

STREET IMPROVEMENTS ON YELLOWSTONE COURT - from the northwesterly line of Yellowstone to and including cul-de-sac. THE PARK 2ND ADDITION

PROJECT NO.

472-76-245-81657-000-000-001

INDEX NO. 608349

INDEX TO DRAWINGS

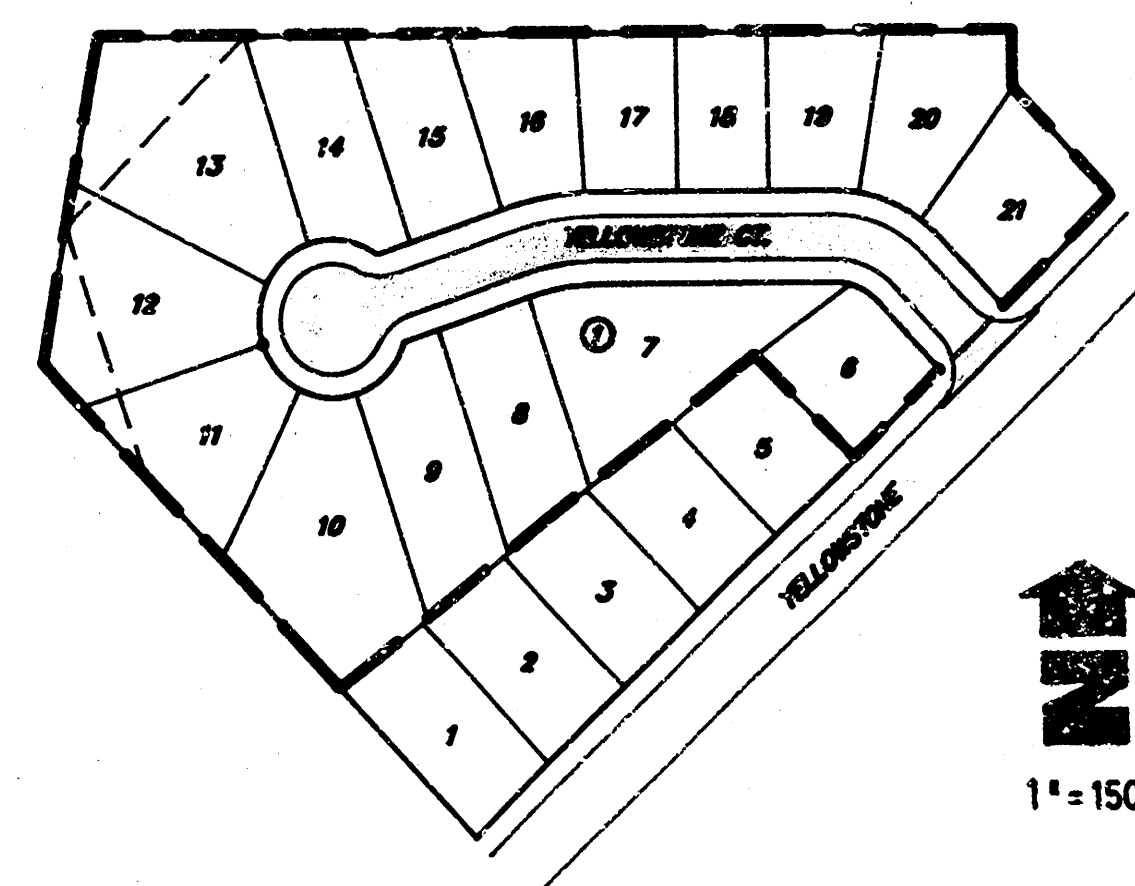
SH. NO.	DESCRIPTION
1	TITLE SHEET
2	TYPICAL SECTION
3	PAVEMENT PLAN
4	EARTHWORK SECTIONS
5	FINAL PLAT

CITY OF WICHITA, KANSAS

MICHAEL E. LINDEBAK CITY ENGINEER

BENCHMARKS

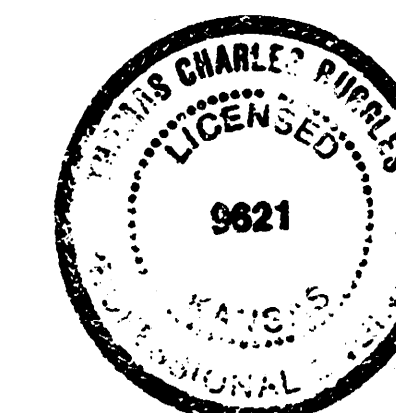
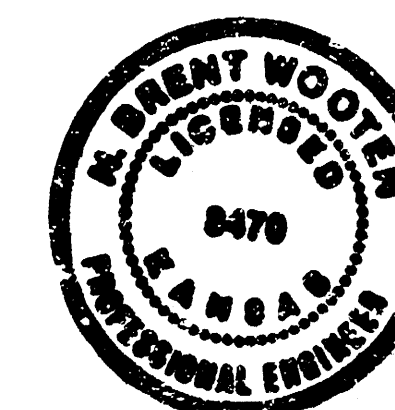
- "□" CUT T.C., So.S. YELLOWSTONE 50' N. N.L. YOSEMITE, E.S. YELLOWSTONE. ELEV.=139.19 CITY DATUM
- "□" CUT T.C. 44' SW. E. YELLOWSTONE CT., SW. SIDE CONST. JOINT ON NW. CURBLN. YELLOWSTONE. ELEV.=133.91 CITY DATUM
- "V" NOTCH N.E. RIM M.H., 54.5' SW-ly & 3.8' SE-ly, SW. Cor. LOT 1, THE PARK SECOND ADDITION. ELEV.=136.75 CITY DATUM



GENERAL NOTES

- Utility service lines, poles, valve boxes, meters, and structures are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans, represent the best information obtainable for design. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- A saw cut of at least one-half the depth of existing surface courses or one-fourth the depth of the existing total pavement thickness shall be provided at locations where proposed construction abuts an existing surface course or pavement for which partial removal of that surface or pavement is required. Sawed joint to facilitate removal within three (3) feet of existing joints will not be permitted and for such instances the limits of removal shall extend to the existing joint. Such saw cuts will not be paid for directly and this cost shall be considered as subsidiary to the removal of the surface or pavement.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be used shall be disposed of on site to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved.
- This project includes a certain amount of roll type curb construction. Roll Curbs shall be depressed through all driveway openings when such drives are constructed as a part of the project. No more than 12" drives 16" feet in width, or equivalent combinations thereof, are to be constructed with this project.
- Widened gutter section of combined curb and gutter at intersections will not be paid for directly, and this cost shall be considered as subsidiary to the other contract pay items of work.
- Limits of earthwork shall match existing ground elevations at the right-of-way line unless otherwise noted on the plans with a new finished grade elevation. When a new finished grade elevation is shown, the earthwork shall extend one foot beyond the right-of-way line and then sloped up or down using permissible slopes to match the existing ground surface.
- Contractor shall give property owners abutting this project, whose yards will be lower than the new finished grade elevations at the right-of-way line, an opportunity to utilize excess excavated material from the project to regrade their yards to drain to the new pavement. Contractor will be required to dump and spread the excess material as required by the specification when requested by the property owner. The Contractor shall ascertain that a dirt order form has been properly executed by the property owner before any such excess material is delivered to such properties.
- The Contractor will be permitted to bid only one of the alternate types of subgrade treatment. The type bid by the successful bidder will be the type of subgrade treatment used to construct the project.
- The Contractor shall be responsible for preserving property irons. The Contractor will be required to re-establish any property irons which are damaged or destroyed by his construction operations. Such irons shall be re-established by a licensed land surveyor in accordance with state laws.

IMPROVEMENT DISTRICT -----

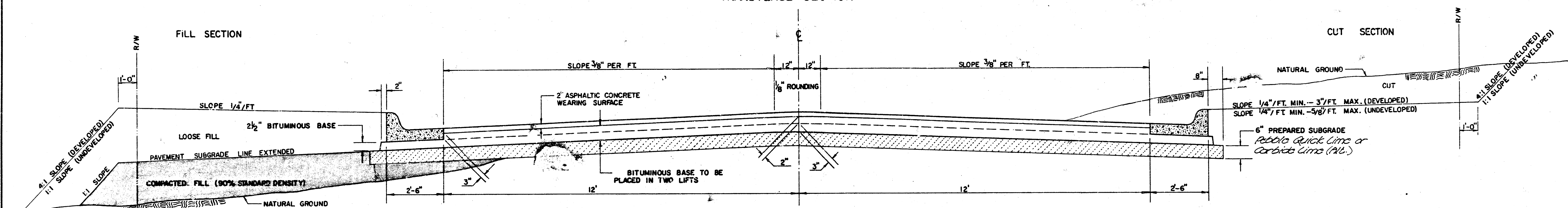


BAUCHMAN COMPANY P. A.
SURVEYING & ENGINEERING
316/262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

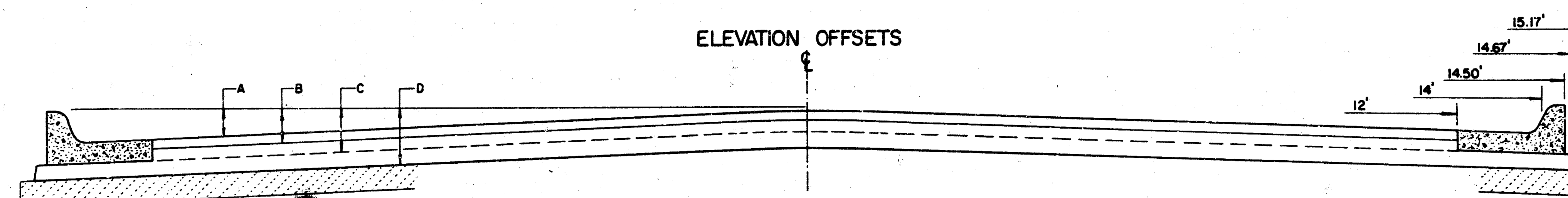
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TYPICAL 29' PAVEMENT DETAILS

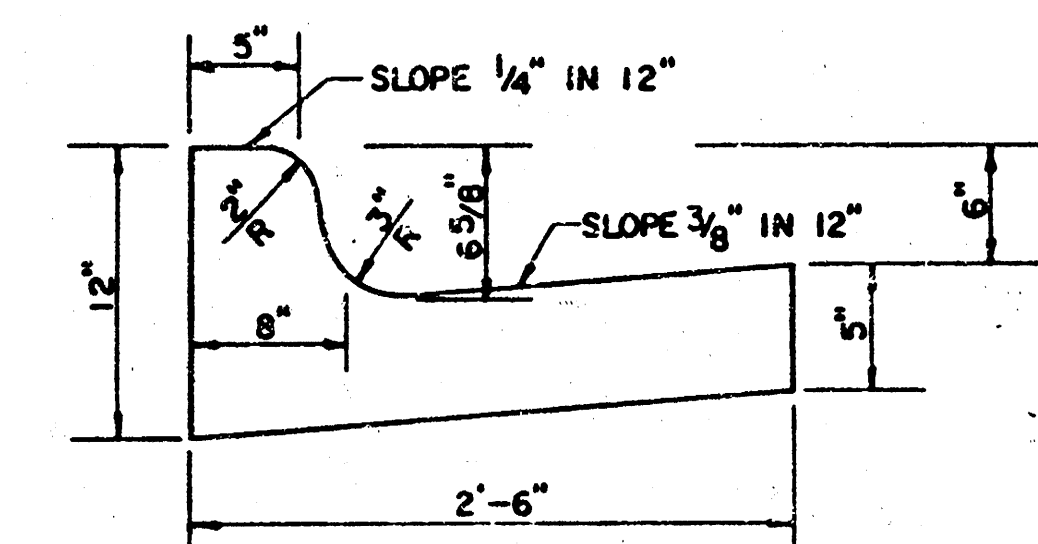
TRANSVERSE SECTION



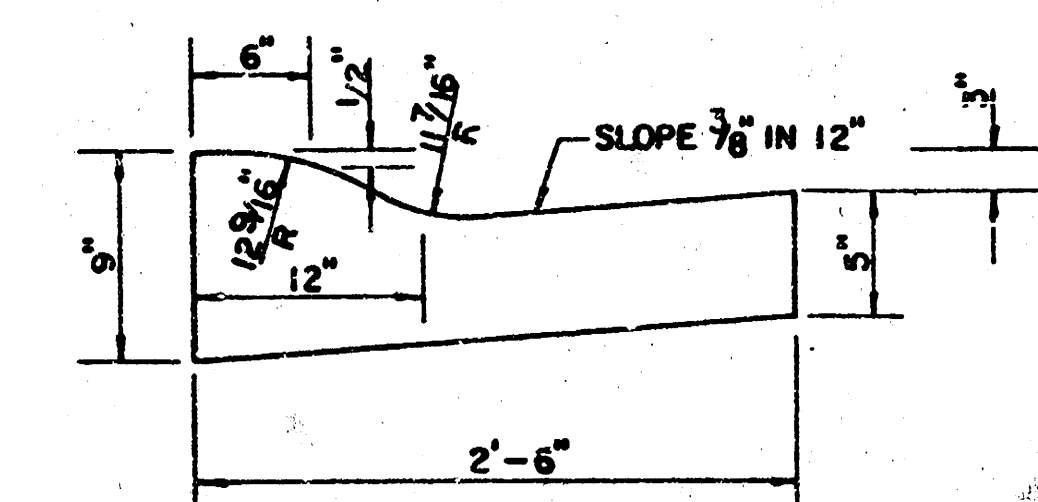
ELEVATION OFFSETS



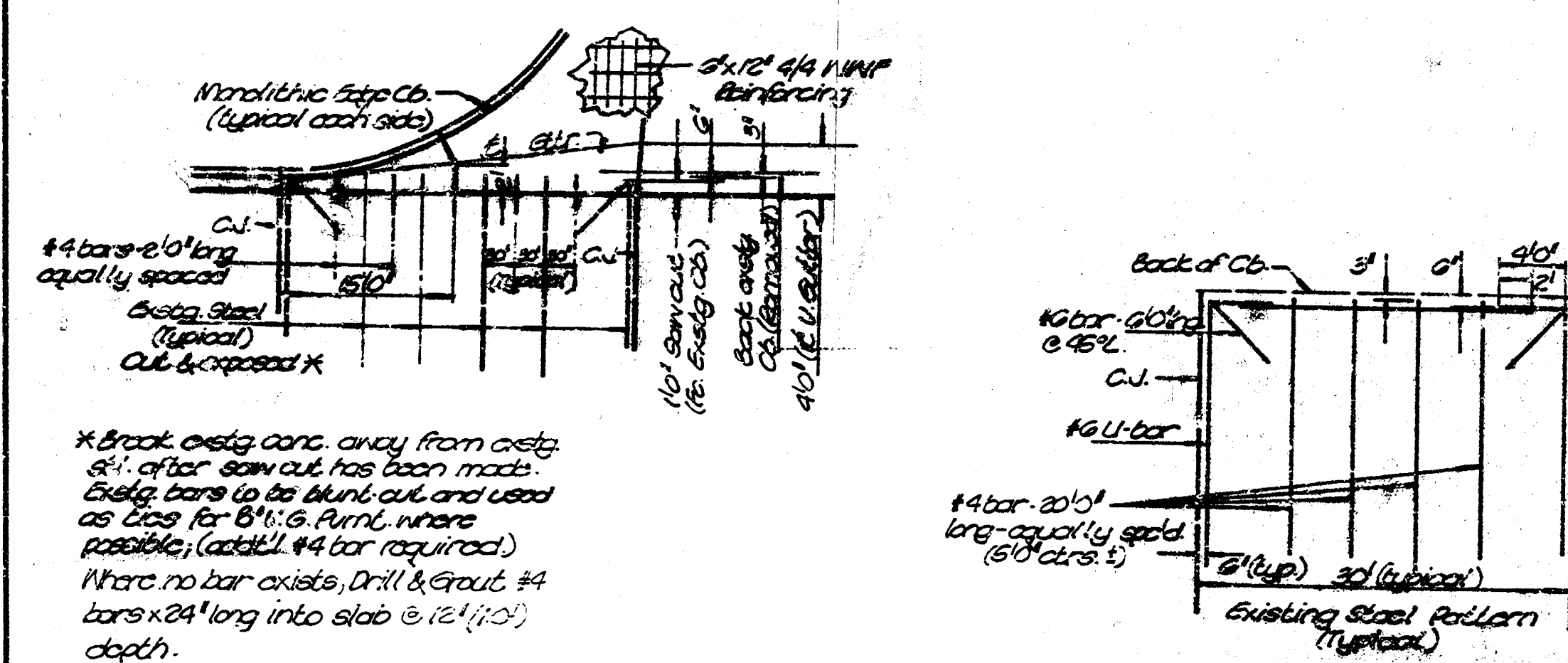
COMBINED CURB & GUTTER



ROLL TYPE COMBINED CURB & GUTTER

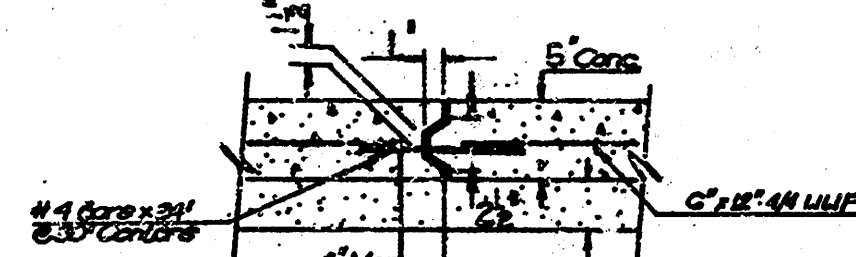


VALLEY GUTTER DETAILS

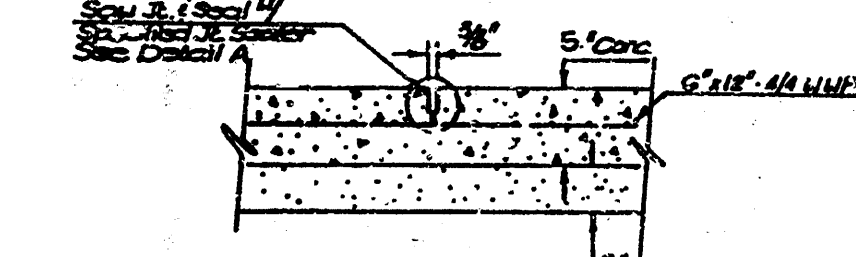


	DISTANCE FROM CENTERLINE (LT. & RT.)												
	0'	2'	4'	6'	7'	8'	10'	12'	14'	14.5'	14.67'	15.17'	
A: TOP OF CURBS TO TOP OF SURFACE LIFT	0.13	0.18	0.24	0.30	0.33	0.36	0.43	0.49	—	—	—	—	
B: TOP OF CURBS TO TOP OF UPPER BASE LIFT	0.30	0.35	0.41	0.47	0.50	0.53	0.60	0.67	—	—	—	—	
C: TOP OF CURBS TO TOP OF LOWER BASE LIFT	0.47	0.52	0.60	0.68	0.71	0.75	0.83	0.90	0.98	1.00	1.01	—	
D: TOP OF CURBS TO TOP OF SUBGRADE	0.72	0.77	0.84	0.91	0.94	0.98	1.05	1.12	1.19	1.21	1.21	1.23	

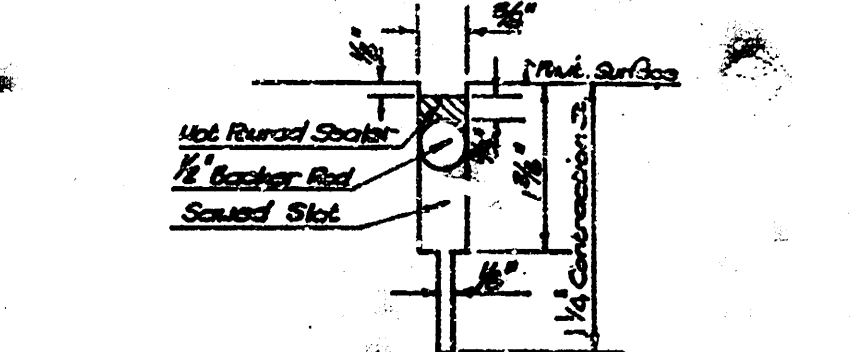
LONGITUDINAL JOINT DETAIL



CONTRACTION JOINT DETAIL



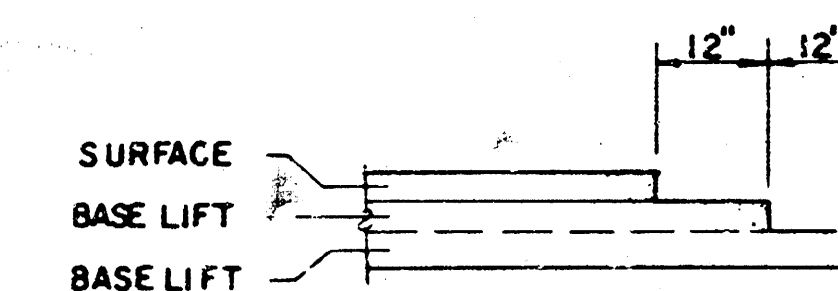
DETAIL A



GENERAL NOTES

- 1) THE ASPHALTIC CONCRETE PAVEMENT BETWEEN THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).
- 2) THE BITUMINOUS BASE UNDER AND BEHIND THE COMBINED CURB AND GUTTER SHALL BE PAID AS SQUARE YARDS OF 2 1/2" BITUMINOUS BASE.
- 3) A TACK COAT OF EMULSIFIED ASPHALT (SC-1H OR CSS-1H) SHALL BE APPLIED AT AN APPROXIMATE RATE OF 0.05 GALLONS PER SQUARE YARD BETWEEN EACH LIFT OF ASPHALTIC MATERIAL.
- 4) BITUMINOUS BASE AND ASPHALTIC CONCRETE WEARING SURFACE SHALL BE PLACED WITH A LAYDOWN MACHINE HAVING AUTOMATIC CONTROLS FOR LINE AND GRADE.
- 5) CONSTRUCTION JOINTS IN EACH LIFT SHALL BE STAGGERED A MINIMUM DISTANCE OF ONE (1) FOOT FROM JOINTS IN PRECEDING LIFTS AND PLACED SO THAT A JOINT WILL BE CONSTRUCTED ON THE CENTERLINE OF THE TOP LIFT.
- 6) CONTRACTOR TO BID ONLY ONE SUBGRADE TREATMENT ALTERNATE WHEN ALTERNATES ARE PROVIDED IN THE PROPOSAL AND CONTRACT. THE ALTERNATE CHOSEN BY THE SUCCESSFUL BIDDER SHALL BE USED IN CONSTRUCTING THIS PROJECT.

TRANSVERSE CONSTRUCTION JOINTS



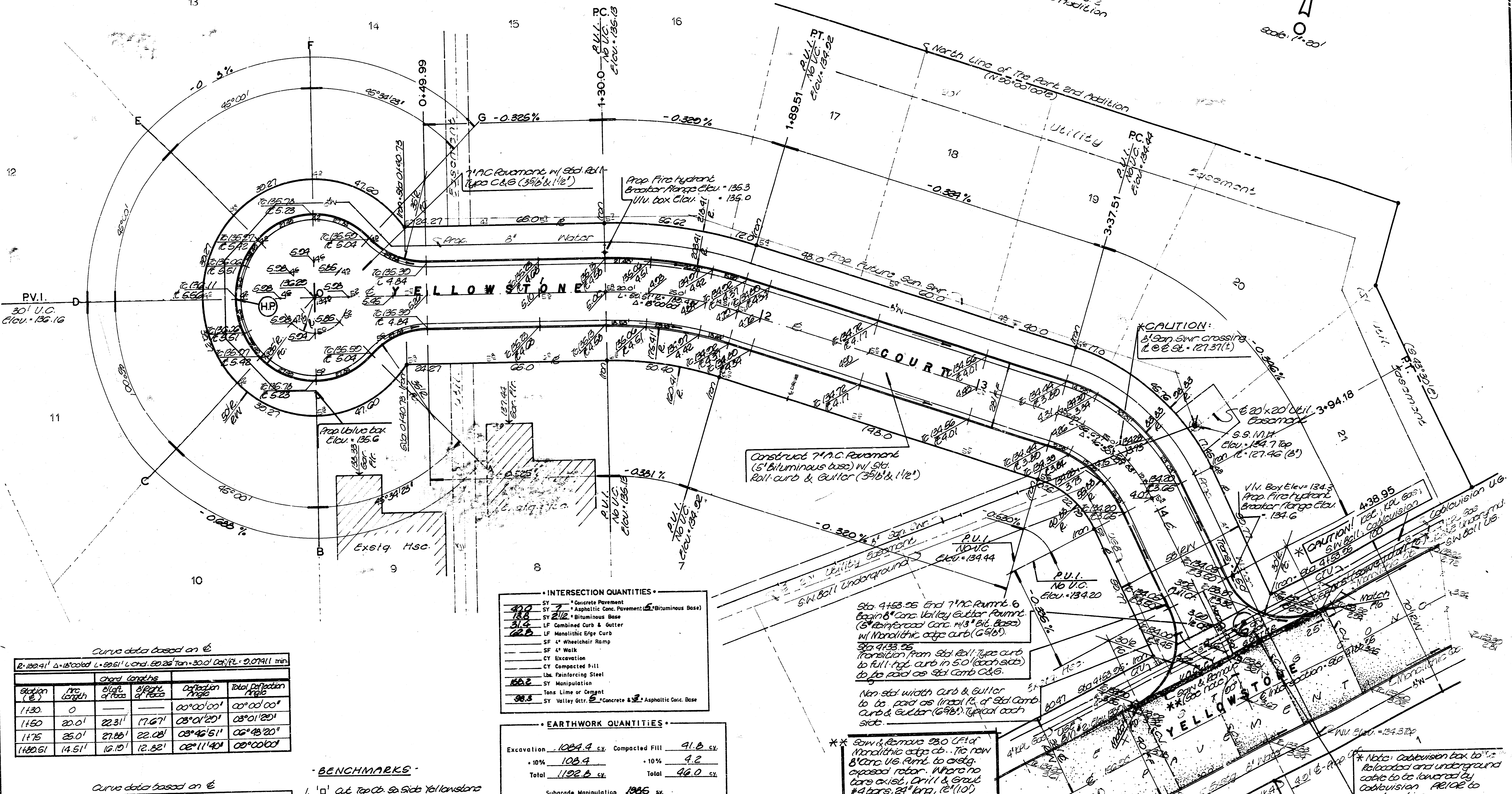
TRANSVERSE CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN FLEXIBLE BASE PAVEMENTS AT LOCATIONS WHERE PAVEMENT JOINTS EXISTING FLEXIBLE BASE PAVEMENT AS SHOWN BY THE DETAIL. ALL COSTS ASSOCIATED WITH THE CONSTRUCTION OF THE TRANSVERSE JOINT SHALL BE INCLUDED IN THE BID PRICE FOR SQUARE YARDS 7" ASPHALTIC CONCRETE (5" BITUMINOUS BASE).

7 INCH RESIDENTIAL ASPHALTIC CONCRETE
PAVEMENT WITH 5 INCH BITUMINOUS BASE
CITY OF WICHITA, KANSAS

PROJECT NUMBER
972 76 245 81667 000 000 001

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VALVE BOX / BREAKER FLANGE ADJUSTMENT TABLE			
Station	Direction	Breaker Flange Elev.	Valve Box Elev.
0+00	Rt.	N/A	135.6
1+30	Lt.	135.3	135.0
4+38.95	Lt.	134.6	134.3



Curve data based on E

Station	PC	Pt. of Tangency	Point of Intersection	Point of Curvature	Stationing
1+30	0	22.31	17.67	03°01'20"	00°00'00"
1+50	20.0	22.31	22.08	03°46'51"	02°48'20"
1+75	25.0	27.85	22.08	03°46'51"	02°48'20"
1+80.51	14.51	16.10	12.82	02°11'40"	00°00'00"

Curve data based on E

Station	PC	Pt. of Tangency	Point of Intersection	Point of Curvature	Stationing
3+37.61	0	12.40	5.84	75°07'27"	08°07'27"
3+50	12.40	32.70	17.03	10°16'25"	15°22'52"
3+75	25.0	25.14	13.10	07°52'00"	23°15'00"

- BENCHMARKS**
1. 1' 0" C&G Top Ch. 50 Side Yellowstone
 2. 1' 0" C&G Top Ch. 44 SW Side Yellowstone
 3. 1' 0" C&G Top Ch. 44 SW Side Yellowstone

INTERSECTION QUANTITIES

Excavation	108.4	Compacted Fill	41.6
Subgrade Manipulation	108.4	Total	46.0

EARTHWORK QUANTITIES

Excavation	108.4	Compacted Fill	41.6
Subgrade Manipulation	108.4	Total	46.0

NOTE:
 Having Contractor to coordinate paving with utility(s) installation/construction/relocation on this project. DO NOT construct prior to completion of utility installations/relocations.

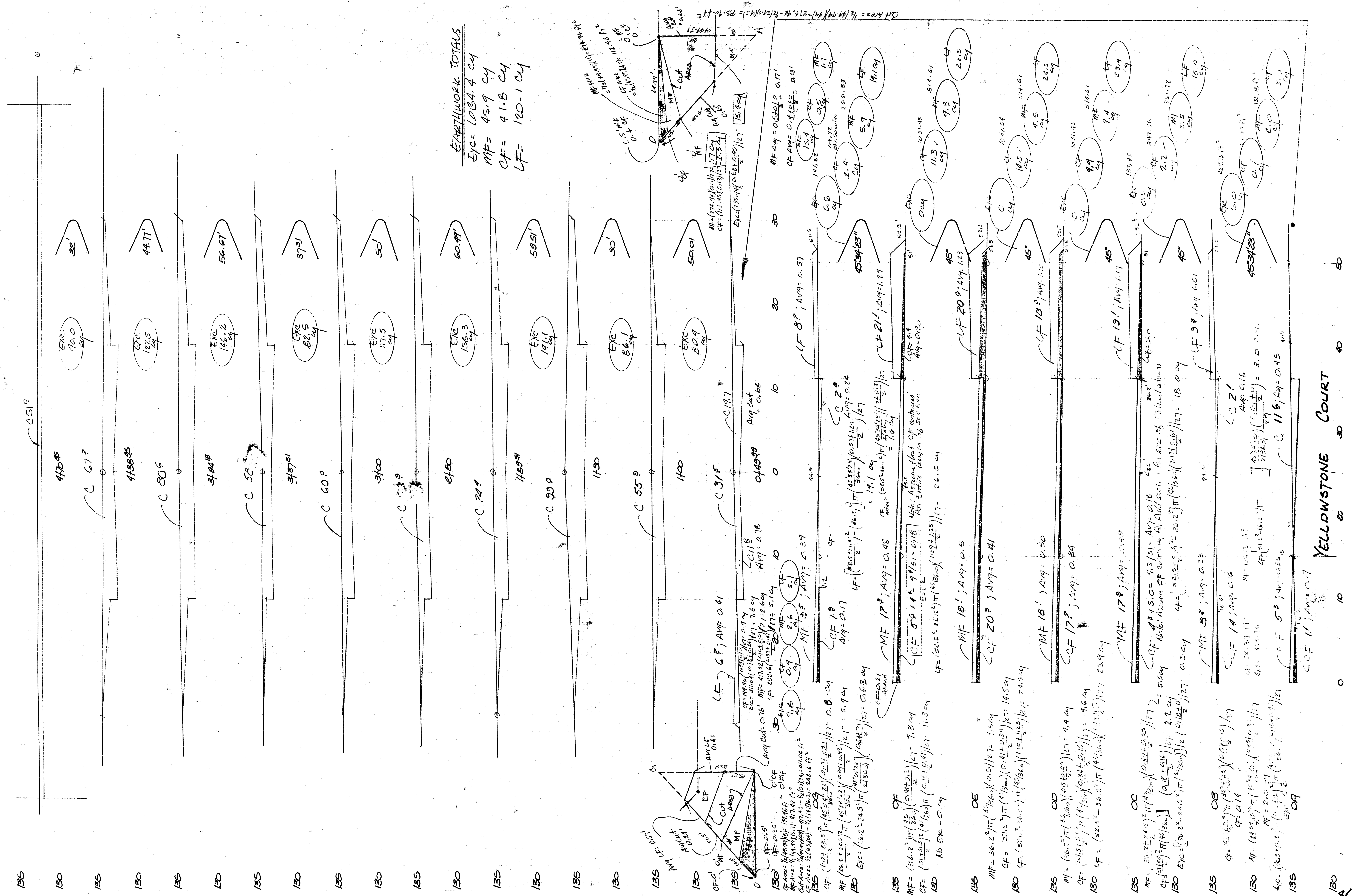
YELLOWSTONE COURT
 Lots 6 thru 21, Block 1, The Port 2nd Addn.

BAUGHMAN COMPANY, P.A.
 SURVEYING & ENGINEERING
 31025-7271 • 310 ELLIS • WYOMING, KANSAS 67211

Project Number: 47876 845 81267 000 000 001

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EARTHWORK SECTIONS

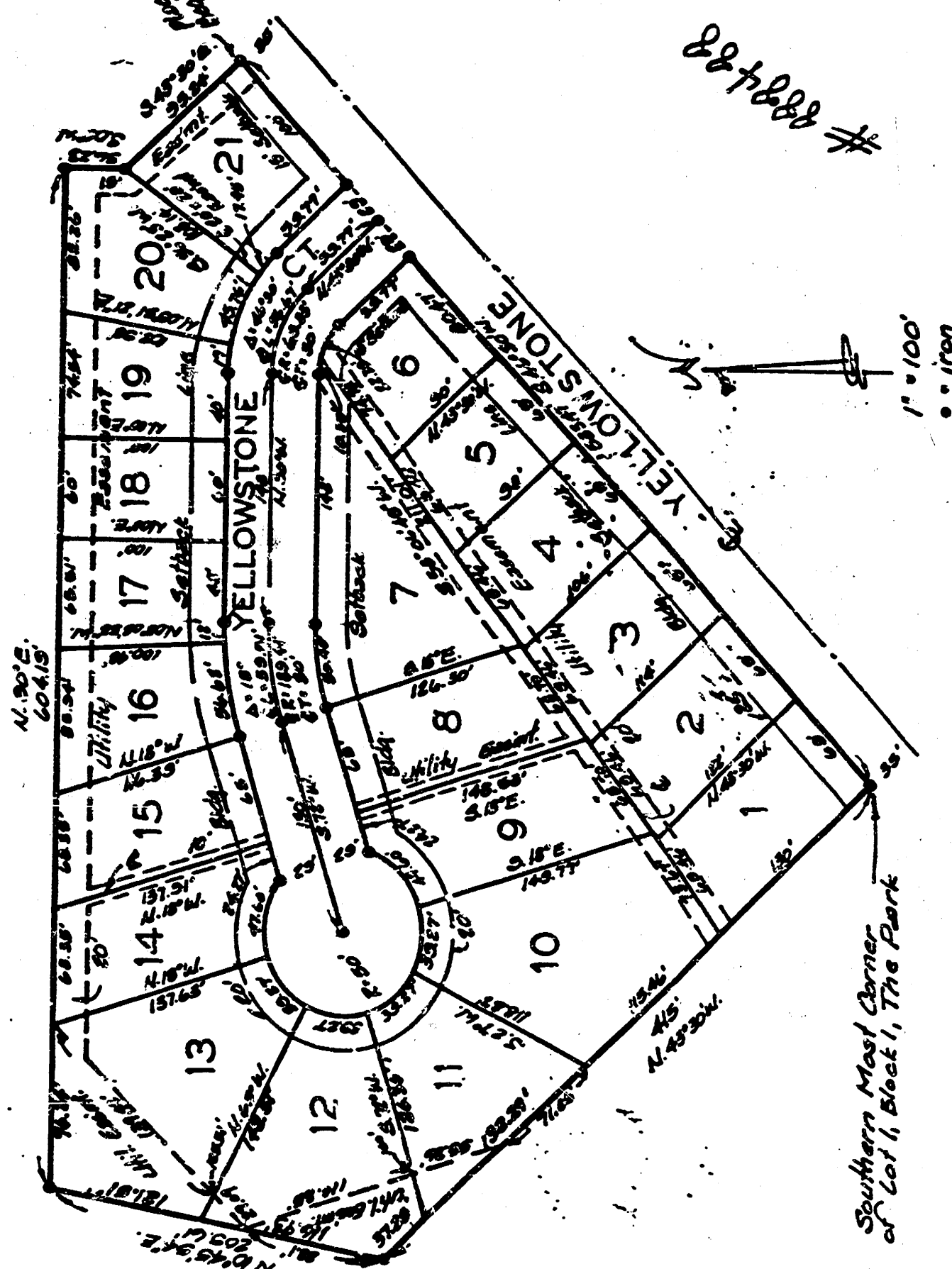


EARTHWORK TOTALS
Exc = 1084.4 cu yd
MF = 45.9 cu yd
CF = 41.8 cu yd
LF = 120.1 cu yd

YELLOWSTONE COURT

THE PARK 2ND ADDITION

WICHITA, KANSAS



State of Kansas vs. Geo. W. Baughman Company, PA. Surveyors
Sedgewick County and state do hereby certify that we
have surveyed and platted "THE PART AND ADDITION"
to Alichita, Kansas, and that the accompanying plat is a
true and correct exhibit of the property surveyed, de-
scribed as and being a replat of that part of Lot 1, Block
1, The Park, an addition to Alichita, Sedgewick County, Kansas,
described as commencing at the N.E. Corner of said
Lot 1; thence S. 00° E., along the east line of said Lot 1,
2121 1/2 feet to the P.C. of a curve; thence southwesterly,
along the east line of said Lot 1 and on a curve to
the right having a radius of 450 feet, a distance of
540.83 feet to the P.T. of said curve; thence S. 46° 50' W.,
along the southeasterly line of said Lot 1, 191 feet for
a place of beginning; thence N. 45° 50' W., 352.24 feet;
thence N. 00° E., 362.25 feet; thence N. 90° W., 604.19 feet;
to the west line of said Lot 1; thence S. 10° 45' 58" W.,
along the west line of said Lot 1, 203.61 feet to the S.W.
corner of said Lot 1; thence S. 85° 50' E., along the south-
westerly line of said Lot 1, 415 feet to the S.E. corner
of said Lot 1; thence N. 44° 50' E., along the southeasterly
line of said Lot 1, 533.47 feet to the place of beginning.
Being situated in the NW 1/4 of Sec. 5, Twp. 28-S., R. 1-W.
of the 6th P.M., Sedgewick County, Kansas.

Max. A. Sweeney Surveyor
Baughman Company, P.A.
Mark A. Sweeney

know all men by these presents that I, the undersigned, have caused the lands described in this survey certificate to be conveyed to the City of Kansas. The street is known as THE PARK AND ADDITIONAL widening of the street is hereby granted as indicated. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The street is hereby dedicated to and for the use of the public.

By A. J. Soerries Real Estate, Inc. A. J. Soerries President &

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 (145) 2228 2229

State of Kansas) ss: The foregoing instrument acknowledged
Seawright County,) before me, this 14th day of April, 1997, by
A. J. Seawright, President of A. J. Seawrights Real Estate, Inc.,
on behalf of the corporation.

Sharon L. McCall Notary Public
Sharon L. McCall
Notary - Exp. 12-25-97

State of Kansas? S.S. The foregoing instrument acknowledged before me, this 19th day of March, 1988, by Dario M. Cornejo and Carmen M. Cornejo, his wife.

[illegible]

State of Kansas, ss. The foregoing instrument acknowledged before me, this 18th day of March, 1987, by Bruce D. Hanstberry and Sherri L. Hanstberry, his wife.

My Appt Exp. May 23, 1987 AJ Series Notary Public
Ag Socinied

3-900055

ROOM 3
1011 N.
OKLAHOMA

This plot of THE PARK 2ND ADDITION,
Wichita, Kansas, has been submitted to and approved by the
Wichita-Sedgwick County Metropolitan Area Planning Commission,
Wichita, Kansas.
Dated this 19th day of February, 1987
Wichita-Sedgwick County Metropolitan Area Planning Commission

on February 1957
Metropolitan Area Planning Commission
Chairman
Secretary

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 27th day of July 1937.

1937-1-1
Robert C. Knight Mayor
 Robert C. Knight
Carl W. Knight Deputy City Clerk
 Carl W. Knight

Entered on transfer record this
1947
 W. Wright

Wm. Wright County Clerk

This is to certify that this plot has
been in the office of the Registrar
day of June 1981,
and is duly recorded.

Attest Register of Deeds
Ed. P. Reed Deputy
Ed. Reed

the undersigned, holder of a mortgage on the described property do hereby

Steven R. Gurnan
Steven R. Gurnan

Prepping instrument acknowledged
by May 1987 by
the Vice President of the
University of

IT WAS THE SENTIMENT of the corporation of Prairie States
 _____ Notary Public
 ERIC T. GROSS

Eric T. Grooms
Pg 861