSAS CITY, MO. 64131
(816) 444-6260

JAMES A. LICHTY AIA



EASTSIDE CATHEDRAL OF PRAISE CHURCH OF GOD IN CHRIST

LANDSCAPE PLAN
5955 E 29TH ST. NORTH
WICHITA, KS
1/5/12 BY [Signature]
1/5/12 BY [Signature]

date 5-20-2012
drawn by R.F.S.
checked by S.P.M.
revised 10-31-12

sheet no.

L1