

STORM WATER SEWER IMPROVEMENTS

to serve

Village Charters 2nd Addition

CITY OF WICHITA, KANSAS

Michael E. Lindebak, P.E. City Engineer

Private Project Number

970 PPB (607831)

BENCHMARK

City of Wichita Dec Located Intersection of 21st Street North & Tyler Road.
Elevation: 170.95 City Datum.

LEGAL DESCRIPTION

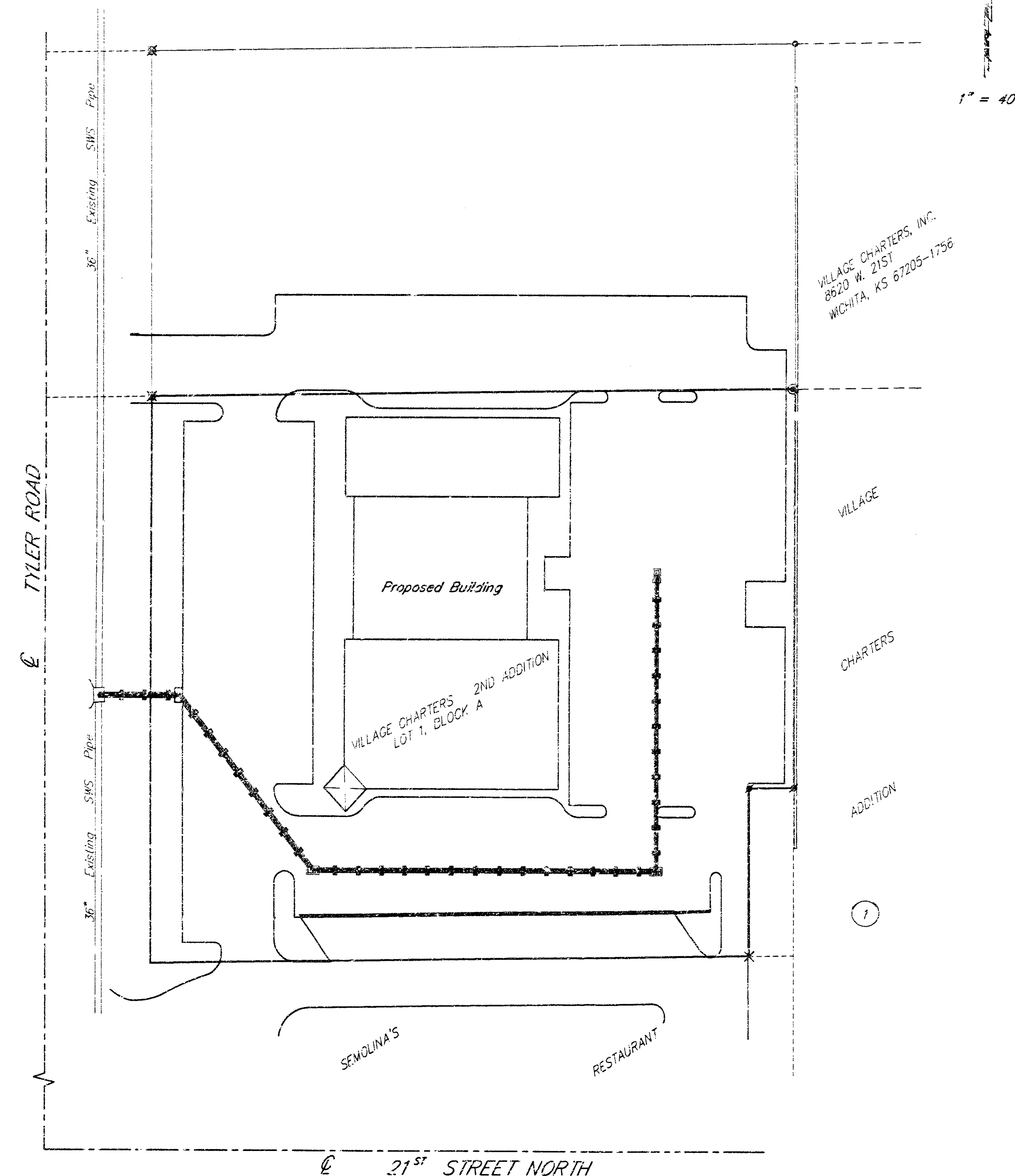
Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgewick County, Kansas, EXCEPT therefrom the following described tract: Beginning at the NW corner of Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgewick County, Kansas; thence S00°00'20"W along the west line of said Lot 1, 152.85 feet to a corner in the west line of said Lot 1; thence N89°14'16"E parallel with the north line of said Lot 1, 300.00 feet to a point on the east line of said Lot 1; thence S00°00'20"E along the east line of said Lot 1, 152.85 feet to the NE corner of said Lot 1; thence S89°14'16"W along the north line of said Lot 1, 300.00 feet to the point of beginning.

GENERAL NOTES

- Contractor will be required to provide notice to utility companies a minimum of forty-eight (48) hours prior to any excavation, as follows:
Kansas One-Call 687-2470
The Contractor must notify the following in case of an emergency:
Multimedia Cablevision 262-4270
Kansas Gas Service Company 383-0600
Kansas Gas & Electric Company 383-3650
Peoples Gas Company 942-7800
Southwestern Bell Telephone Company 1-571-2611
City of Wichita Water Department 268-4908
City of Wichita Sewer Department 268-4071
- Utility service lines, poles, valve boxes, meters, et cetera are to be adjusted as necessary by others prior to construction unless the plans specifically call for their adjustment by the Contractor or unless the plans specifically identify a utility to be adjusted by its owner during construction. Existing utilities and their location, as shown on the plans represent the best information obtainable for design and shall be field verified. The contractor will be required to work around existing utilities within the right-of-way which do not conflict with proposed construction.
- All disturbed areas not intended for pavement or sidewalk construction shall be seeded with Kansas Premium Fescue Blend at a rate of 8 lb./1000 Sq. Ft., fertilized with a 16-20-6 ratio at a rate of 4 lb./1000 Sq. Ft., and mulched with Prairie Hay at a rate of 92 lb./1000 Sq. Ft. which shall be "patted" with forks or punched into soil to reduce loss due to wind.
- Trees and shrubs in public right-of-way which are in direct conflict with proposed new construction shall be removed by the Contractor with the Engineer's approval. Trees and shrubs which are not in direct conflict with proposed new construction shall be saved and protected from damage.
- Contractor shall not start work on the project until the project inspector is assigned to the project and is present on the site. Any work done without inspection will be required to be uncovered for inspection.
- Rubble from the removal of miscellaneous structures and excess excavation which is to be wasted shall be disposed of on sites to be provided by the Contractor. These sites shall be approved by the Engineer as to suitability, appearance and site location. Locations that, in the opinion of the Engineer, will leave an unsightly appearance will not be approved. All disposal sites must be approved by the Kansas Department of Health and Environment. Material either stockpiled or disposed of in a flood plain would require a Kansas State Board of Agriculture permit. Any material dumped in waters of the United States or wetlands is subject to U.S. Corps of Engineers permitting regulations. Any material buried or stockpiled beyond approved construction limits would require additional archaeological investigations unless buried in a previously approved borrow location.

INDEX:

Cover Sheet	1
Plan/Profile Sheet	2-3
Drop Inlet Detail	4
Curb Inlet Detail	5
Copy Of Plat	6

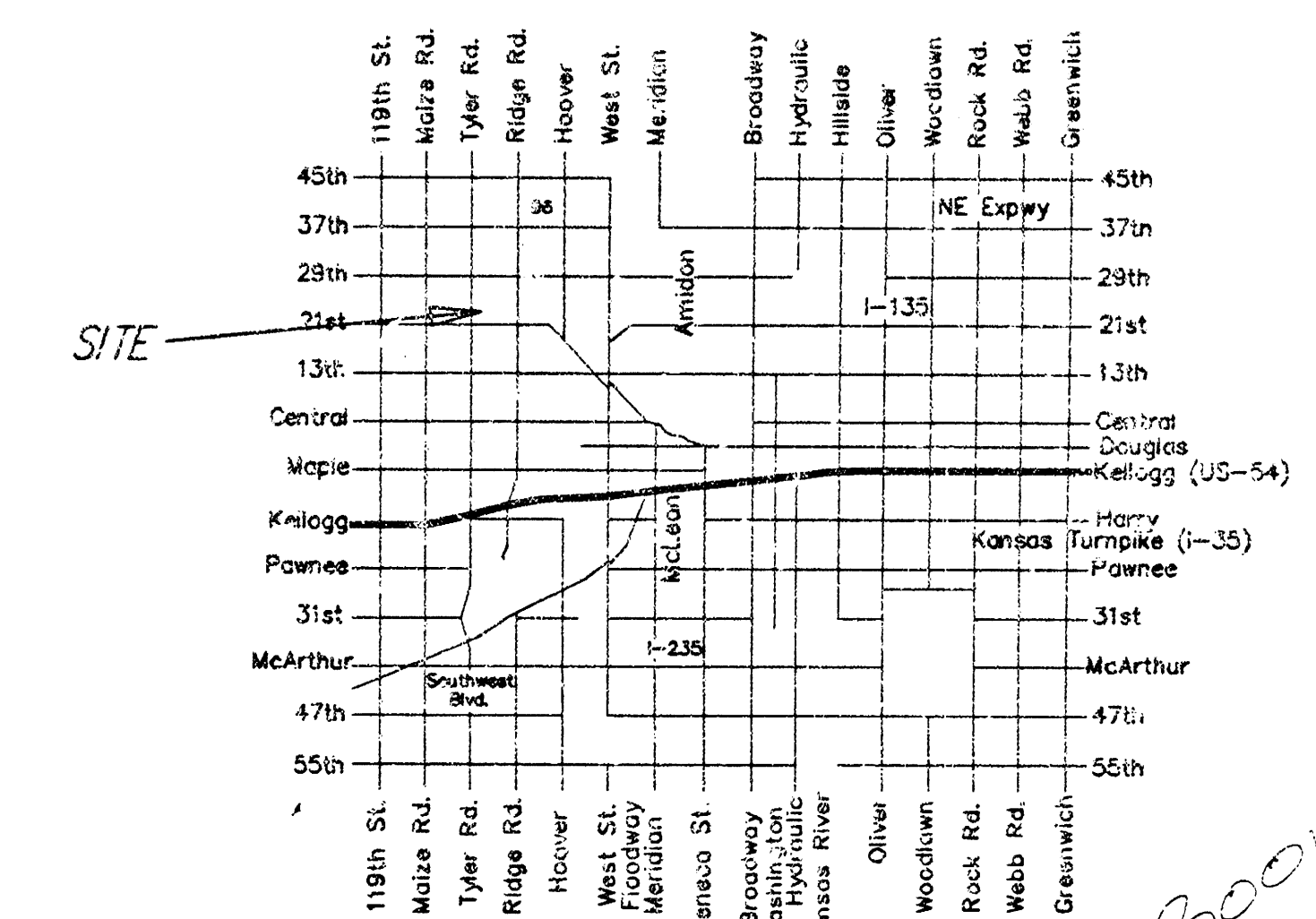


APPROVED AS NOTED
BY CITY ENGINEER OF WICHITA

Storm Sewers VRH 12/21/99

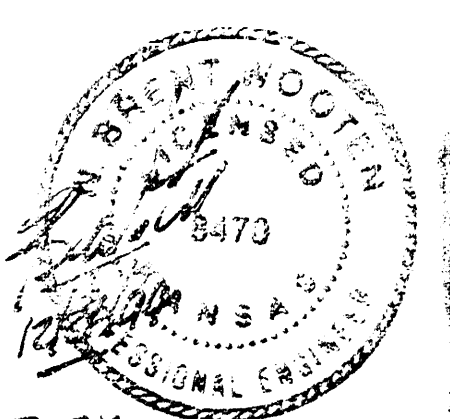
NOTE TO CONTRACTORS

Inspection and testing for this project is to be provided by a Licensed Consulting Engineering Firm under contract with the Owner/Developer. Said inspection to be in accordance with the City of Wichita standard construction engineering practices and certified by a Licensed Professional Engineer. No work shall be performed in dedicated easements or public right-of-way by the Contractor without such inspection nor shall any work be commenced without written authorization by the City Engineer. All Construction and Materials shall comply with the City of Wichita Specifications and Standards (on file and available in the City Engineer's Office).



Vicinity Map

BOOKED
6-1-00
Meb
D-160



PROJECT INSPECTED + ASBUILT BY
BAUGHMAN COMPANY, P.A. 3/2000 IMN

BAUGHMAN COMPANY
ENGINEERING, SURVEYING, & PLANNING
316-262-7271 • 315 ELLIS • WICHITA, KANSAS 67211

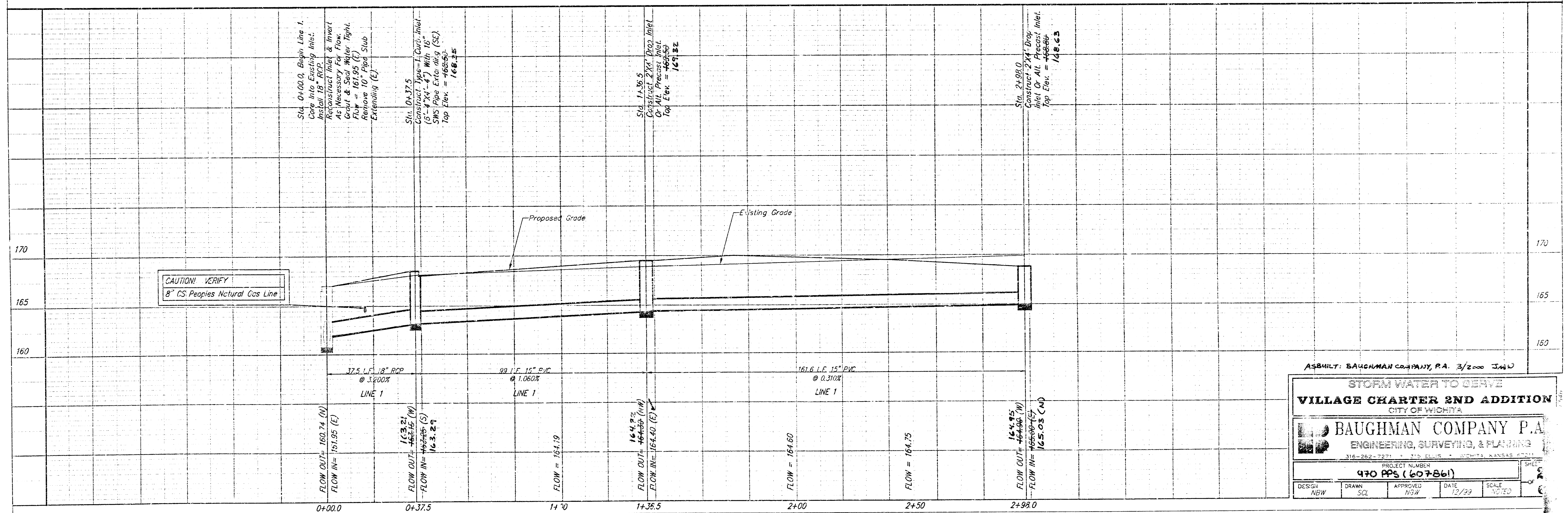
City of Wichita Disc Located intersection of 21st Street North & Tyler Road.
Elevation: 170.95 City Datum.

Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgewick County, Kansas, EXCEPT thereon the following described tract: Beginning at the NW corner of Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgewick County, Kansas; thence S00°00'00"W along the west line of said Lot 1, 152.88 feet to a corner in the west line of said Lot 1; thence N89°41'16"W parallel with the north line of said Lot 1, 300.00 feet to a point on the east line of said Lot 1; thence N00°00'00"W along the east line of said Lot 1, 152.88 feet to the NE corner of said Lot 1; thence S89°41'16"W along the north line of said of said Lot 1, 300.00 feet to the point of beginning.

CAUTION! VERIFY
8" CS Peoples Natural Gas Line

Sta. 0+37.5
Construct Type-1 Curb i.
(6'-4"X4'-4") With 18"
SWS Pipe Extending (SE)
Top Elev. = +68.50

SCALE:
1" = 20' HORIZONTAL
1" = 5' VERTICAL
⦿ = #4 REBAR W/ "BAUGHMAN" CAP
⊗ = 3/4" IRON

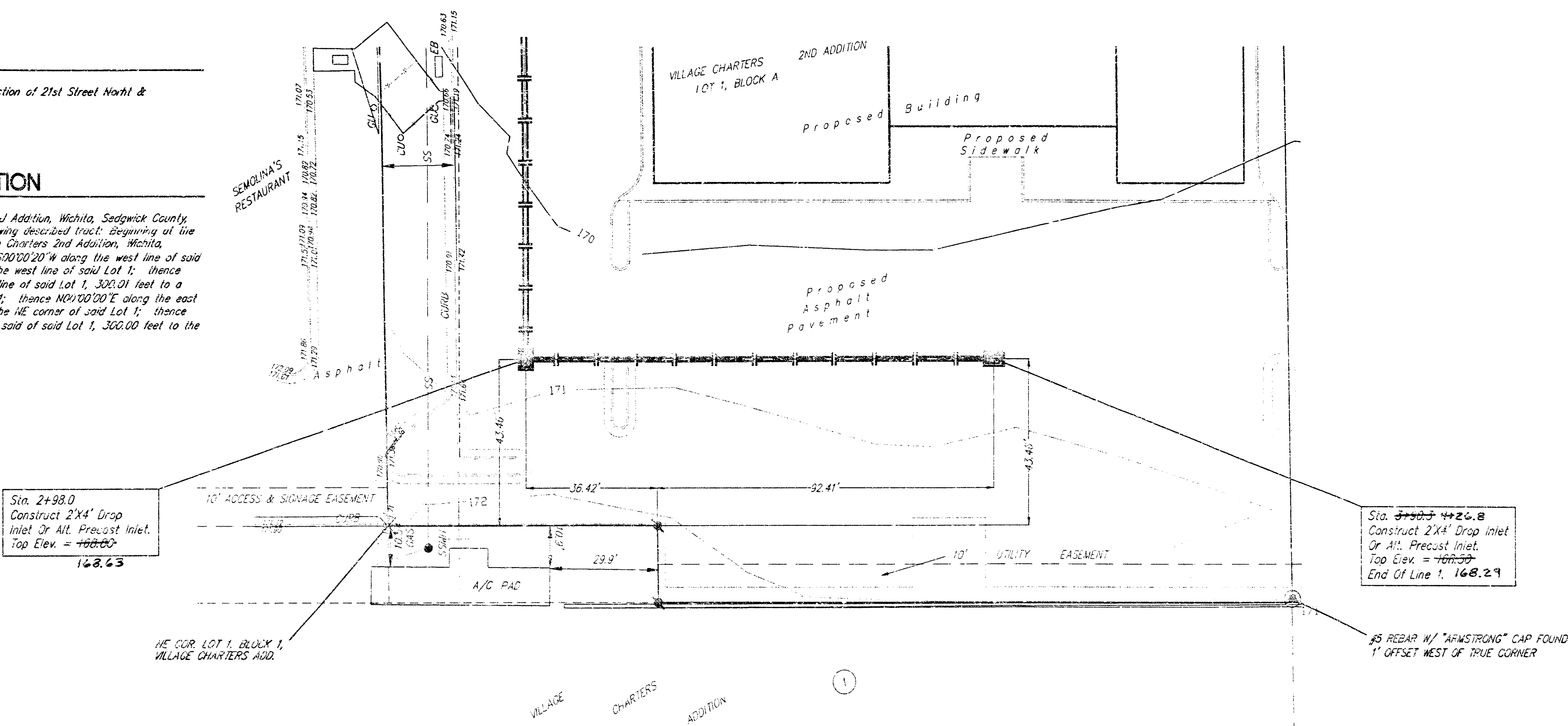


BENCHMARK

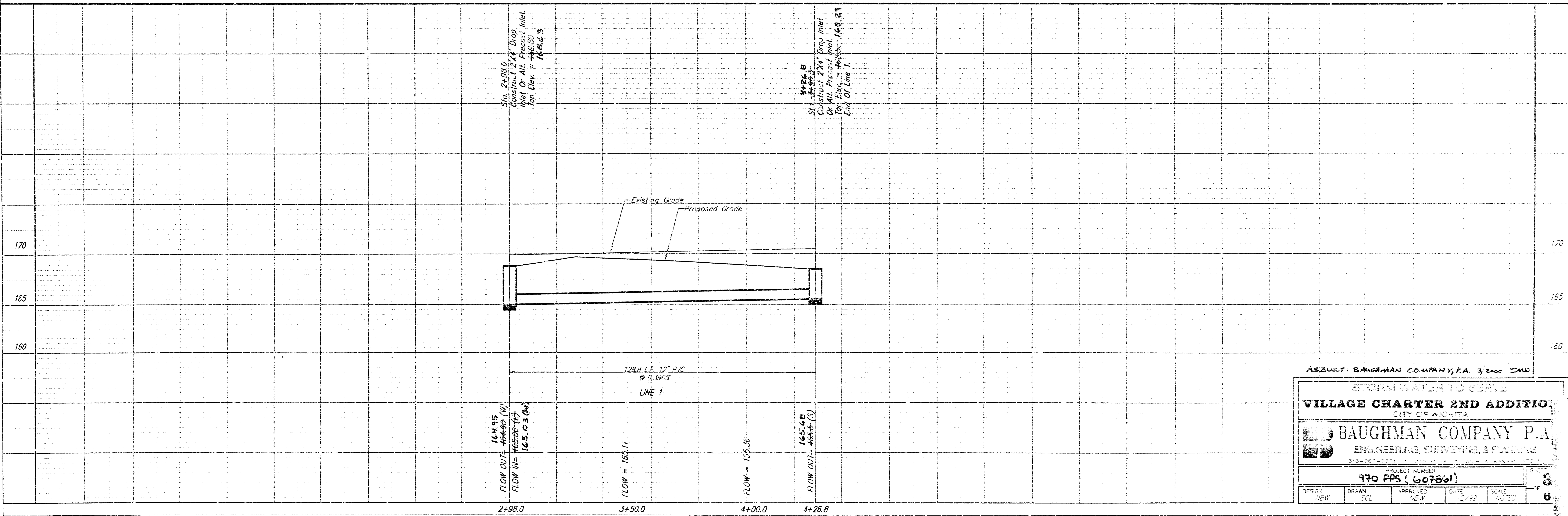
City of Wichita Disc Located Intersection of 21st Street North & Tyler Road.
Elevation: 170.95 City Datum.

LEGAL DESCRIPTION

Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgwick County, Kansas, EXCEPT therefrom the following described tract: beginning at the NW corner of Lot 1, Block A, Village Charters 2nd Addition, Wichita, Sedgwick County, Kansas; thence S90°00'20"W along the west line of said Lot 1, 152.88 feet to a corner in the west line of said Lot 1; thence N89°14'16"E parallel with the north line of said Lot 1, 300.01 feet to a point on the east line of said Lot 1; thence N0°00'00"E along the east line of said Lot 1, 152.88 feet to the NE corner of said Lot 1; thence S89°14'16"W along the north line of said Lot 1, 300.00 feet to the point of beginning.



SCALE:
1" = 20' HORIZONTAL
1" = 5' VERTICAL
#4 REBAR W/ "BAUGHMAN" CAP
#5 REBAR W/ ARMSTRONG CAP



ASBUILT: BAUGHMAN COMPANY, P.A. 3/2000 JMW

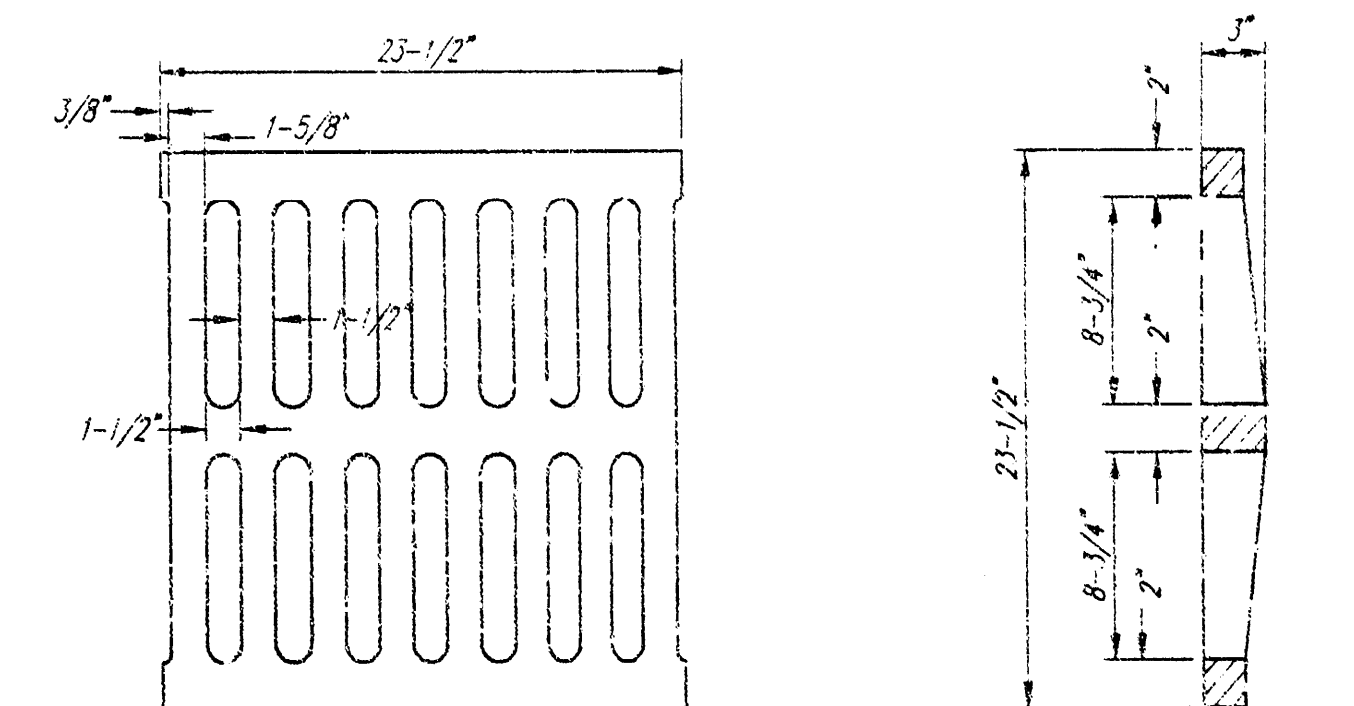
STORM WATER TO SERVE
VILLAGE CHARTER 2ND ADDITION
CITY OF WICHITA

BAUGHMAN COMPANY P.A.
ENGINEERING, SURVEYING, & PLANNING

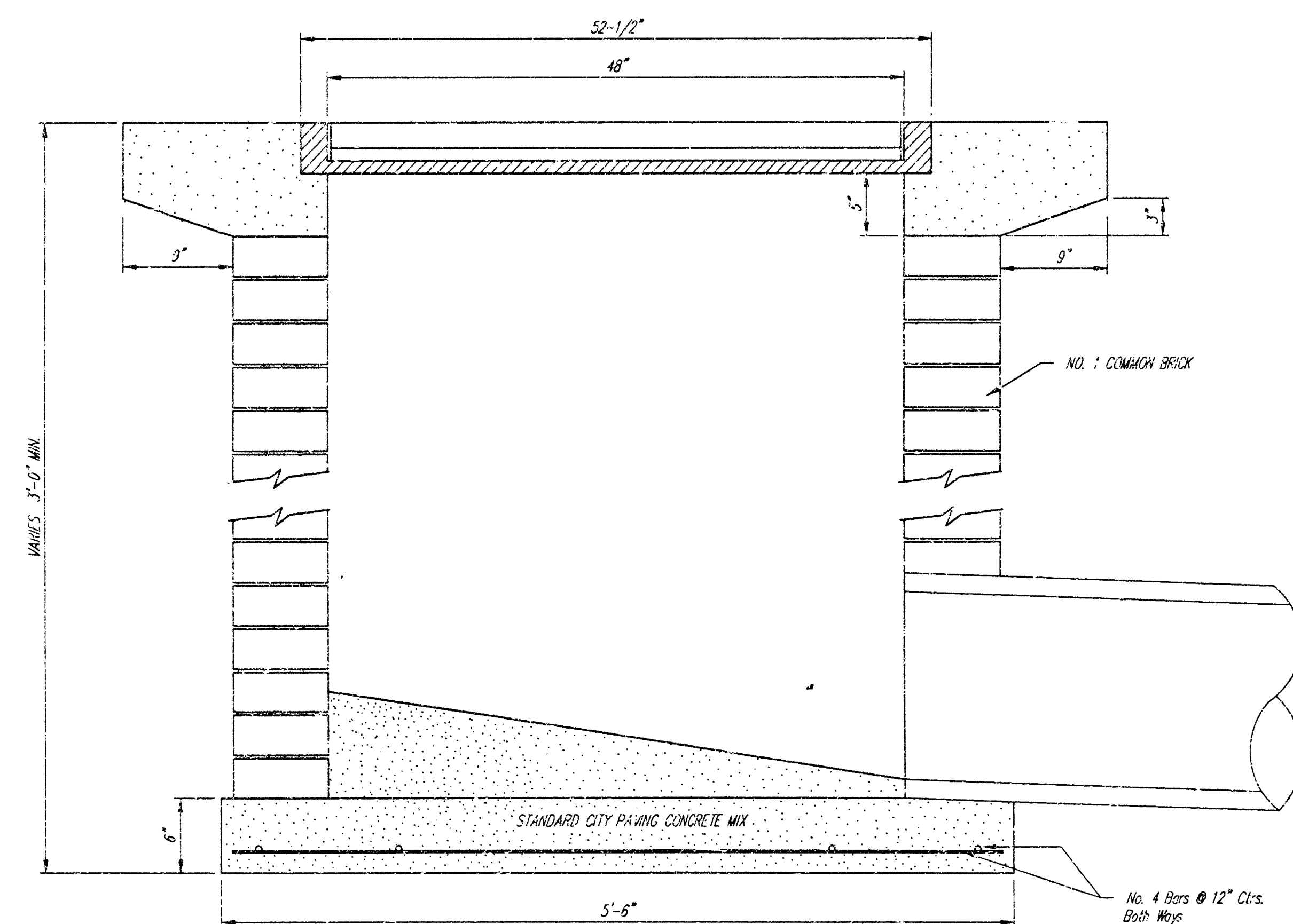
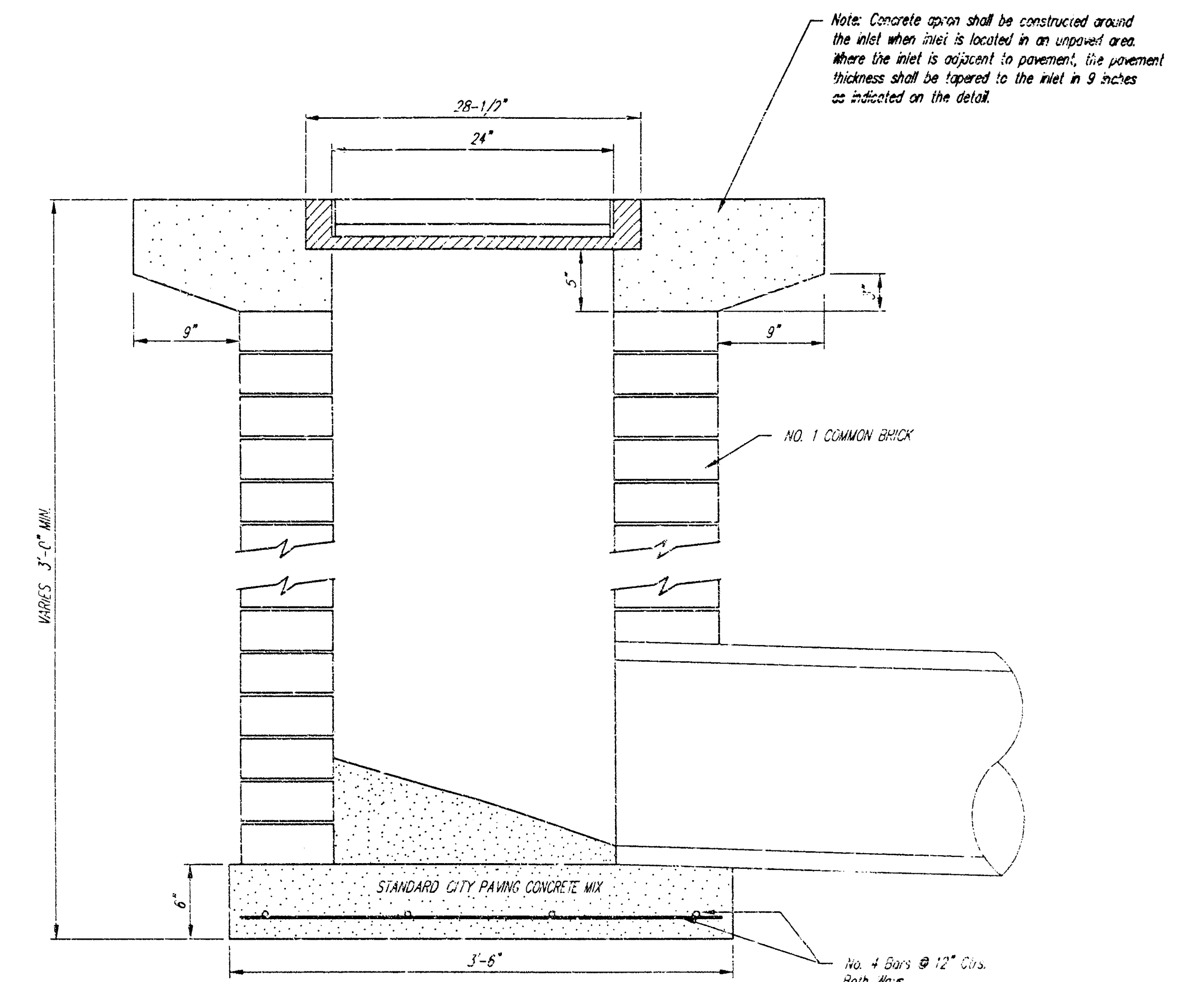
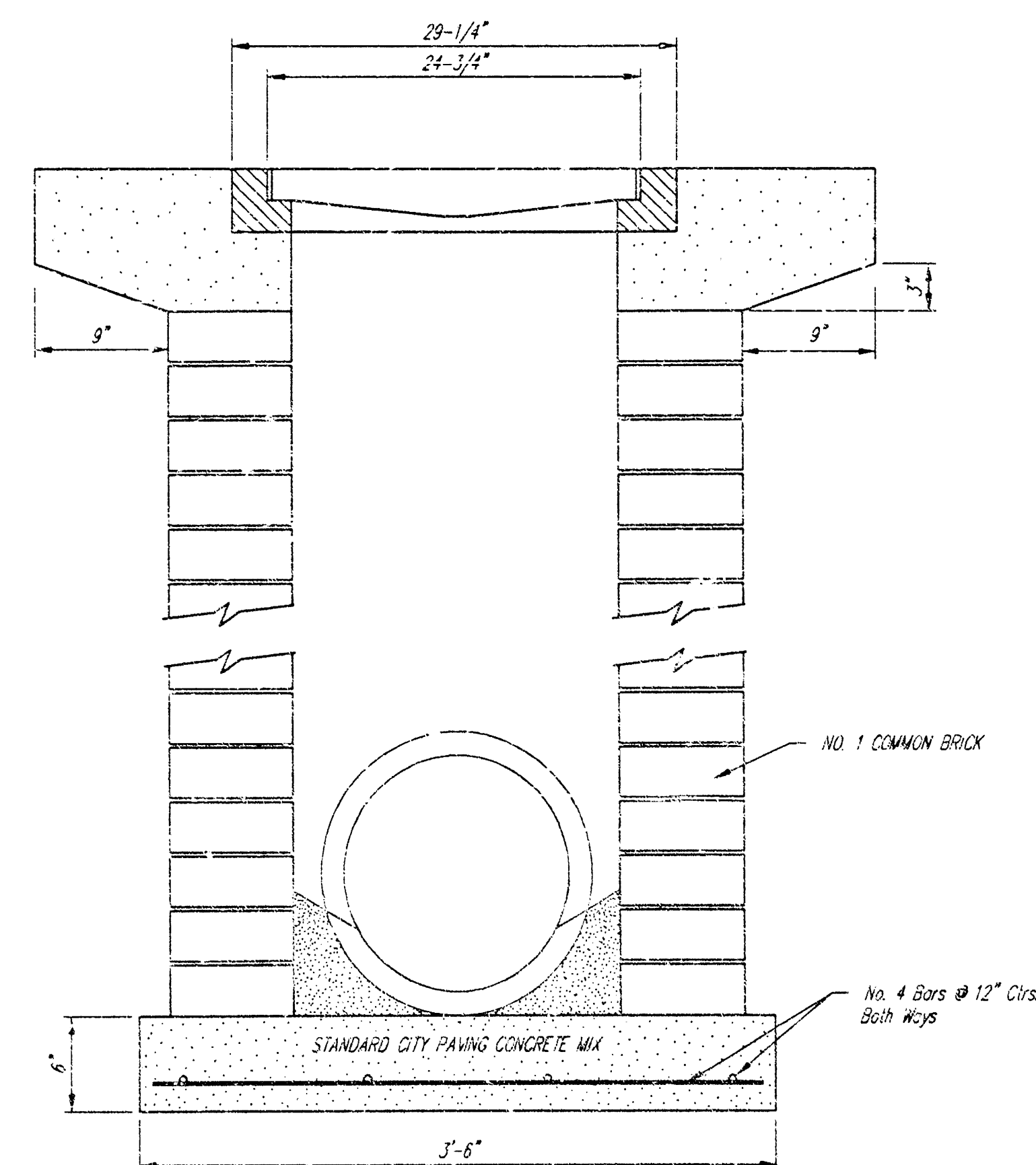
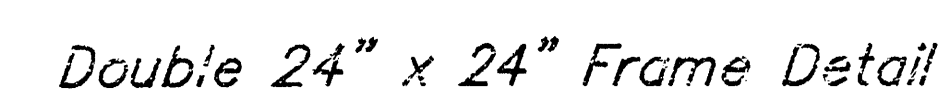
PROJECT NUMBER
970 PPS (607561)

DESIGN NEW	DRAWN SCZ	APPROVED NEW	DATE 12/1/00	SCALE NOTED
---------------	--------------	-----------------	-----------------	----------------

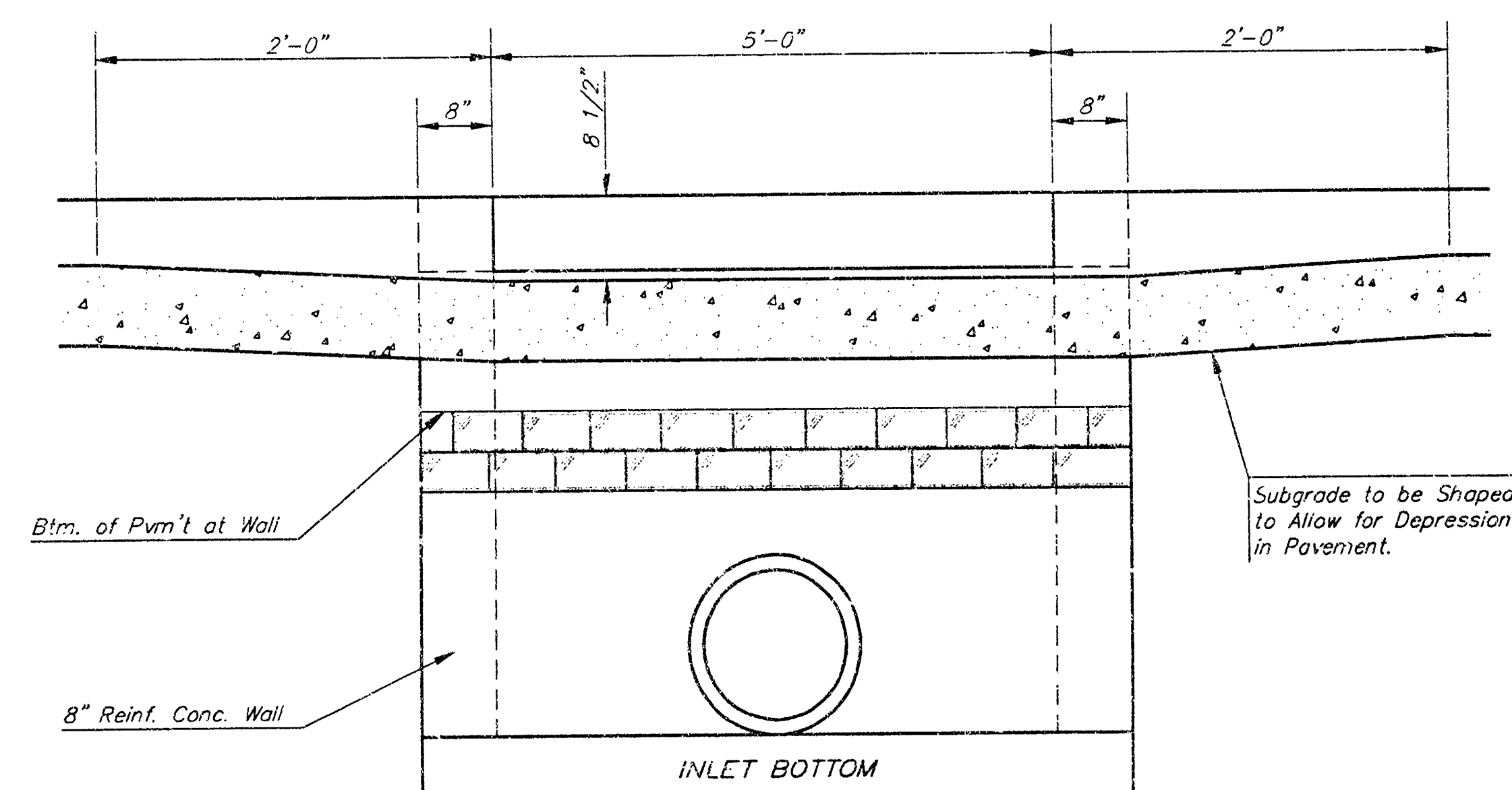
SHEET
OF
6



24" x 24" Frame and Grate Detail



City of Wichita Standard				
Drop Inlet				
BAUGHMAN COMPANY P.A.				
ENGINEERING, SURVEYING, & PLANNING				
318 - 762-7271		318 E. US - WICHITA, KANSAS 67201		
PROJECT NUMBER				
970 P-9 (807681)				
DESIGN C.O.K.	DRAWN Staff	APPROVED	DATE 12/22	SCALE NONE

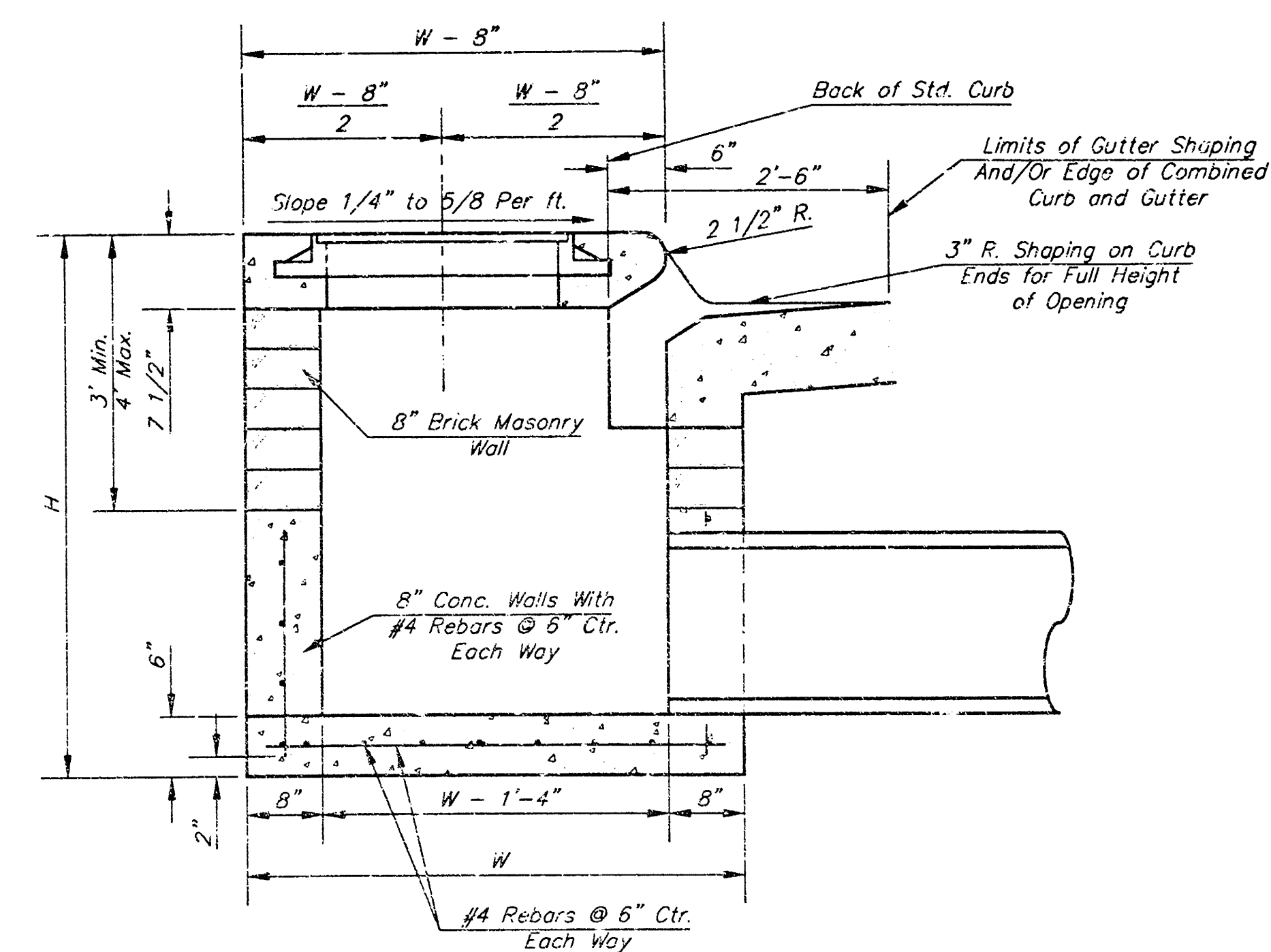


STEEL SCHEDULE

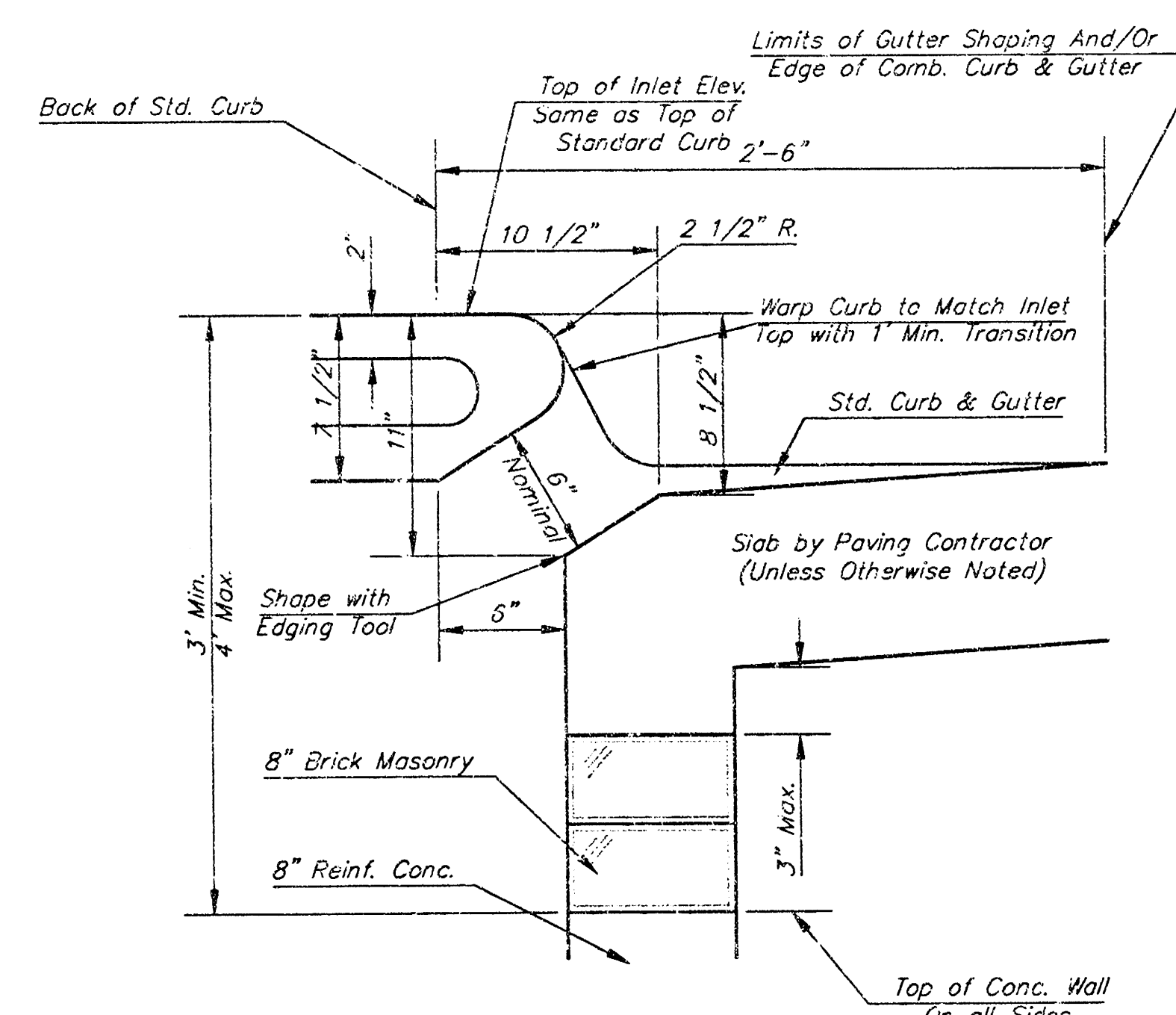
SILE SOUNDS														
BAR		a_1	a_2	a_3	b_1						b_2	b_3	b_4	WT. LBS.
NUMBER		4	4	2	1	3	5	4	7	9	6	1	1	
SIZE		#4	#4	#4	#4	#4	#4	#4	#4	#4	#4	#4	#6	
LENGTH	$W=4'-4"$	$5'-7"$	$6'-7"$	$4'-0"$	$6'-1"$	-	-	-	-	$1'-9"$	$6'-2"$	$4'-8"$	60±	
	$W=5'-4"$	$7'-7"$	$8'-7"$	$5'-0"$	$6'-1"$	-	-	-	-	$1'-9"$	$6'-2"$	$4'-8"$	81±	
	$W=6'-4"$	$8'-7"$	$10'-7"$	$6'-0"$	-	$6'-1"$	-	-	$1'-9"$	$6'-2"$	$4'-8"$	101±		
	$W=7'-4"$	$11'-7"$	$12'-7"$	$7'-0"$	-	-	-	$6'-1"$	-	$1'-9"$	$6'-2"$	$4'-8"$	121±	
	$W=8'-4"$	$13'-7"$	$14'-7"$	$8'-0"$	-	-	-	$6'-1"$	$1'-9"$	$6'-2"$	$4'-8"$	141±		

Note: q_1 Bars to be Placed Approx. 2" Below Top of Inlet Cover.

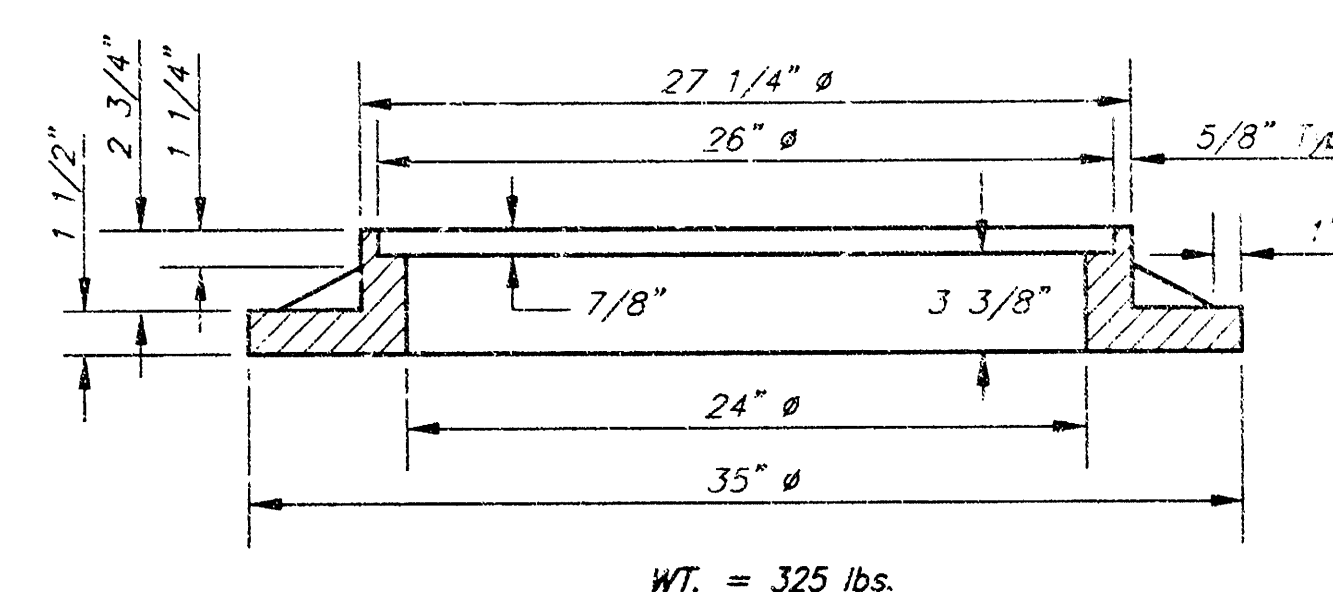
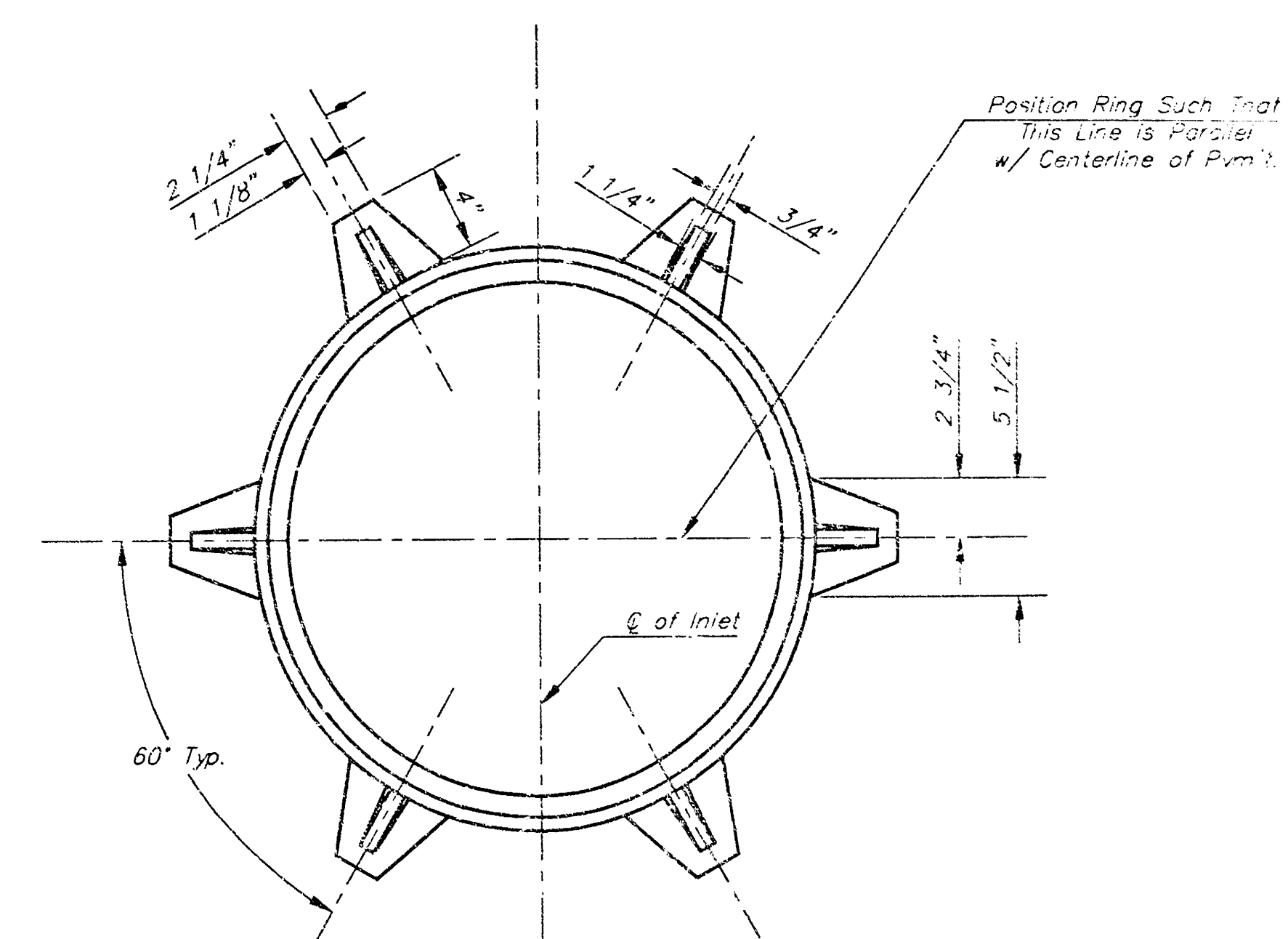
STANDARD CURB INLET PRECAST TOPS			
W	PRE-CAST TOP SIZE	PIPE SIZE	CU. YD. CONC.
4'-4"	3'-8" 6'-4" 7 1/2"	21" & SMALLER	0.38±
5'-4"	4'-8" 6'-4" 7 1/2"	24" & 30"	0.51±
6'-4"	5'-8" 6'-4" 7 1/2"	36" & 42"	0.64±
7'-4"	6'-8" 6'-4" 7 1/2"	48" & 54"	0.77±
8'-4"	7'-8" 6'-4" 7 1/2"	60" & 66"	0.90±



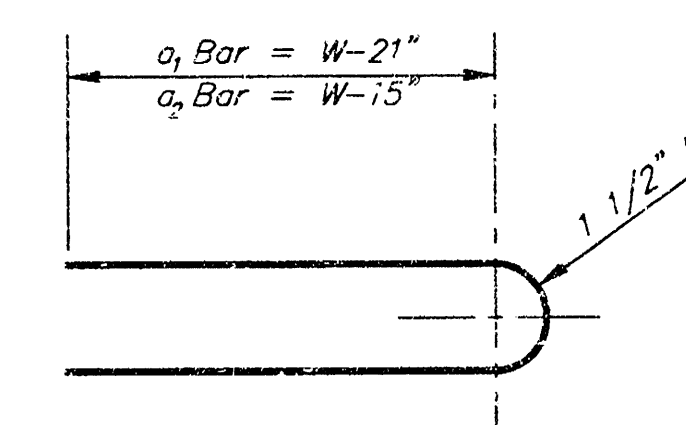
SECTION A-A



SECTION B--B



*See City of Wichita Standard Manhole Ring and Cover Detail Sheet for Cover Details to Be Used With Inlet Frame.

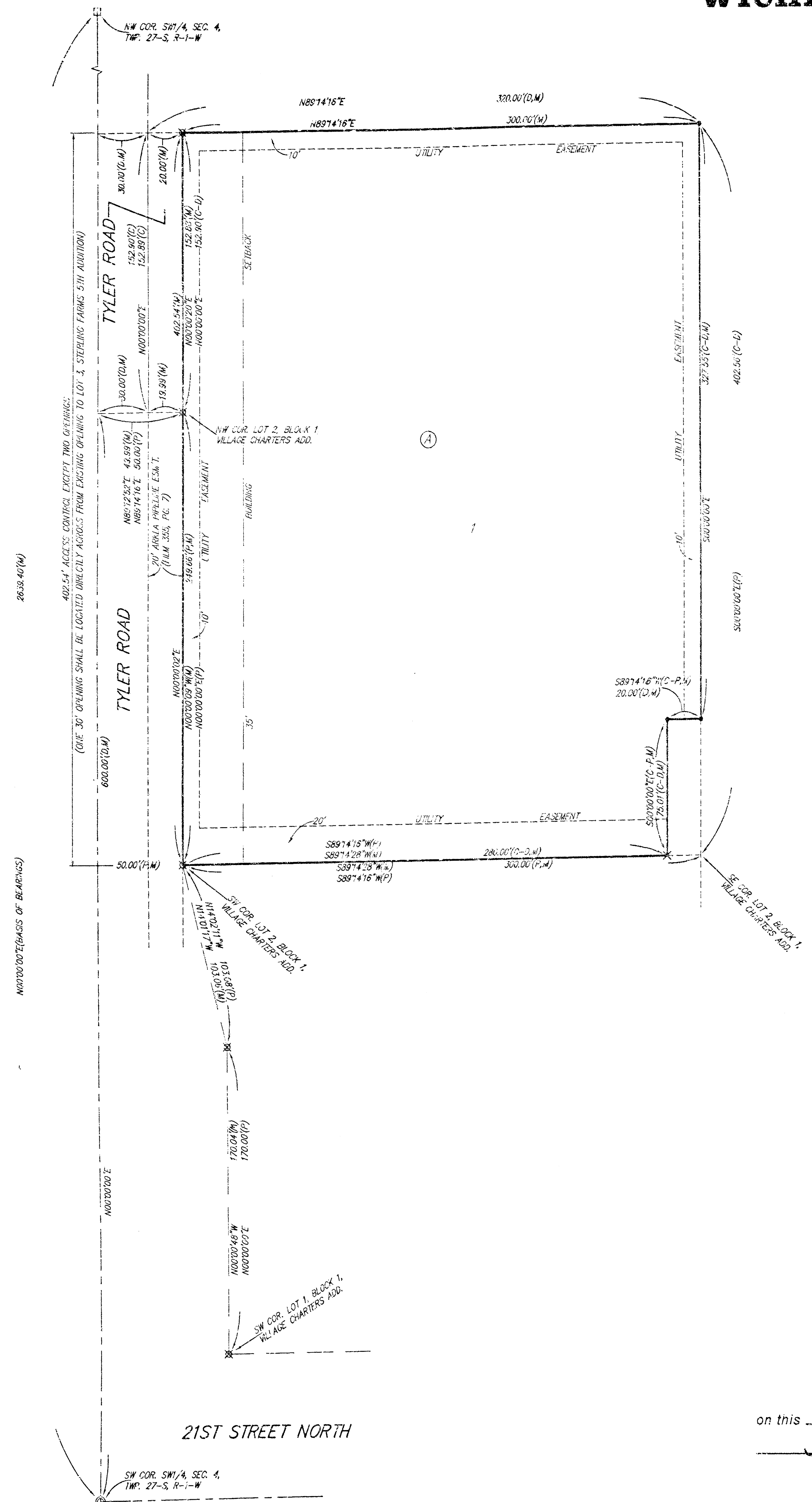


BENDING DIAGRAM

GENERAL NOTES

1. Concrete tops to be installed on thin mortar cushion to insure full support along brick walls. Concrete tops may be cast in place or precast. Concrete used for inlet construction shall be concrete pavement mix.
2. Contractor shall have the option of constructing 8" brick masonry walls between the concrete inlet base and top on this inlet when $W=6'-4"$ and $H=7'-0"$ or less.
3. Inlet invert shall be shaped with 8 sack sand mix concrete to create low channels and to increase hydraulic efficiency such that the inlet will be self cleaning between all inlet and/or outlet pipes.
4. The ends of all pipes installed in inlets shall be cut off flush with the inside face of the inlet wall.

VILLAGE CHARTERS 2ND ADDITION WICHITA, SEDGWICK COUNTY, KANSAS



X = CROSS (SET)
 ● = #4 REBAR W/ "BAUGHMAN" CAP (SEI)
 ⊗ = 3/4" IRON W/ "PLOT" CAP (FOUND)
 ⊙ = #6 REBAR IN THIMBLE (FOUND)
 □ = 1/2" IRON IN THIMBLE (FOUND)

(M) = MEASURED
 (D) = DESCRIBED
 (P) = PLATTED
 (C-P) = CALCULATED FOR PLATTED INFO.
 (C-D) = CALCULATED FOR DESCRIBED INFO.

NOTE:
 A MASTER DRAINAGE PLAN FOR DRAINAGE HAS BEEN DEVELOPED FOR THIS SUBDIVISION AND IS ON FILE WITH THE CITY OF WICHITA, KANSAS. ALL DRAINAGE EASEMENTS, RIGHTS-OF-WAY, OR RESERVES SHALL REMAIN AT ESTABLISHED GRADES OR AS MODIFIED WITH THE APPROVAL OF THE CITY ENGINEER OF THE CITY OF WICHITA, KANSAS. NO OBSTRUCTIONS WHICH IMPED THE FLOW OF THIS DRAINAGE SYSTEM SHALL BE ALLOWED.

Reviewed in accordance with K.S.A. 58-2005
 on this 14th day of October, 1999.

Tricia L. Robello, LS #1246
 Deputy County Surveyor
 Sedgwick County, Kansas

State of Kansas) SS
 Sedgwick County) We the Baughman Company, P.A., Surveyors in aforesaid county and state do hereby certify that we have surveyed and plotted "VILLAGE CHARTERS 2ND ADDITION", Wichita, Sedgwick County, Kansas and that the accompanying plat is a true and correct exhibit of the property surveyed, described as a tract of land in the SW 1/4 of Sec. 4, Twp. 27-S, R-1-W of the 6th P.M., Sedgwick County, Kansas, described as follows: Commencing at the SW corner of said SW 1/4; thence N00°00'00"E along the west line of said SW 1/4, 600 feet to the intersection with the north line of Lot 2, Block 1, Village Charters Addition, to Sedgwick County, Kansas, as extended west; thence N89°14'16"E along said extended north line, 30 feet for a point of beginning; thence continuing N89°14'16"E along said extended north line, 320 feet to the NE corner of said Lot 2; thence N00°00'00"E along the east line of said Lot 2 as extended north, 152.90 feet; thence S89°14'16"W parallel with the north line of said Lot 2, 320 feet to a point 30 feet normally distant east of the west line of said SW 1/4; thence S00°00'00"E parallel with the west line of said SW 1/4, 152.90 feet to the point of beginning, TOGETHER with Lot 2, Block 1, Village Charters Addition, to Sedgwick County, Kansas, except the east 20.00 feet of the south 75.00 feet thereof.

Existing easements and dedications being vacated by virtue of K.S.A. 12-512(b).

All being situated in the SW 1/4 of Sec. 4, Twp. 27-S, R-1-W of the 6th P.M., Sedgwick County, Kansas.

Baughman Company, P.A.

Michael G. Conrey, Surveyor
 Michael G. Conrey

Know all men by these presents that we, the undersigned, have caused the land in the surveyors certificate to be platted into a Lot, a Block, and a Street, to be known as "VILLAGE CHARTERS 2ND ADDITION", Wichita, Sedgwick County, Kansas. The utility easements are hereby granted as indicated for the construction and maintenance of all public utilities. The street is hereby dedicated to and for the use of the public. All abutters rights of access to or from Tyler Road over and across the west line of Lot 1, Block A, are hereby granted to the City of Wichita, Kansas provided, however, that said Lot 1, Block A, shall have access to Tyler Road at two locations, one location shall be 30 feet in width located directly across from an existing opening to Lot 3, Sterling Farms 5th Addition, Wichita, Kansas, and the other location shall be determined by the City Engineer of the City of Wichita, Kansas.

Village Charters, Inc.

Richard D. Marney, President
 Richard D. Marney

State of Kansas) SS
 Sedgwick County) The foregoing instrument acknowledged before me, this day of August, 1999, by Richard D. Marney, President of Village Charters, Inc., on behalf of the corporation.

JUDITH M. TERHUNE
 Notary Public - State of Kansas
 My App't. Expires 11-7-2001

Judith M. Terhune, Notary Public
 Judith M. Terhune

My App't. Exp. 11-7-2001

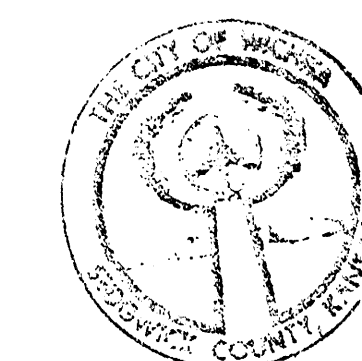
This plat of "VILLAGE CHARTERS 2ND ADDITION", Wichita, Sedgwick County, Kansas has been submitted to and approved by the Wichita-Sedgwick County Metropolitan Area Planning Commission, Wichita, Kansas.
 Dated this 14th day of April, 1999.
 Wichita-Sedgwick County Metropolitan Area Planning Commission



William M. Johnson, Chairman
 William M. Johnson

Marvin S. Krout, Secretary
 Marvin S. Krout

This plat approved and all dedications shown hereon accepted by the City Council of the City of Wichita, Kansas, this 21st day of September, 1999.



Bob Knight, Mayor
 Bob Knight

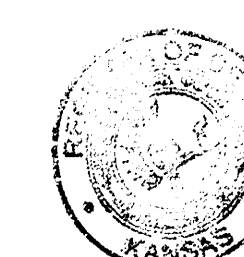
Pat Burnett, City Clerk
 Pat Burnett

Entered on transfer record this 15th day of October, 1999.



James Alford, County Clerk
 James Alford

State of Kansas) SS
 Sedgwick County) This is to certify that this plat has been filed for record in the office of the Register of Deeds, this 14th day of October, 1999, at 2:26 o'clock P.M., and is duly recorded.



Bill Meek, Register of Deeds
 Bill Meek

Linda Kizzire, Deputy
 Linda Kizzire

18 01 05 05