

Wichita-Sedgwick County
Metropolitan Area Building
and Construction Department

REVIEWED FOR CODE COMPLIANCE

DATE: 11/5/2025 BY: Keri Jacobs

LEGAL DESCRIPTION

N 65A E1/2 NE1/4 EXC SEWER CC A-35290 & EXC CC A-43699 FOR OLIVER ST.
& EXC N 50 FT FOR ST. SEC 35-27-1E EXEMPT 609-1

SITE INFORMATION

Total Project Area: ±48,500 sq. ft. (1.11 acres)
Disturbed Area: ±11,150 sq. ft. (0.26 acres)
Impervious Area, pre-const: ±43,917 sq. ft. (1.01 acres)
Impervious Area, post-const: ±45,350 sq. ft. (1.04 acres)

BENCHMARKS

Site Benchmark - 1
"□" chiseled square on sidewalk, 8.8' East & 3.1' South of water meter
Elevation = 1339.68 (NAVD 88)

Site Benchmark - 2
"X" chiseled "X" on concrete 3.1' North of Limestone Wall.
Elevation = 1338.15 (NAVD 88)

KANSAS ONE CALL

Contractor shall be required to provide notice to Kansas One Call at 287-2470 a minimum of three (3) working days prior to any excavation or work adjacent to utilities.

Kansas One Call 1-800-DIG-SAFE

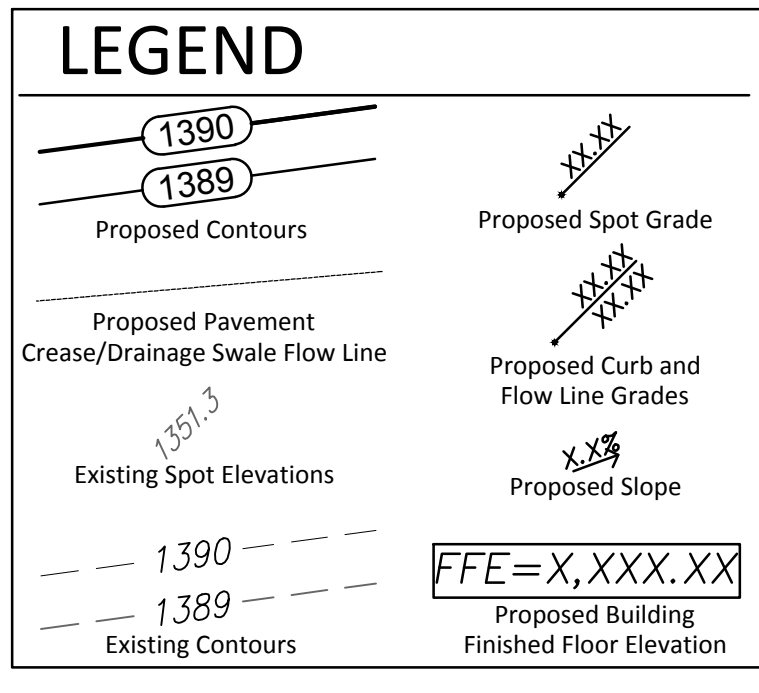
UTILITY CONTACTS

The Contractor must notify the following in case of an emergency:

Kansas Gas Service (Gas).....	1-888-482-4950
Black Hills Energy (Gas).....	1-800-303-0357
Energy (Electric).....	383-8650
Cox Communications (Telecommunication).....	262-4270
AT&T (Telecommunication).....	268-2759
City of Wichita Water Dept. (Water).....	268-4563
	or 268-4908
City of Wichita Sewer Maint. (San. Sewer).....	or 262-6000
	or 268-4024
City of Wichita Storm Sewer Maint. (Storm Sewer).....	268-4090
City of Wichita Traffic Maint. (Traf. Control).....	or 268-4034
	or 268-4203
Conoco Pipeline Co. (Petroleum).....	1-800-231-2551
Williams Pipeline Co. (Petroleum).....	529-6600
	or 1-800-324-9696
Phillips Pipeline Co. (Petroleum).....	1-800-766-8230

GRADING NOTES

- Existing utilities and their locations, as shown on the plans, represent the best information obtainable for design. Location information has been obtained from the various utility companies and is either from company records or drawings or company provided field locations. The Contractor will be required to work around existing utilities which do not conflict with proposed construction.
- Traffic affected by the construction on this project shall be handled in accordance with the latest edition of the Local Manual on Uniform Traffic Control Devices.
- The Contractor shall verify all utility locations prior to construction of this project.
- Refer to Landscape Plan for final treatment of all disturbed areas.
- Signaling and striping shall be installed in accordance with local City Specifications and Codes. Striping shall be painted markings in conformance with the latest edition of the Standard Specifications for State Road and Bridge Construction by the Kansas Department of Transportation.
- Paved Lot to be constructed with Paving as shown. See Architectural Site Plan and Geotechnical Report for Pavement and subgrade details.
- Proposed underground storm sewer mains, water mains/fire hydrants, or sanitary sewer mains, if any, shall be the contractor's responsibility. This portion of the project shall be designed and constructed under a separate plan set or private project, and undergo local City review and approval. The installation of any mains is required to be done by a bonded contractor, inspected and certified. The Contractor shall construct the mains only from Local City approved plans which will be provided to the General Contractor or can be provided by Baughman Company, P.A.
- The Contractor shall notify adjacent landowners prior to proceeding with any construction work on landowner's property.
- Cross-Slopes on sidewalks shall not exceed 1/4" per foot (or 2%). Notify Engineer of any discrepancies prior to forming of walks. Longitudinal slopes that exceed 5% will be considered ramps and will require handrails and edge protection per ADA.
- The final grade of all non-paved areas adjacent to the building shall be set at least 0.4' Below FFE, unless otherwise noted.
- Contours and slope arrows are computer generated and are schematic in nature. Spot grades and notes from the stamped plans in addition to ADA guidelines shall govern construction.
- Proposed site grading shall not cause significant additional adverse impacts on adjacent property.



Stormwater Certification:

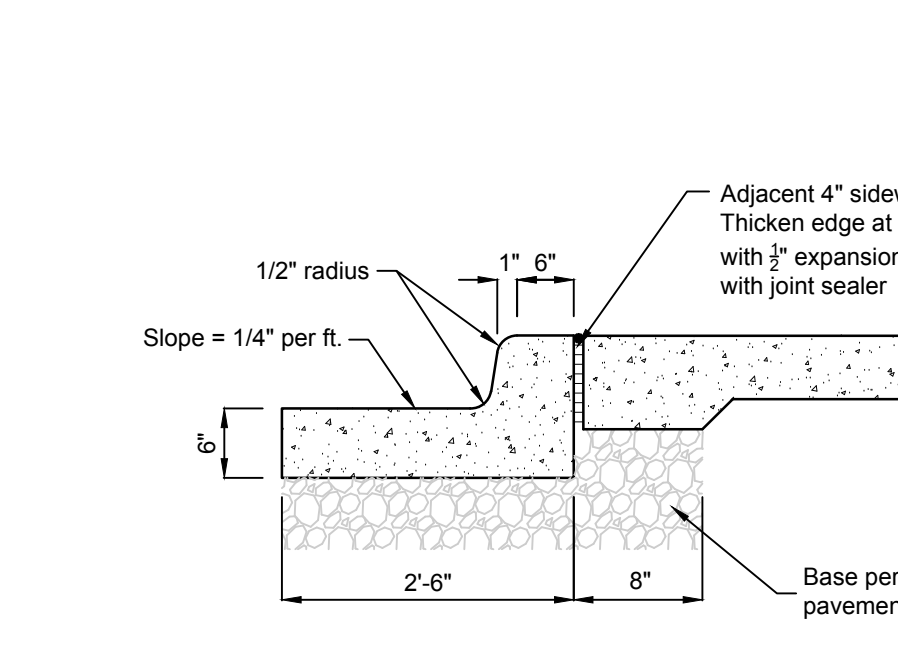
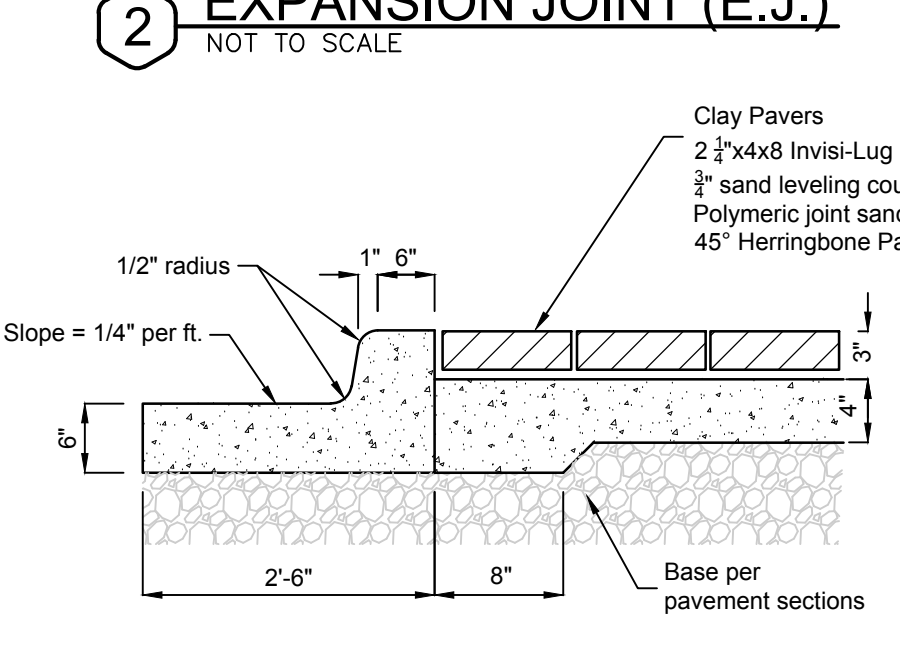
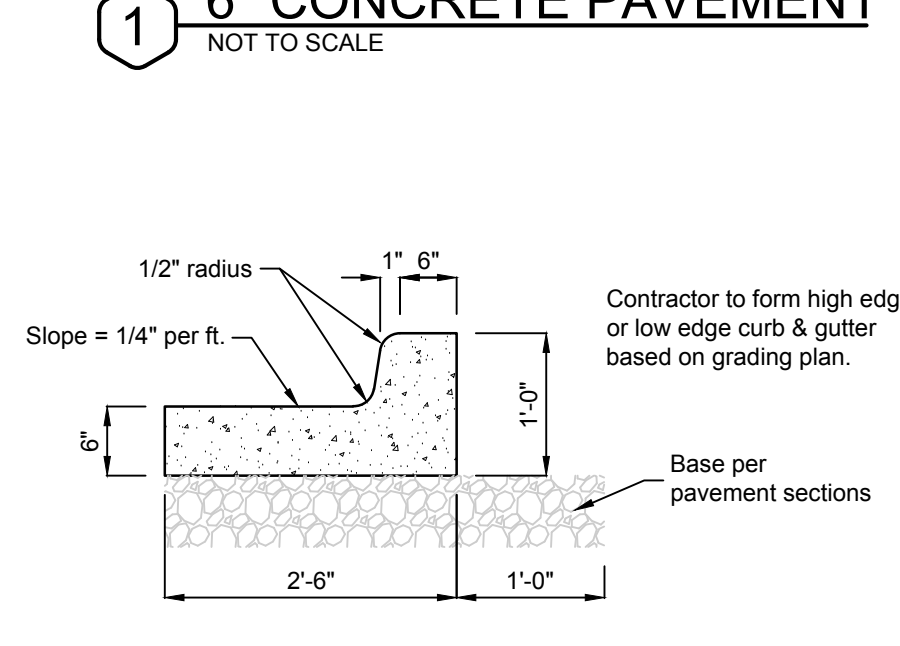
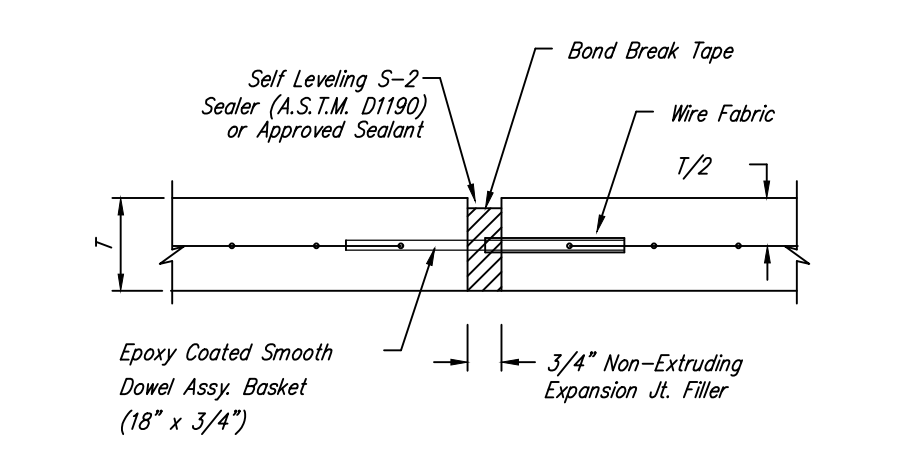
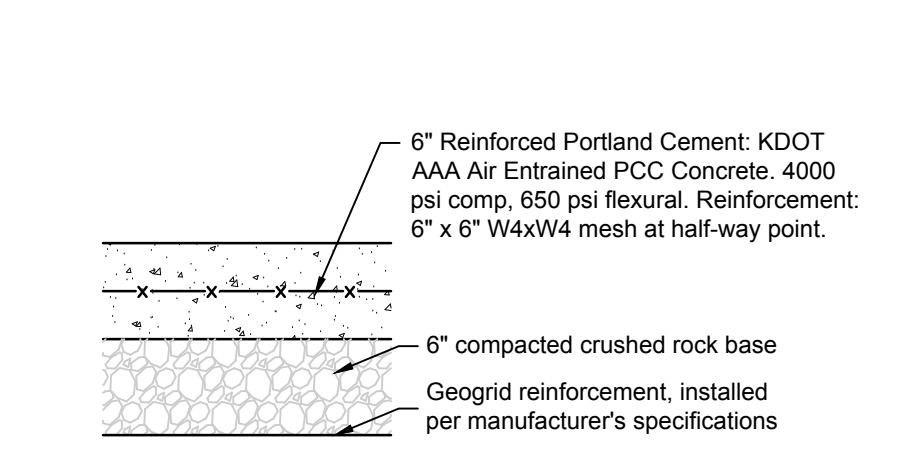
New Development or Redevelopment

Stormwater Permit # N/A

NOI Permit # N/A

These construction plans were prepared in accordance with the current Stormwater Management Regulations as set forth in the City of Wichita's Stormwater Management Ordinance 16.32 and the policies/guidelines present in the Wichita/Sedgwick County Stormwater Manual.

Total Area: 48,500 acres (1.11 s.f.)
Disturbed Area: 11,150 acres (0.26 s.f.)
Water Quality Treatment: N/A
Downstream Channel Protection: N/A
Detention: N/A
BMP(s) used for this development: OEMP



315 Ellis St.
Wichita, KS 67211
316-262-7271
BaughmanCo.com

PROJ. NO: 482-11093

CITY OF WICHITA
CLAPP PARK PARKING LOT IMPROVEMENT PROJECT
4611 E. Harry, Wichita, KS, 67218

REVISION: DATE:

PROJECT NUMBER:
25-07-E173

DESIGN: JAB DRAWN: JAB

DATE: 10/28/2025

SITE GRADING PLAN

SHEET 5 OF 7

File: E:\Projects\County Acres 2nd Lot 482-11093\5-23-08-0572\Engineering