

PAVING PLANS FOR
COTTONWOOD VILLAGE EIGHTH
 (PHASE 1)

HEDGETREE : FROM THE NORTH LINE OF 29TH ST. NORTH TO THE EAST LINE OF LOT 32, BLOCK 1, EXTENDED.
 HEDGETREE COURT : (SERVING LOTS 32 THROUGH 38, INCLUSIVE, BLOCK 1.)

PROJECT NO.
472-76-245-81764-000-000-001

CITY OF WICHITA, KANSAS
MICHAEL E. LINDEBAK CITY ENGINEER

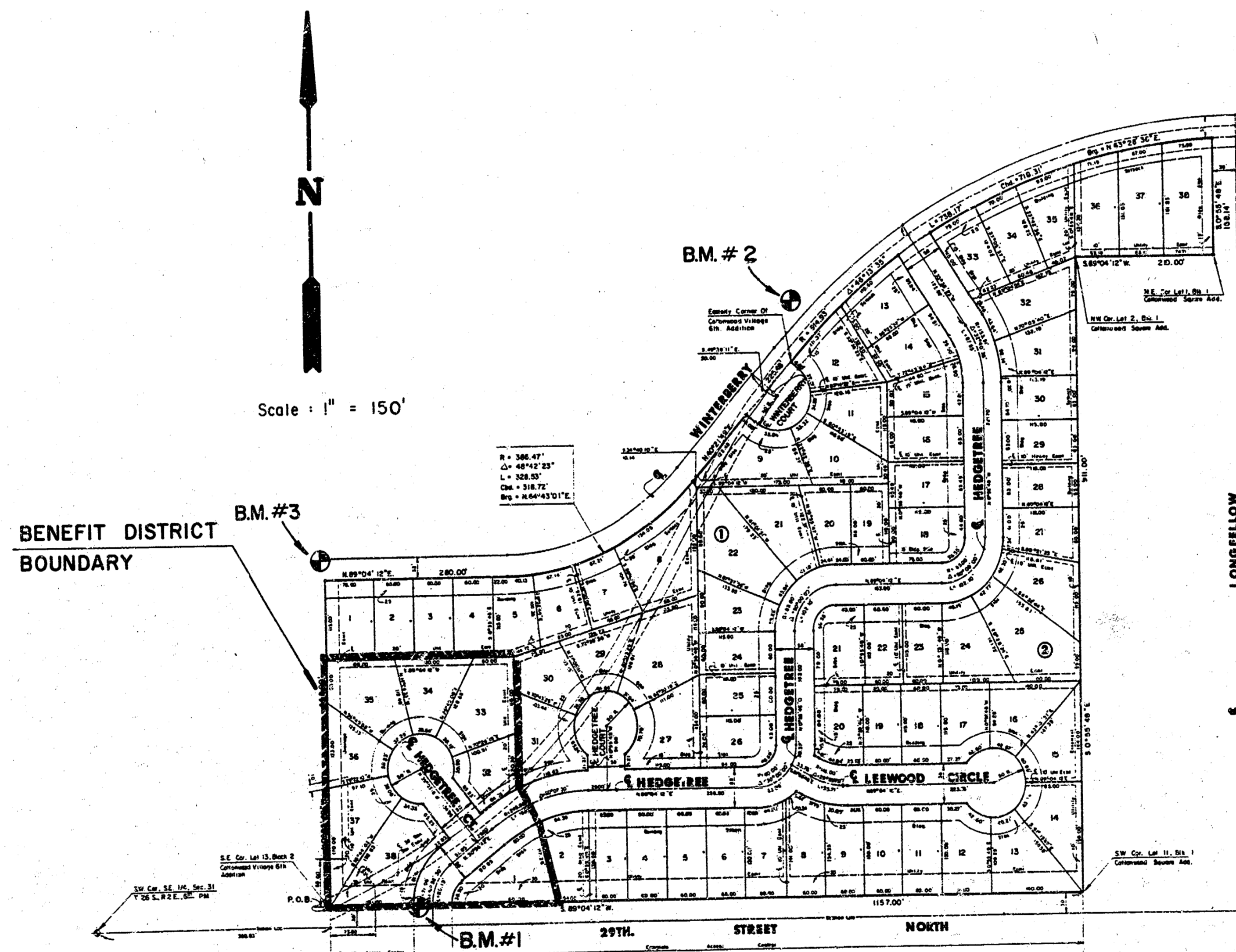
GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY IRONS. THE CONTRACTOR SHALL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR OR A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH STATE LAWS.
2. TRANSITION CURB FROM FULL HEIGHT COMBINATION CURB AND GUTTER TO ROLL TYPE COMBINATION CURB AND GUTTER IS TO BE PAID AS BID FOR LINEAL FEET COMBINED CURB AND GUTTER (3 5/8" ROLL).
3. ALL CONCRETE SHALL BE STANDARD PAVING MIX UNLESS OTHERWISE NOTED.
4. EXISTING UTILITIES AND THEIR LOCATIONS, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. LOCATION INFORMATION HAS BEEN OBTAINED FROM THE VARIOUS UTILITY COMPANIES AND IS EITHER FROM COMPANY RECORD DRAWINGS OR COMPANY PROVIDED FIELD LOCATIONS. THE PLAN LOCATIONS SHOWN ARE NOT GUARANTEED. ADDITIONAL EXISTING UTILITIES MAY ALSO BE ENCOUNTERED.
5. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF TWENTY-FOUR (24) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATION AS FOLLOWS:

ARKLA GAS COMPANY 942-6350 or 263-8161
 BELL TELEPHONE COMPANY 1-316-671-2611
 CABLEVISION 262-4270 or 263-2061
 KPL GAS SERVICE 263-7511
 KANSAS GAS & ELECTRIC 264-1141
 CITY OF WICHITA WATER DEPARTMENT 288-4908
 CITY OF WICHITA SEWER DEPARTMENT 268-4071

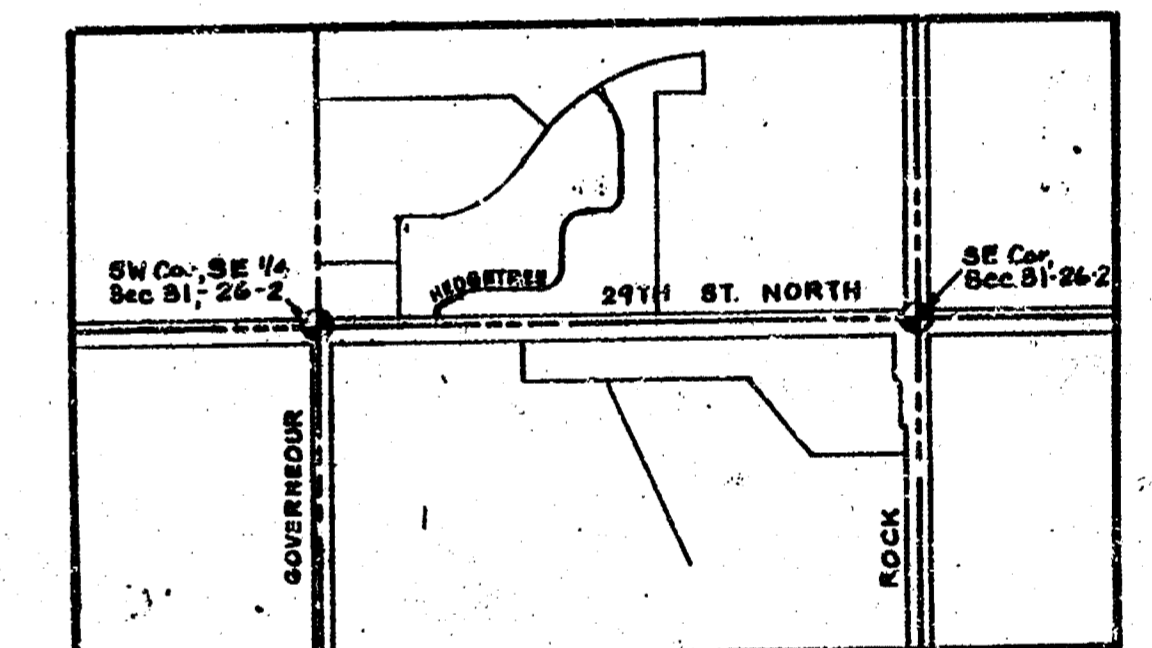
BENCHMARKS

- B.M. #1 "□" Cut on top of curb on North end of Northwest return at Hedgetree and 29th Street North. Elev.=189.43
 B.M. #2 "*" on top of curb and centerline of approach walk at 7500 Winterberry. Elev.=196.925
 B.M. #3 "□" Cut on Southeast corner of curb Inlet at Northwest corner of Cottonwood Village 8th Add. Elev.=188.85



INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2,3	PAVING DETAILS
4	HEDGETREE & HEDGETREE CT.
5,6	CROSS SECTIONS
7,8	FINAL PLAT



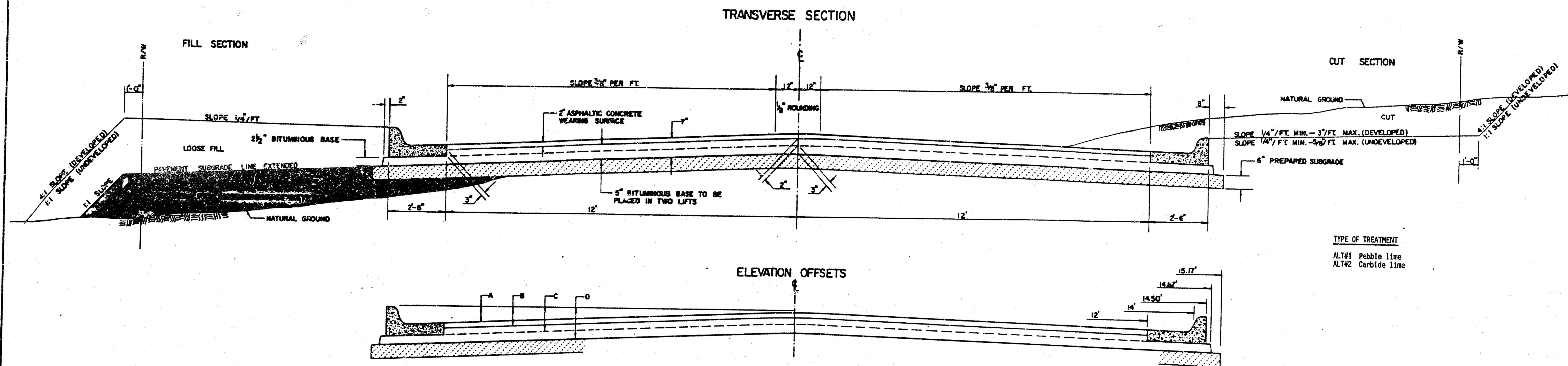
VICINITY MAP



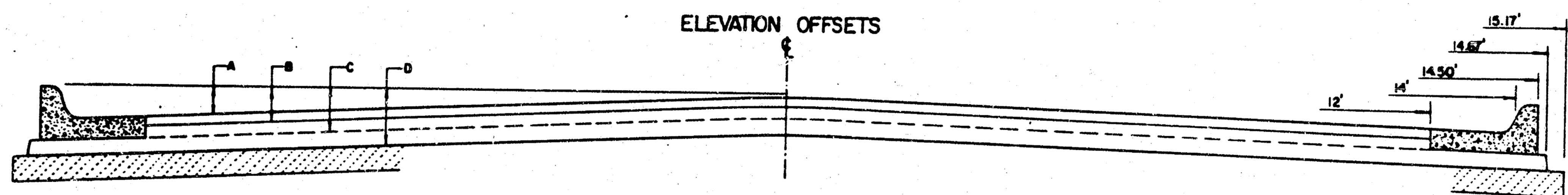
	COTTONWOOD VILLAGE EIGHTH (PHASE 1)	Design G. J. J. Drawn by K. S. M. Checked by Date FEB, 1988 Job no.
	PAVING PLANS	Sheet 1 of 8
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226		682-6561

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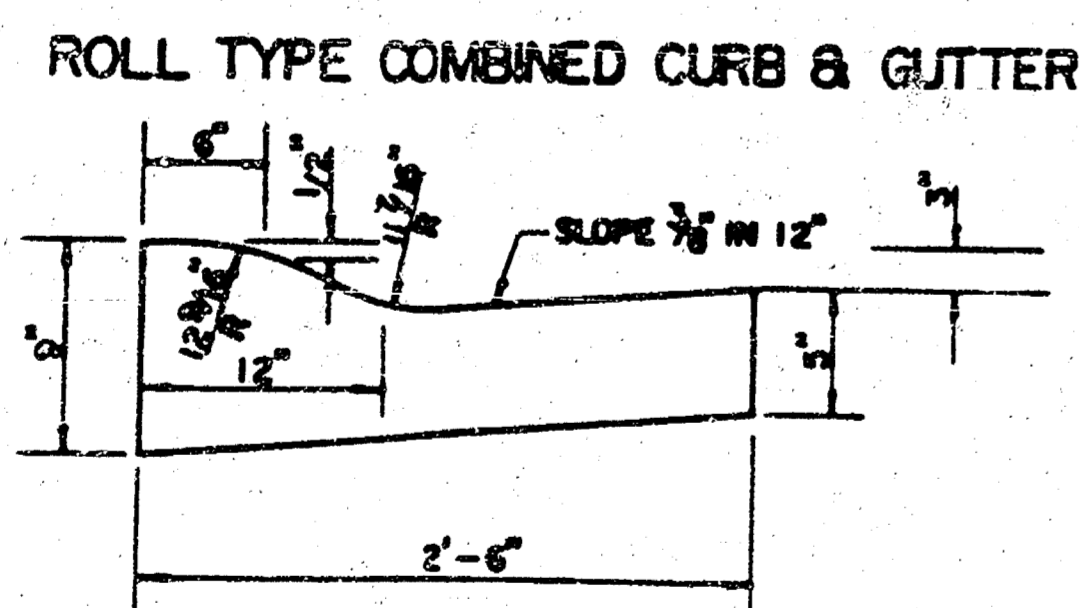
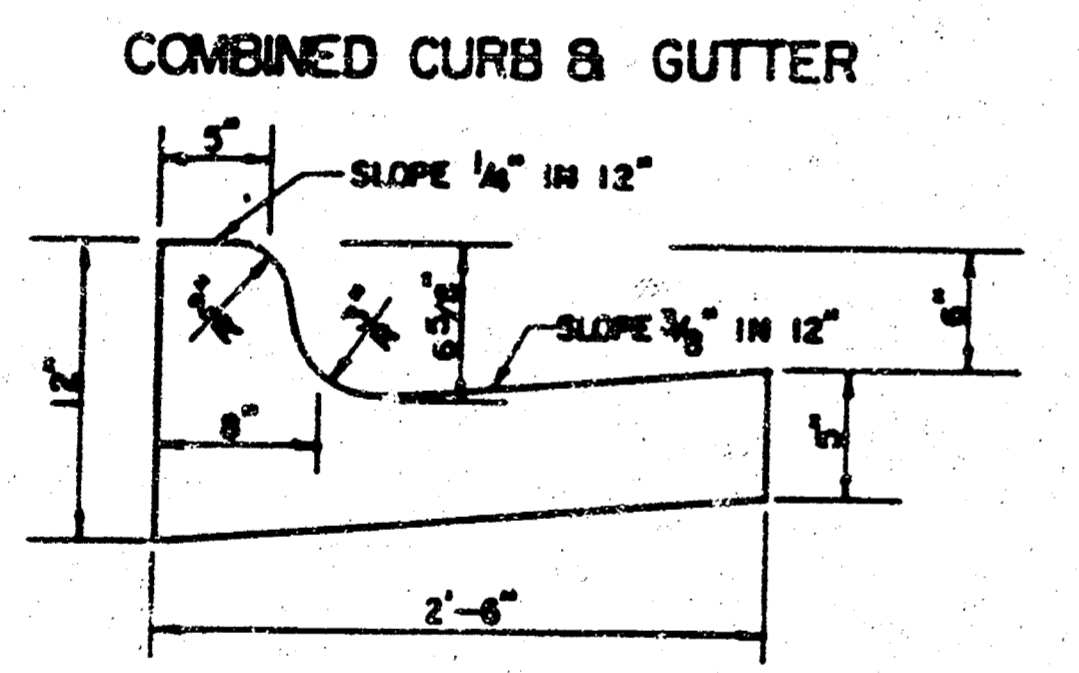
TYPICAL 29' PAVEMENT DETAILS



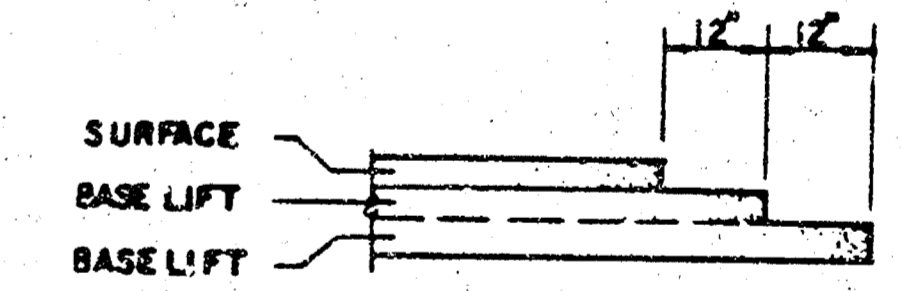
TYPE OF TREATMENT
 ALT#1 Pebble lime
 ALT#2 Carbide lime



	DISTANCE FROM CENTERLINE (LT. & RT.)												
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'	
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—	
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.66	—	—	—	—	
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—	
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23	



TRANSVERSE CONSTRUCTION JOINTS



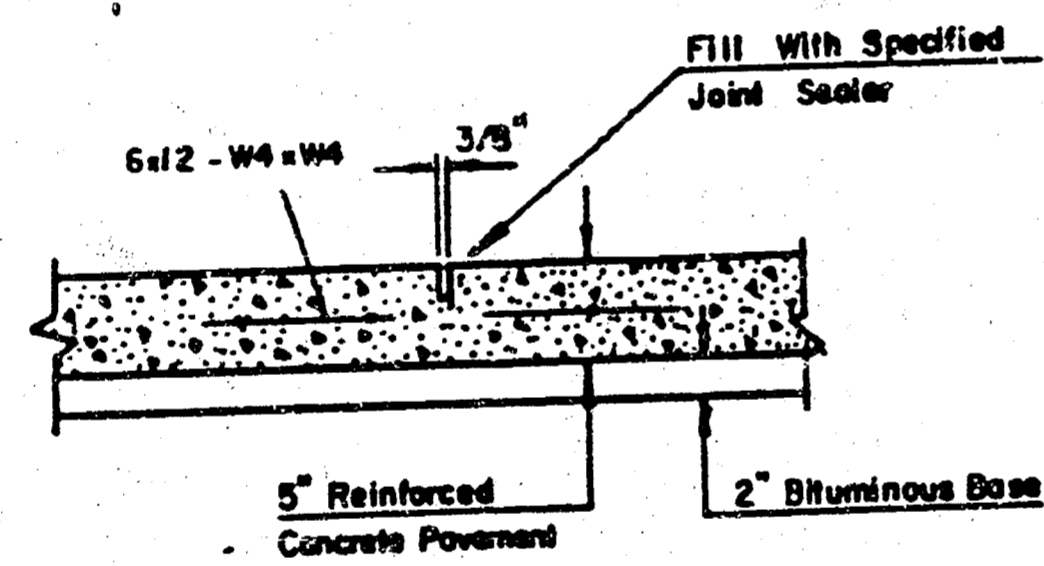
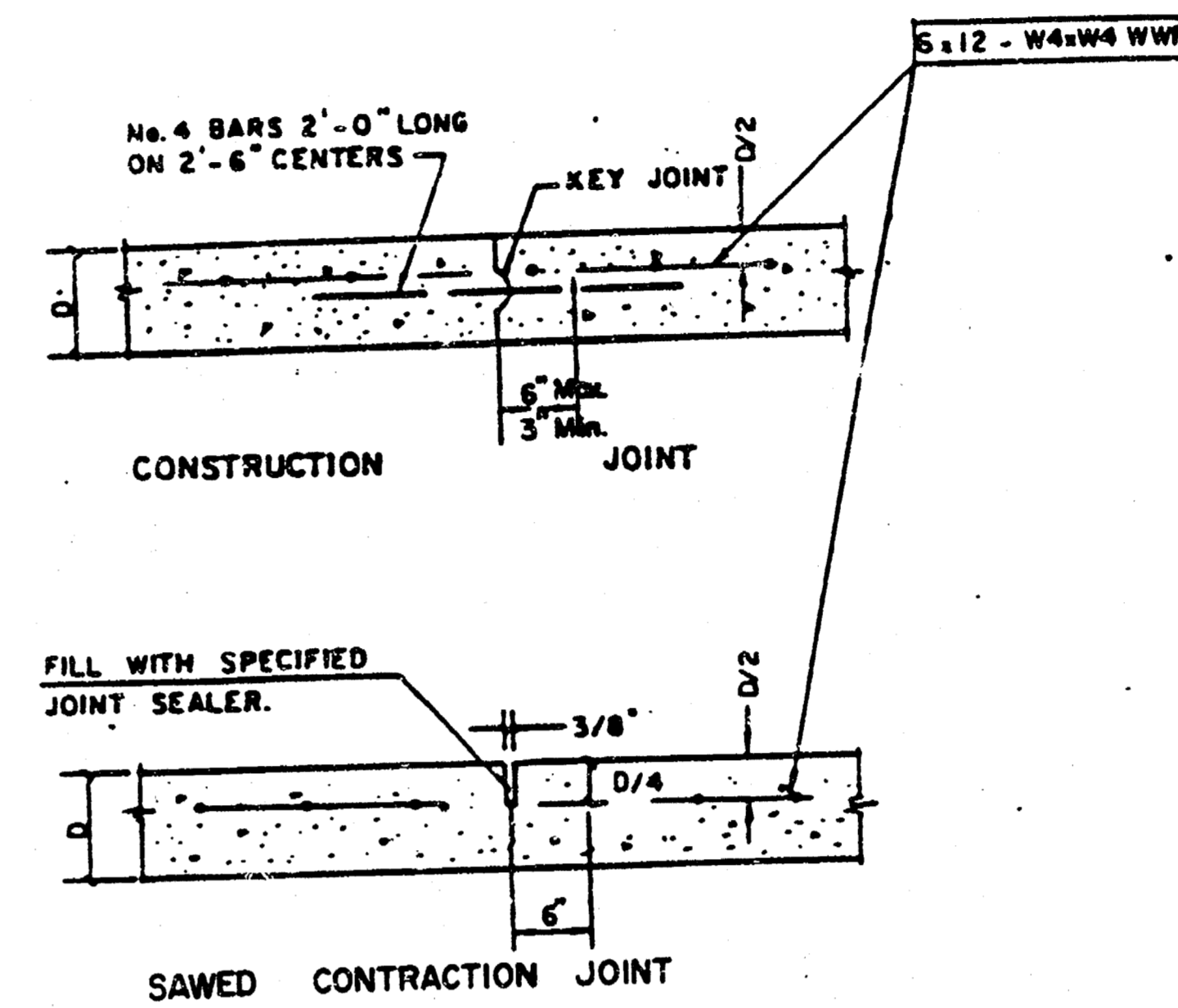
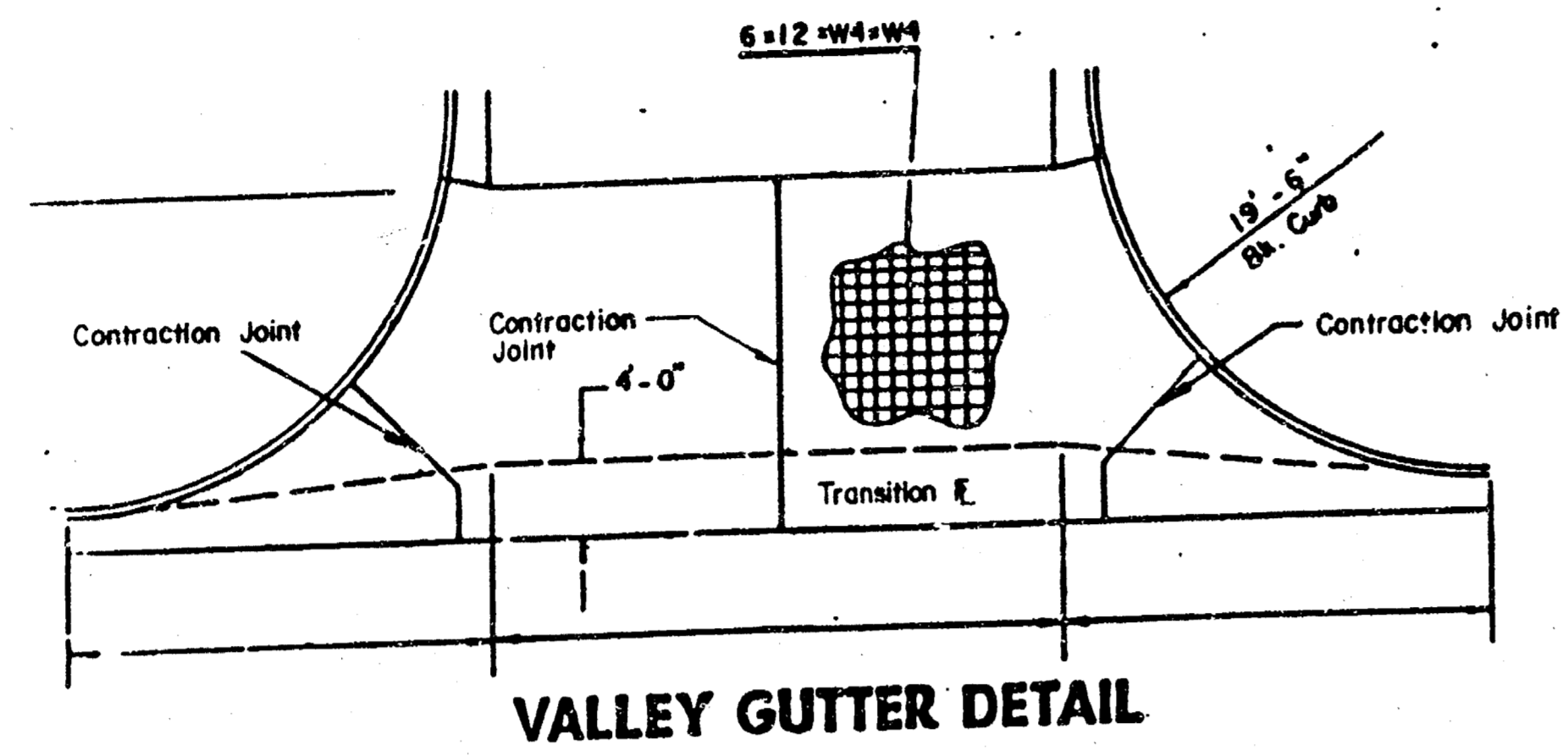
TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7\"/>

GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7\"/>
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2\"/>
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

7 INCH RESIDENTIAL ASPHALTIC CONCRETE PAVEMENT WITH 5 INCH BITUMINOUS BASE
 CITY OF WICHITA, KANSAS
 PROJECT NUMBER 472-76-245-81521-000-000-001 2/8
 87-102-3216

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7" REINF. VALLEY GUTTER PAVEMENT



DETAILS

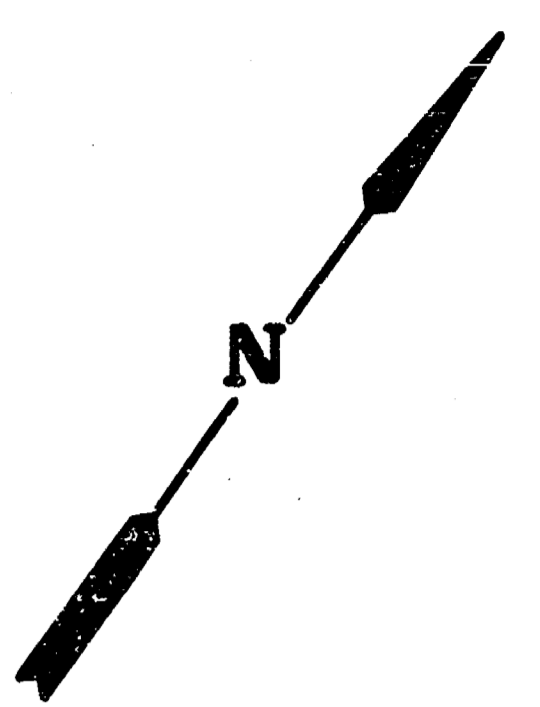
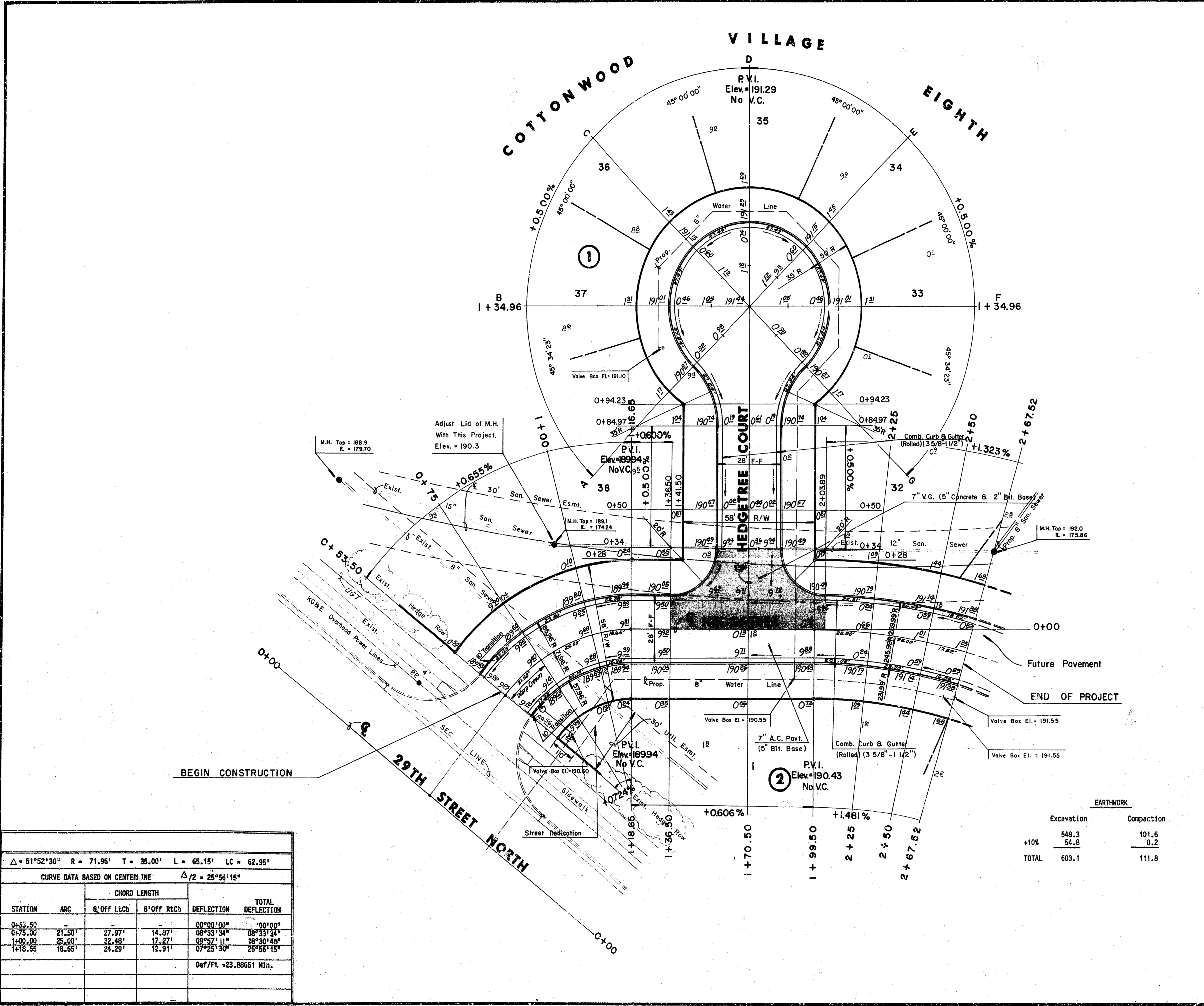
Design
G.J.A.
 Drawn by
K.S.M.
 Checked by
D.S.
 Screen by
Date
March, 1988

MID-KANSAS ENGINEERING CONSULTANTS PA
 240 NORTH ROCK ROAD
 SUITE 130
 WICHITA KANSAS 67206
 582-6561

Sheet
3
 of 8

87-102-32/E

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Scale: 1" = 20'

WATER VALVE BOXES				
STATION	RT. OF C-L	LT OF C-L	EXISTING ELEV.	PROPOSED ELEV.
HEDGETREE:				
0+62.6	32.4	-	-	190.60
1+91.5	18.0	-	-	190.55
2+62.0	21.0	-	-	191.55
2+67.5	21.0	-	-	191.55
HEDGETREE COURT:				
1+18.5	-	39.7	-	191.10

HEDGETREE & HEDGETREE CT. INTERSECTION QUANTITIES	
90.0 S.Y.	7" Asphaltic Conc. Pavement (5" Bituminous Base)
62.5 L.F.	Monolithic Edge Curb
194.3 S.Y.	Manipulation
39.6 S.Y.	7" Concrete & 5" Asphaltic Concrete Base
	2" Bit. Base

CURVE DATA BASED ON CENTERLINE $\Delta/2 = 07^{\circ}55'17''$				
STATION	ARC	CHORD LENGTH		TOTAL DEFLECTION
		8' Off LcCb	8' Off RtcCb	
1+99.50	-	-	-	00°00'00"
2+03.89	4.39'	4.78'	23.21'	08°30'41"
2+25.00	21.11'	22.99'	22.75'	02°50'11"
2+50.00	25.00'	27.22'	15.95'	05°52'52"
2+67.52	17.52'	19.08'	15.95'	02°02'25"
Def/Ft = 6.98757 Min.				

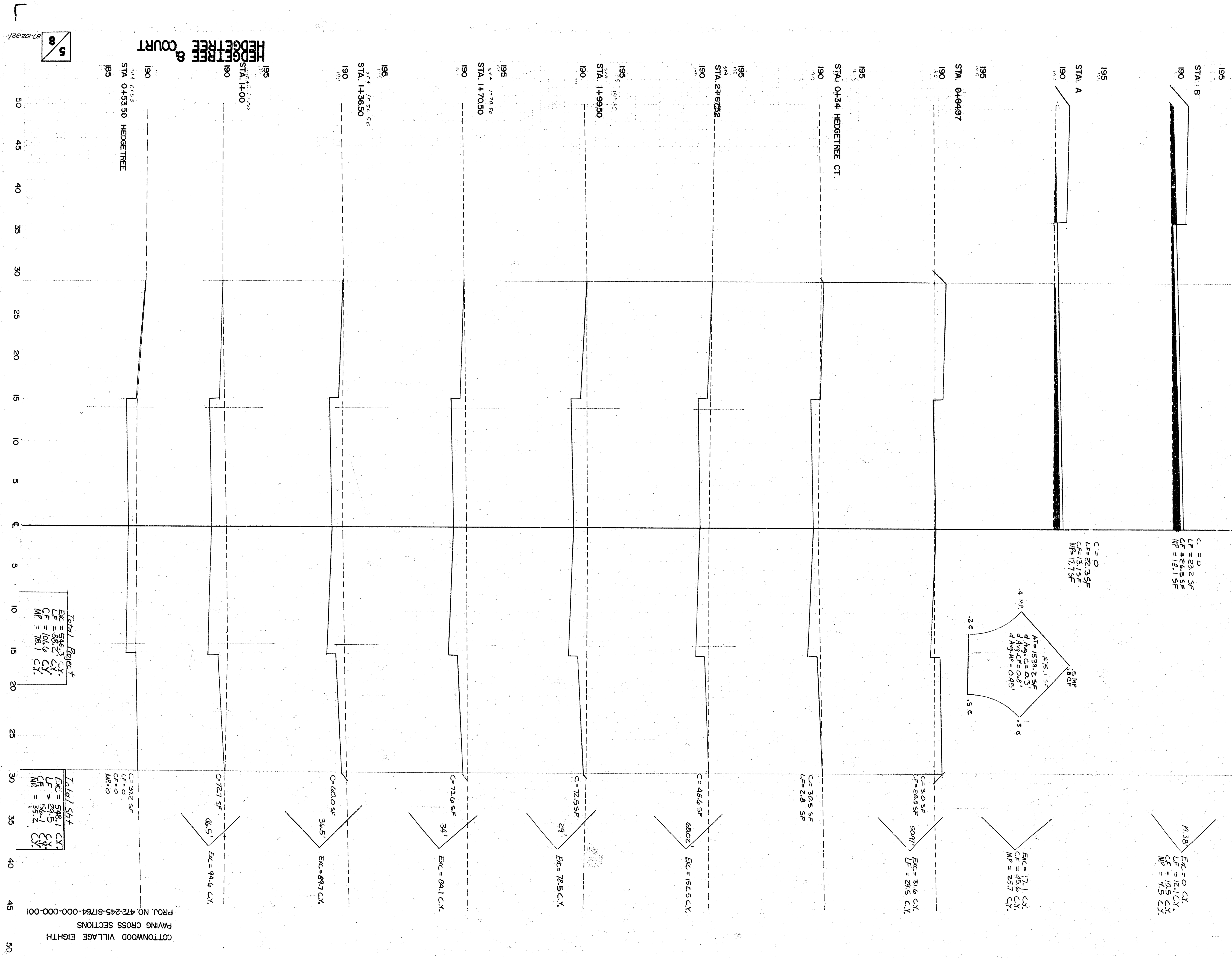
EARTHWORK		
Excavation	548.3	101.6
+10%	54.8	0.2
TOTAL	603.1	111.8

CURVE DATA BASED ON CENTERLINE $\Delta/2 = 25^{\circ}56'15''$				
STATION	ARC	CHORD LENGTH		TOTAL DEFLECTION
		8' Off LcCb	8' Off RtcCb	
0+53.50	-	-	-	00°00'00"
0+75.00	21.50'	27.97'	14.87'	08°33'34"
1+00.00	25.00'	32.48'	17.27'	18°30'45"
1+18.65	18.65'	24.29'	12.91'	07°25'30"
Def/Ft = 23.86651 Min.				

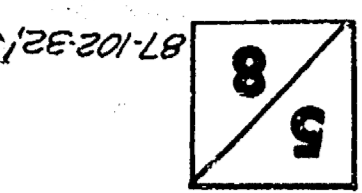
	CITY OF WICHITA		Design
	HEDGETREE & HEDGETREE COURT		Drawn by
PROJECT NO. 472-76-245-817 64-000-000-001		Checked by	Date
MID-KANSAS ENGINEERING CONSULTANTS PA 3500 NORTH ROCK ROAD BUILDING #800 WICHITA, KANSAS 67226		Job no.	Sheet 4 of 8

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COTTONWOOD VILLAGE EIGHTH
 PAVING CROSS SECTIONS
 PROJ. NO. 472-245-81764-000-000-001



8/9

LF = 2.0 CY
CF = 9.0 CY
MP = 4.1 CY

LF = 11.7 CY
CF = 5.1 CY
MP = 8.1 CY

LF = 13.1 CY
CF = 10.6 CY
MP = 7.3 CY

LF = 12.8 CY
CF = 12.8 CY
MP = 9.5 CY

LF = 12.1 CY
CF = 12.3 CY
MP = 9.5 CY

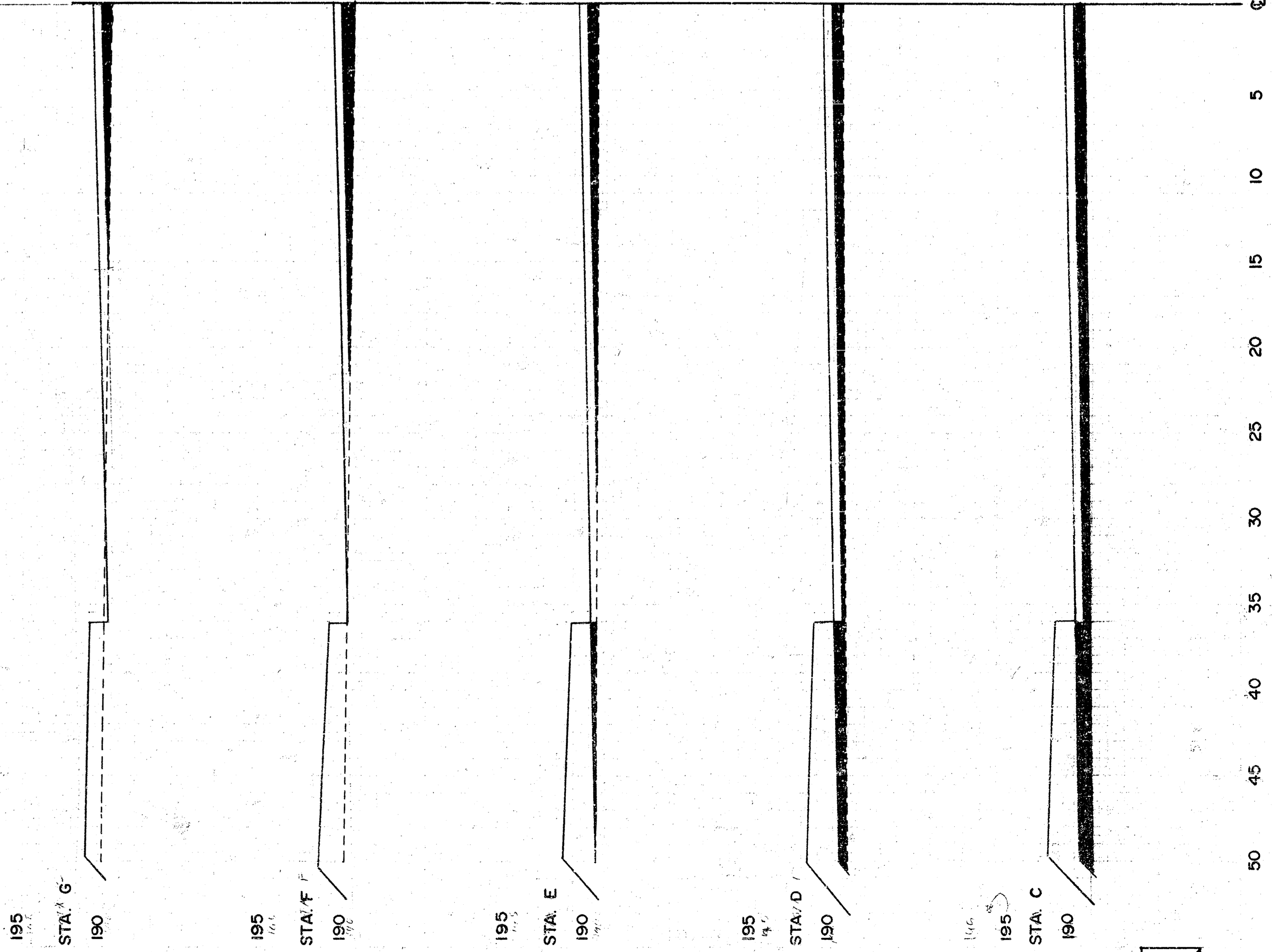
C = 0.6 SF
LF = 20.3 SF
CF = 8.9 SF
MP = 10.8 SF

C = 0
LF = 20.3 SF
CF = 9.9 SF
MP = 13.5 SF

C = 0
LF = 24.7 SF
CF = 11.9 SF
MP = 14.9 SF

C = 0
LF = 25.8 SF
CF = 28.5 SF
MP = 18.1 SF

C = 0
LF = 22.8 SF
CF = 20.1 SF
MP = 18.1 SF
Total Shift:
Exc = 2.0 CY
LF = 22.1 CY
CF = 12.2 CY
MP = 12.1 CY



HEDGETREE COURT

6/8

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**FINAL PLAT OF
COTTONWOOD VILLAGE EIGHTH
AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS**

I, Kenneth H. Bengtson, a Civil Engineer and Licensed Land Surveyor in Kansas, do hereby certify that I have been in responsible charge of surveying and platting of "COTTONWOOD VILLAGE EIGHTH", an addition to Wichita, Sedgwick County, Kansas, into a lots, blocks and streets, the same being accurately set forth in the accompanying plat and described herein:

A tract of unplatted land and Lot 1, Block 1, COTTONWOOD VILLAGE SEVENTH ADDITION, an addition to Wichita, Sedgwick County, Kansas, lying in the Southeast Quarter of Section 31, Township 26 South, Range 2 East of the 6th P.M., Sedgwick County, Kansas, more particularly described as follows:

Beginning at the Southeast corner of Lot 13, Block 2, COTTONWOOD VILLAGE SEVENTH, an addition to Wichita, Sedgwick County, Kansas; thence along the boundary of said addition N 00° 55' 48" W, 466.00 feet; thence N 89° 04' 12" E, 280.00 feet to a point on a curve to the left; thence along said curve 328.53 feet, said curve having a central angle of 48° 42' 23", a radius of 386.47 feet, and a long chord of 318.72 feet, bearing N 64° 43' 01" E; thence N 40° 21' 49" E, 225.48 feet to the most Easterly corner of said COTTONWOOD VILLAGE SIXTH, said point also being the most Southerly corner of COTTONWOOD VILLAGE FIFTH ADDITION, an addition to Wichita, Sedgwick County, Kansas, said point also lying on a curve to the right; thence along the South line of said COTTONWOOD VILLAGE FIFTH ADDITION and along said curve 738.17 feet, said curve having a central angle of 46° 13' 35", a radius of 914.93 feet, and a long chord of 716.31 feet, bearing N 63° 28' 36" E to a point on the West line of Longfellow (street) as platted in COTTONWOOD SQUARE, an addition to Wichita, Sedgwick County, Kansas; thence S 00° 55' 48" E, 168.14 feet along said West line of said Longfellow to the Northeast corner of Lot 1, Block 1 of said COTTONWOOD SQUARE; thence S 89° 04' 12" W, 210.00 feet to the Northwest corner of said COTTONWOOD SQUARE; thence S 00° 55' 48" E, 911.00 feet along the West line to the Southwest corner of said COTTONWOOD SQUARE; thence S 89° 04' 12" W, 1157.00 feet parallel with the South line of said Southeast Quarter to the point of beginning.

All lots, blocks, platted easements, and building setbacks are hereby vacated and replatted by virtue of K.S.A. 12-512(b).

I hereby certify that the details of this plat are correct to the best of my knowledge and belief this 19th day of January, 1988.

Kenneth H. Bengtson
Kenneth H. Bengtson, P.E., L.S., #922
Mid-Kansas Engineering Consultants, P.A.
3500 N. Rock Road, Building #800
Wichita, KS 67226

Know all men by these presents that we the undersigned property owners of the land as above set forth in the Land Surveyors and Civil Engineer's Certificate, have caused the same to be platted into lots, blocks and streets, the same to be known as "COTTONWOOD VILLAGE EIGHTH", an addition to Wichita, Sedgwick County, Kansas. The streets are hereby dedicated to and for the use of the public. Easements for the construction and maintenance of public utilities and drainage are hereby granted. All abutters rights of access to or from 29th Street North over and across the South line of Lot 36, Block 1 and Lots 1 thru 13, inclusive, Block 2 are hereby granted to the City of Wichita.

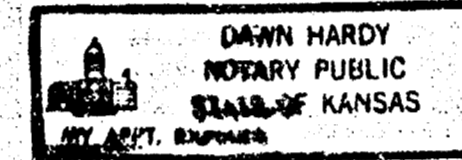
LEEWOOD HOMES, INC.

By: *Joe H. Lee, President*
Joe H. Lee, President

STATE OF KANSAS)
) ss:
SEDGWICK COUNTY)

Be it remembered that on this 19th day of January, 1988, before me a Notary Public in and for said State and County, came Leewood Homes, Inc., by Joe H. Lee, President, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

Dawn Hardy
Dawn Hardy
My Appointment Expires: 10/20/90



We, Bank IV, Wichita, National Association, mortgagees on the above described property, do hereby consent to the plat of "COTTONWOOD VILLAGE EIGHTH".

BANK IV, WICHITA, NATIONAL ASSOCIATION

By: *John D. Newman*
John D. Newman, Vice President

STATE OF KANSAS)
) ss:
SEDGWICK COUNTY)

Be it remembered that on this 19th day of January, 1988, before me a Notary Public in and for said State and County, came John D. Newman, on behalf of Bank IV, Wichita, National Association, to me personally known to be the same person who executed the foregoing instrument of writing and duly acknowledged the execution of the same. In testimony whereof I have hereunto set my hand and affixed my notarial seal the day and year above written.

M. Jean Nujum
M. Jean Nujum
My Appointment Expires: 1-6-92

This plat of "COTTONWOOD VILLAGE EIGHTH" has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.

Dated this 10th day of December, 1987.

WICHITA-SEDGWICK COUNTY METROPOLITAN AREA PLANNING COMMISSION

Elton Parsons
Elton Parsons, Chairman

Marvin S. Krout
Marvin S. Krout, Secretary

This plat approved and all dedications shown hereon, if any, accepted by the City Council of the City of Wichita, Kansas, this 19th day of January, 1988.

Robert G. Knight
Robert G. Knight, Mayor

Debra L. Rea
Debra L. Rea, Deputy City Clerk

Entered on transfer record this ___ day of _____, 1988.

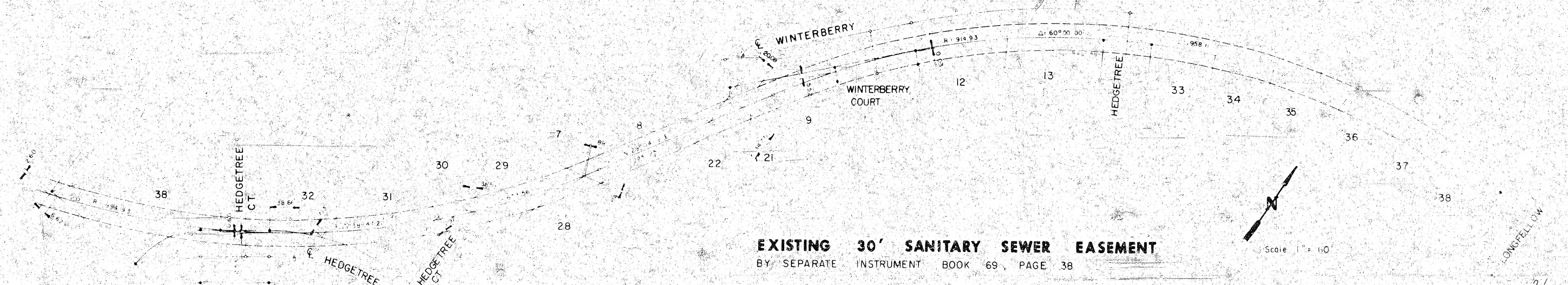
Don Wright
Don Wright, County Clerk

STATE OF KANSAS)
) ss:
SEDGWICK COUNTY)

This is to certify that this instrument was filed for record in the Register of Deeds office this ___ day of _____, 1988.

Walter
Walter, Register of Deeds

Ed Resa
Ed Resa, Deputy



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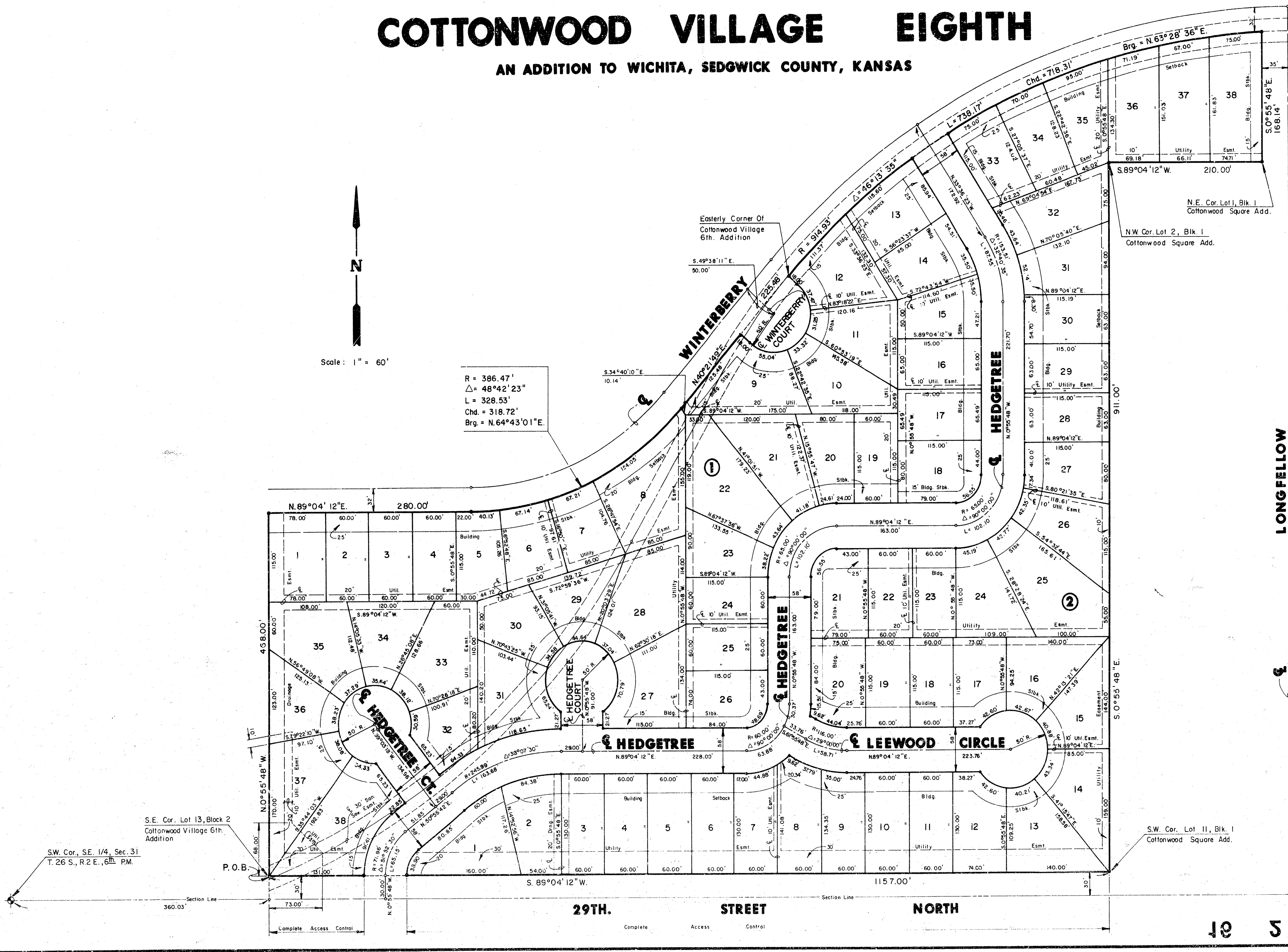
FINAL PLAT OF COTTONWOOD VILLAGE EIGHTH

AN ADDITION TO WICHITA, SEDGWICK COUNTY, KANSAS



Scale: 1" = 60'

$R = 386.47'$
 $\Delta = 48^\circ 42' 23''$
 $L = 328.53'$
 $Chd. = 318.72'$
 $Brg. = N. 64^\circ 43' 01'' E.$



SW. Cor. SE. 1/4, Sec. 31
T. 26 S., R. 2 E., 6th P.M.

S.E. Cor. Lot 13, Block 2
Cottonwood Village 6th
Addition

S.W. Cor. Lot 11, Blk. 1
Cottonwood Square Add.

10 5 1 1 8

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